



**Planning, Development
and Transportation**

Transportation Planning
305 Chestnut Street
PO Box 1810
Wilmington, NC 28402-1810

910 341-3258
910 341-7801 fax
www.wilmingtonnc.gov
Dial 711 TTY/Voice

DATE: 04.18.2018

TO: ProTrak

FROM: Mitesh Baxi
Traffic Engineering

■ **CENTERPOINT [Subdivision Plan Review]**

☞ Initial Review Note ☞

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



BASE INFORMATION:

- The site is within 500' of a signalized intersection. Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings for the intersection Military Cutoff Rd and Drysdale Dr on the site plan.
- Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.

NCDOT:

It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact NCDOT at 910. 251.2655. Please note additional comments may be forthcoming once coordination occurs.

TECHNICAL STANDARDS – NEW ROADS:

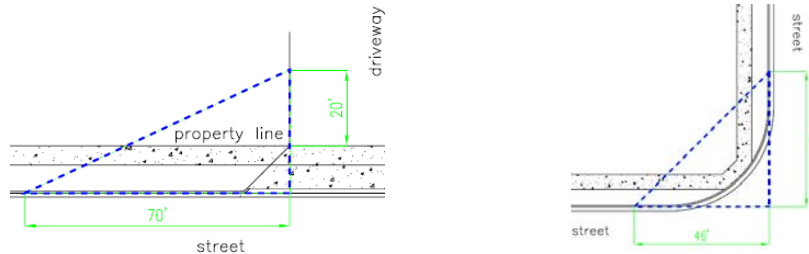
1. Show a vertical profile for each of the proposed streets.
2. The minimum street corner radii is 35'. [\[7-5 CofW Tech Stds\]](#)
3. Please show all the traffic control devices and pavement markings for this project.
4. Wheelchair ramps at corner of all proposed streets must be installed as per NCDOT and/or City standards. Connect sidewalk with ramps. Please show details [\[SD 3-08, SD 3-09 & SD 11-11 CofWTSSM\]](#) on the plan.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

5. Site plan shows multiple driveways accessing proposed streets. Driveways shall be City-standard ramp-type driveways. Show City standard detail(s) on plan. [\[SD 3-03.3 & 3-03.4\]](#)

(Vertical curb) CofWTSSM]. Where no curb exists in the vicinity, a flat slab type or a street type entrance may be allowed or required by the City Engineer. [page 7-9 CofWTSSM]

6. Provide sidewalk detail SD 3-10 on the plan.
7. Show and apply the City's 20'x70' sight distance triangle at each driveway and the City's 46'x46' sight distance triangle at each street corner intersection on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-556 CofW LDC]



STREET LIGHTING [City of Wilmington Street Lighting Policy]:

8. The standard streetlight shall be a DEP enclosed cutoff (Cobra type), high pressure sodium vapor (HPSV) or DEP designated LED equivalent fixture installed within the recommended range of mounting heights for the specific fixture. The standard streetlight shall be installed on a wooden pole in areas served from overhead facilities and on a fiberglass pole in areas served from underground facilities.
9. A layout for the Standard street lighting has been provided with the review. Minimum of eleven street lights are required for this sub-division. Although, developers may choose to provide any extra lights or ornamental. Any installations above the criteria of Standard street lighting, will be considered as non-standard and has to conform to the City's non-standard street lighting procedure as per the policy.
10. Developers shall bear any installation costs associated with streetlights, if applicable. In areas served from underground facilities, the developers shall pay the one-time underground contribution charge, if applicable.
11. The Planning, Development and Transportation Director or designee and the City Landscape Designer will coordinate plaza plantings and streetlight locations to minimize the obstruction of light by vegetation.

