



**Planning, Development  
and Transportation**

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**DATE:** 04.02.2014  
**TO:** ProTrak  
**FROM:** Bill McDow  
Transportation Planning

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■ **BOJANGLES MARKET STREET [Initial Plan Review]**

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

**BASE INFORMATION:**

- Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.
- The proposed sidewalk connection and portions of the existing Market St sidewalk are located outside the ROW. An encroachment agreement will be required with NCDOT and the City of Wilmington. Show current and proposed agreements and easements on the site plan.

**TRAFFIC IMPACT:**

- ❖ The applicant submitted an estimated Trip Generation for the proposed Fast-food Restaurant (ite land use code 934) of 173 total driveway volume in the AM peak hours, 124 total driveway volume in the PM peak hours and 1890 average weekday 2-way driveway volume.
- ❖ A Traffic Impact Analysis (TIA) is in progress for this development. Please contact Amy Kimes, PE at (910) 473-5130 or [amy.kimes@wilmingtonnc.gov](mailto:amy.kimes@wilmingtonnc.gov) to discuss the TIA review process and complete the scoping discussion.

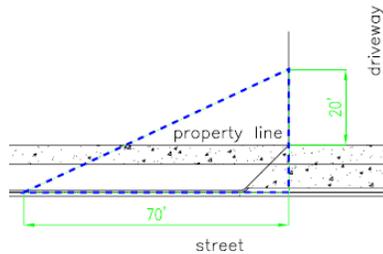
**NCDOT:**

It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact Allen Hancock, PE at 910.251.2655. Please note additional comments may be forthcoming once coordination occurs.

**TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, sight distance):**

1. Show the temporary Market St median, driveways for adjacent lots and lots across the street on the site plans.

2. Show proposed driveway centerline elevations at both the front and the back of each concrete driveway apron, at the curb line, property line & points at 26' and 52' behind the property line. [\[Chapter VII, C\(1\)\(a\)\(2\)12 CofWTSSM\]](#)
3. The maximum two-lane driveway width is 30', measured from face of curb. [\[7-9 CofW Tech Stds\]](#)
4. Distinguish between proposed and existing sidewalk(s) and provide dimensions
5. Show all adjacent traffic signs and pavement markings on the plan. [\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)
6. Show any traffic signal facilities, traffic loops, overhead fiber optic cable and equipment in front of the development. Contact Traffic Engineering at 341-7888 for help in identifying these.
7. Show and apply the City's 20'x70' sight distance triangle at each driveway and each access easement connection on the site plan and landscaping plan. [\[Sec.18-529\(c\)\(3\)CofW LDC\]](#) Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [\[Sec.18-566 CofW LDC\]](#)



#### TECHNICAL STANDARDS – PARKING:

8. Protection from vehicles is required around all required landscaped areas within vehicular areas.
9. Proposed wheel stops shown on sheet AS-1-1 is 5" high, reduce to 4".

#### REVISIONS TO NOTES ON THE PLAN:

10. Please revise notes #11, 14, and 15 on sheet 1 to reflect the following verbiage:
  - #11: All traffic control signs and markings off the right-of-way are to be maintained by the property owner **in accordance with MUTCD standards.**
  - #14: A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
  - #15: Any broken or missing sidewalk panels, **driveway panels** and curbing will be replaced.

#### GENERAL NOTES TO ADD TO THE PLAN:

- A. Install reflectors per City and NCDOT standards. Traffic Engineering must approve of pavement marking layout prior to actual striping.

#### MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
- ❖ Contact 341-7888 to discuss street lighting options.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.