



**Planning, Development
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DATE: 05.05.2016
TO: ProTrak
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■ **JACOBS RIDGE SUBDIVISION [TRC Plan Review]**

Initial Review Note

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



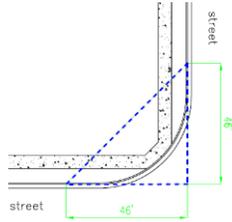
TECHNICAL STANDARDS – NEW STREETS/ DRIVEWAY ACCESS:

1. The proposed 34' Private Access Easement does not meet City Technical Standards, which require a minimum of 16' paved surface. The proposed Access Easement is 10' wide.
2. The paved portion of the proposed driveway for a 34' access easement is 16'. If the applicant is requesting a driveway that is less than 16', it must be approved by the TRC. [7-4 CofW Tech Stds]
3. Modify the detail for the proposed 34' Private Access Easement to meet Table 1. [Chapter VII, C, Table 1, Private Access Easement CofWTSSM]
4. The existing home on lot #3 is located approximately 1000' from Big Bay Drive, please ensure it meets all distance requirements for building occupancy.
5. Revise the proposed angle for the proposed access road, which does not intersect the existing 35' Access and Utility Easement at a 90 degree angle. Driveways are to intersect the street at a 90 degree angle. [7-11 #3 CofW Tech Stds]
6. The driveway curb return must be at least 26' from intersecting property lines at the intersection of the proposed Jacobs Ridge 34' Access Easement and the existing 35' Access and Utility Easement. [Chapter VII, C, Table 5 Note #6. CofWTSSM]

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

7. Driveways shall be City-standard ramp-type driveways. Show appropriate City standard detail(s) on plan. [Chapter VII ,Detail SD 8-02 CofWTSSM]
8. Show driveways for adjacent lots and lots across the street.
9. Show areas of essential site improvements and tree removal on the plan.
10. The proposed Emergency Vehicle Turnaround detail does not show what type of material will be used for this structure.
11. Provide a street cross section for the proposed 34' Private Access Easement. The cross section must show the type and thickness of Asphalt and ABC Base for the access easement.

12. Show and apply the City's 46'x46' sight distance triangle at each street intersection (for the access easement) on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]



REVISIONS TO NOTES ON THE PLAN:

1. Please revise Traffic Engineering notes #9 on sheet #3 of 8 to reflect the following verbiage:
 #9: Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.

GENERAL NOTES TO ADD TO THE PLAN:

- A. If these units are sold at any point, the buyer must receive a subdivision street disclosure statement. Please note this on the site plan and advise the property owner of this requirement. [Sec.18-378 (e) CofW LDC]

MISCELLANEOUS:

- ❖ Contact Alina Dorofeeva at 341-7888, Alina.dorofeeva@wilmingtonnc.gov to discuss street lighting options.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.