GENERAL NOTES TO ADD TO THE PLAN:

- A. All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards. [Detail SD 11-03 and SD 15-13 CofW Tech Stds]
- B. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
- C. All parking stall markings and lane arrows within the parking areas shall be white.
- D. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
- E. It shall be the responsibility of the subdivider to erect official street name signs at all intersections associated with the subdivision in accordance with the Technical Standards and Specifications Manual. The subdivider may acquire and erect official street name signs or may choose to contract with the city to install the street signs and the subdivider shall pay the cost of such installation. Contact Traffic Engineering at 341-7888 to discuss installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs.
- F. Contact Traffic Engineering at 341-7888 forty-eight hours prior to any excavation in the right of way.

- G. If these units are sold at any point, the buyer must receive a subdivision street disclosure statement. Please note this on the site plan and advise the property owner of this requirement. [\[Sec.18-378 \(e\) CofW LDC\]](#)

MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
- ❖ Contact Traffic Engineering at (910) 341-7888 to discuss street lighting options.
- ❖ We will reserve comments on the parking lot, driveway geometry and other technical issues until a full construction drawing is submitted.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.

GENERAL NOTES

- UTILITIES TO THIS SITE TO BE EXTENDED FROM PUBLIC RIGHTS-OF-WAY.
- STREET NAMES TO BE COORDINATED WITH CITY STAFF DURING TECHNICAL REVIEW COMMITTEE PROCESS.

CenterPoint Standard Streetlighting Plan

1. Developers shall bear any installation costs associated with streetlights, if applicable. In areas served from underground facilities, the developers shall pay the one-time underground contribution charge, if applicable.

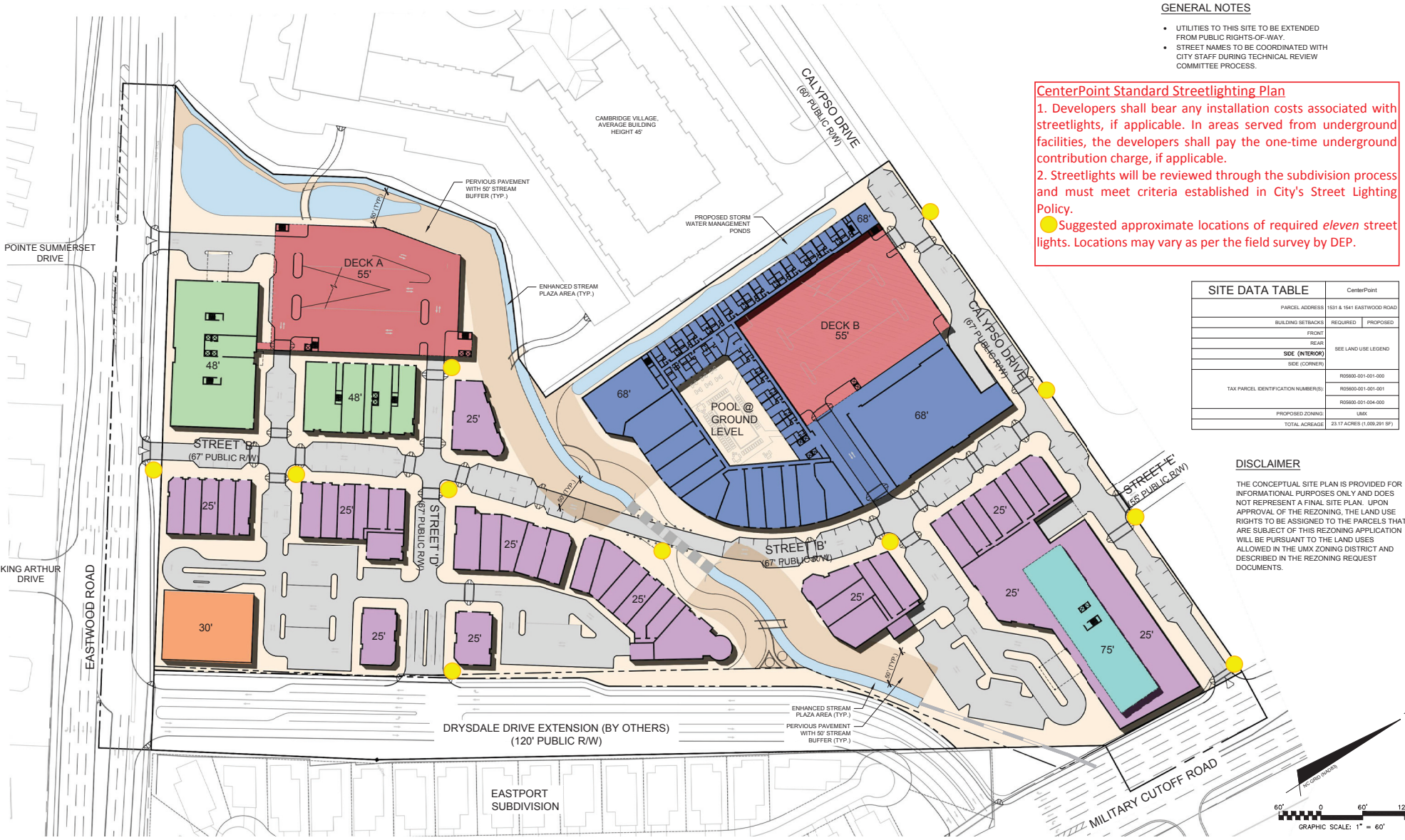
2. Streetlights will be reviewed through the subdivision process and must meet criteria established in City's Street Lighting Policy.

