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**DATE:** 04.08.2015  
**TO:** ProTrak  
**FROM:** Bill McDow  
Transportation Planning

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■ **BO JANGLE'S COLLEGE RD [TRC Plan Review]**

☞ Initial Review Note ☞

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



**BASE INFORMATION:**

- Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.
- If pavement markings on site have weathered to the point they are not in accordance with the MUTCD standard of maintenance, do not show the markings as existing, rather show them as proposed on the site plan.

**NCDOT:**

It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact Allen Hancock, PE at 910.251.2655. Please note additional comments may be forthcoming once coordination occurs.

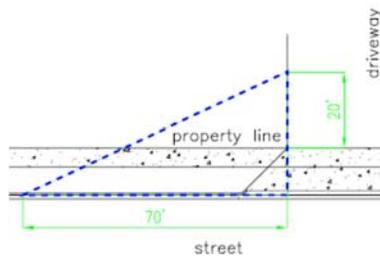
**TECHNICAL STANDARDS – DRIVEWAY ACCESS (Major Thoroughfares):**

1. Driveways for lots along major thoroughfares must at least 75' offset from property lines to the curb line. This lot does not have the proper offset, a variance request may be required.

- The existing driveway curbing has been damaged by vehicles that overrun/ drive over the curb line. Please modify the radius and width of the entrance driveway to improve the turning movement for vehicles at this site.

**TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, sight distance):**

- Show driveways for adjacent lots on College Rd.
- Driveways shall be City-standard ramp-type driveways. Show appropriate City standard detail(s) on plan. [[Chapter VII ,Detail SD 8-02 \(curb\) CofWTSSM](#)]
- The proposed driveway does not appear to have standard tapers for a commercial driveway. Please modify the driveway with standard 13' tapers, and a minimum 25' radius. The width of the one way entrance driveway may need to be modified to accommodate the turning movements of Fire Trucks, Trash Trucks and construction vehicles (dump trucks, etc.).
- Dimension driveway widths and tapers. [[Sec.18-529 CofW LDC](#)]
- Distinguish between proposed and existing sidewalk(s) and provide dimensions
- Show all adjacent traffic signs and pavement markings on the plan. [[Sec. 18-529\(b\)\(2\) CofW LDC](#)]
- Please show the easements for this site, including any Pedestrian Access Easements for the existing or proposed sidewalk.
- Show any traffic signal facilities and equipment in front of the development. Contact Traffic Engineering at 341-7888 for help in identifying these.
- There are notes discussing the Sight Distance Triangle on the plan, however, the SDT is not shown. Please show and apply the City's 20'x70' sight distance triangle at each driveway on the site plan and landscaping plan. [[Sec.18-529\(c\)\(3\)CofW LDC](#)] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [[Sec.18-566 CofW LDC](#)]



- The proposed business sign appears to have been moved within the sight distance triangle on the exit driveway. Please show the 20'x70' SDT, and the proposed sign location.

**TECHNICAL STANDARDS – PARKING:**

- The parking lot pavement and driveway curbing appears to be broken in multiple places. Please replace these sections of broken and damaged pavement and curbing.
- The 60 degree parking appears to be too small. The minimum 60 degree vehicle parking is 8.5' in width by 20' in length. [[Chapter VII, Table 6, pg. 7-19, CofW TSSM](#)]
- The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. If the travel way will not be used for emergency service vehicles or truck traffic, you may request a tighter radius, the minimum is 15'. Based upon the site layout, Fire Trucks and Trash Trucks would have to access both the entrance and exit drive for the site. This request must be made in writing (an email message is acceptable). [[Chapter VII, Detail SD 15-13 CofWTSSM](#)]

16. The parking space adjacent to the dumpsters appears to be partially blocked by the location of the dumpsters. Modify the location of the space or the dumpsters to allow vehicles to back out without hitting the dumpster enclosure.
17. Please provide a note or show the amount of parking spaces that will be available during phase 1 and phase 2 of the project.
18. Please show the fire hydrant and FDC locations on the utility plan.

**TECHNICAL STANDARDS – Barrier Free Design:**

19. The Handicap ramp near the drive thru window [western side of the building] appears to direct handicap users to the exit lane for the site.
20. The proposed handicap sign within the handicap parking aisle, which is adjacent to 90 degree parking spaces, does not meet ADA requirements. An allowance for a 2.5' vehicle overhang must be considered. The concrete bollard around the sign shall not be used as a wheel stop.

**MISCELLANEOUS:**

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
- ❖ Transportation Planning Staff will review the landscape plan, for compliance with sight distance requirements, when the 20'X70' SDT is shown on the landscaping plan.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.