



DATE: 04.02.2014

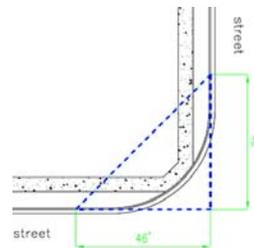
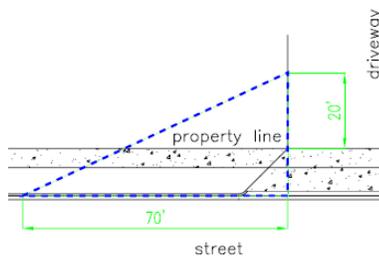
TO: ProTrak

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MUSEUM AREA- ALLEY CROSS SECTION [TRC Plan Review# 2]
TECHNICAL STANDARDS – NEW ROADS:

1. Revise Alley Cross Section to a minimum of 20'. The street shall have 1 foot ribbon curbing on each side of the paved roadway.
2. Use inverted crown along the center of the alley to direct storm water to proposed storm drains.
3. Alley entrances shall be constructed with City-standard ramp-type driveways. Show appropriate City standard detail(s) on plan. [Chapter VII, Detail SD 8-02 (curb) CofWTSSM].
4. Road # 2 and Road #1 have been proposed to have on-street parking.
5. On-street parking spaces shall have a minimum width of 8' and minimum length of 23'. [Chapter VII , D, pg 7-16 CofWTSSM]
6. The current cross section of Road #2 is shown as 18' of paved roadway, which is the minimum roadway width for on-street parking. Proposed on-street parking must be installed as a parking bay in order to maintain the minimum paved roadway width.
7. End parking bays a minimum of 15' from fire hydrants and crosswalks.
8. As previously stated, show dimensions for each street and intersection, including widths, corner radius, median width, and cul-de-sac dimensions, etc.
9. Previous comments for the development are still relevant.
10. Show and apply the City's 20'x70' sight distance triangle at each driveway and the City's 46'x46' sight distance triangle at each street corner intersection on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]



MISCELLANEOUS:

- ❖ Transportation Planning Staff reserves the right to review and comment on any additional plans submitted for this development.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.