● Suggested approximate locations of required eleven street lights. Locations may vary as per the field survey by DEP.

SITE DATA TABLE		CenterPoint
PARCEL ADDRESS	1531 & 1541 EASTWOOD ROAD	
BUILDING SETBACKS	REQUIRED	PROPOSED
	FRONT	
	REAR	
SIDE (INTERIOR)	SEE LAND USE LEGEND	
	SIDE (CORNER)	
TAX PARCEL IDENTIFICATION NUMBER(S)	R05600-001-001-000	
	R05600-001-001-001	
	R05600-001-004-000	
PROPOSED ZONING	UMX	
TOTAL ACREAGE	23.17 ACRES (1,009,291 SF)	

DISCLAIMER

THE CONCEPTUAL SITE PLAN IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT REPRESENT A FINAL SITE PLAN. UPON APPROVAL OF THE REZONING, THE LAND USE RIGHTS TO BE ASSIGNED TO THE PARCELS THAT ARE SUBJECT OF THIS REZONING APPLICATION WILL BE PURSUANT TO THE LAND USES ALLOWED IN THE UMX ZONING DISTRICT AND DESCRIBED IN THE REZONING REQUEST DOCUMENTS.



NO.	DATE	DESCRIPTION	REVISIONS
1	08/15/2017	ISSUED FOR REVIEW	
2	08/15/2017	REVISED PER COMMENTS	
3	08/15/2017	REVISED PER COMMENTS	
4	08/15/2017	REVISED PER COMMENTS	
5	08/15/2017	REVISED PER COMMENTS	
6	08/15/2017	REVISED PER COMMENTS	
7	08/15/2017	REVISED PER COMMENTS	
8	08/15/2017	REVISED PER COMMENTS	
9	08/15/2017	REVISED PER COMMENTS	
10	08/15/2017	REVISED PER COMMENTS	

PRELIMINARY -
DO NOT USE FOR
CONSTRUCTION

MCKIM & CREED

243 North Front Street
Wilmington, NC 28401
Phone: (910) 343-1048, Fax: (910) 251-8282
NC LICENSE # 1222
www.mckimcreed.com

CENTREPOINTE, LLC
1131-B MILITARY CUTOFF ROAD
WILMINGTON, NC 28405

CenterPoint
EASTWOOD ROAD
WILMINGTON, NORTH CAROLINA
TOWNSHIP OF WILMINGTON

OVERALL SITE PLAN

DATE	08/15/2017	SCALE	CS102
DESIGNED BY	01/15/2017	HORIZONTAL	1"=60'
CHECKED BY	TSM	VERTICAL	N/A
PROJ. MGR.	RMC		
STATUS	PRELIMINARY DESIGN NOT FOR CONSTRUCTION		