



**Planning, Development
and Transportation**
Transportation Planning
305 Chestnut Street
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Wilmington, NC 28402-1810

DATE: 04.23.2019
TO: ProTrak
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Transportation Planning

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■ **FLOW ACURA [TRC Pan Review #2]**

🔗 Initial Review Note 🔗

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

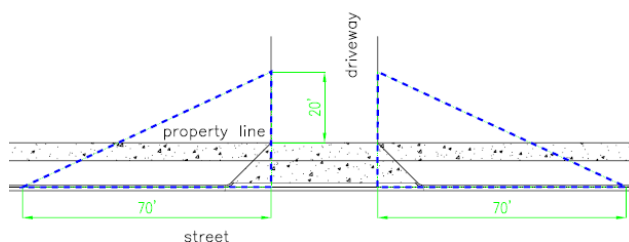
The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

BASE INFORMATION:

1. The proposed Dimensions and Scale for the Layout Plan are incorrect. The drawing is drawn at a 1 inch equals 30 feet scale. The graphic scale on the plan sheet is shown as 1 inch equals 20 feet. Please revise the graphic scale to the 1"=30' scale.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

2. The site has proposed using two driveways with driveway widths that equal/ exceed 36'. Driveways with 36' feet widths require pavement markings. Provide pavement markings on the site/ layout plans for the 36' driveway and 38' driveway.
3. The proposed sidewalk connection between the site and the public sidewalk appears to be missing a curb cut/ handicap ramp from the parking lot to the existing sidewalk.
4. Please provide elevations for the existing sidewalk and new sidewalk connection.
5. As previously stated, the existing driveway aprons on Bob King Drive must be rebuilt to meet commercial driveway standards and replace broken sidewalk sections that must be repaired. Please show the driveways as commercial driveways with the sidewalk section, per the commercial driveway standard listed in Standard Detail 3-03.3. [SD 3-3.3 CofW Tech Stds]
6. The 8" Oak Tree and 13" Oak Tree are located within the 20'X70' sight distance triangles. These trees shall be maintained to ensure that the foliage does not block clear visual sight lines at this driveway. Please add the note to indicate that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]



TECHNICAL STANDARDS – PARKING:

7. Please display and label the radius of the parking / landscaping islands. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay). If the travel way will not be used for emergency service vehicles or truck traffic, you may request a tighter radius, the minimum is 15'. This request must be made in writing (an email message is acceptable). [\[Chapter VII, Detail SD 15-13 CofWTSSM\]](#)
8. I could not find the variance letter for the portions of the proposed development which is not in compliance with the 500'/800' rule pertaining to the maximum length of a private drive/parking lot. Please submit the letter to engineering and copy Planning and Transportation Planning. [\[Chapter VII , C \(4\), pg. 7-15 to 7-16 CofWTSSM\]](#)
9. The Bicycle parking calculations do not appear to be correct. The Site Data Table refers to 518 parking spaces for this project. Please specify the number of employee and customer parking spaces from inventory parking spaces, then submit the required number of parking spaces. Bicycle parking shall be provided at a rate of 5 spaces per the first 25 vehicle parking spaces and then 5 spaces per each additional 100 spaces (or fraction thereof) to a maximum of 20 bicycle spaces. Add the number required and proposed to the site development data. [\[Sec.18-528 CofW LDC\]](#)

TECHNICAL STANDARDS – PARKING:

10. The handicap parking signs, located beside the handicap parking spaces, do not have wheel stops to prevent vehicles from using the signs as wheel stops. Please install wheel stop on both sides of the signs and show the wheel stops on the site plans.
11. The sidewalk connection from the public sidewalk to the crosswalk does not have a tactile mat, prior to the drive aisle. Please revise.
12. The Fire Engine access to this building must allow access to all sides of the building. Please provide an Auto Turns for the Fire Truck on all sides of the building.

GENERAL NOTES TO ADD TO THE PLAN:

- A. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.

MISCELLANEOUS:

- ❖ Transportation Planning Staff will review the landscape plan once submitted for compliance with sight distance requirements.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.