



Planning, Development and Transportation

Transportation Planning
305 Chestnut Street
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Wilmington, NC 28402-1810

910 341-3258
910 341-7801 fax
www.wilmingtonnc.gov
Dial 711 TTY/Voice

DATE: 03.27.2019
TO: ProTrak
FROM: Mitesh Baxi
Traffic Engineering

■ **CREEKSIDE [TRC Plan Review]**

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



BASE INFORMATION:

- Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements. <https://www.wilmingtonnc.gov/home/showdocument?id=1910>

TECHNICAL STANDARDS – NEW ROADS:

1. Distance between centerlines of intersections of proposed E Blackbeard Rd and existing “A” Road off Masonboro Sound Rd is less than required minimum 400’ as per the City’s technical standards. [Page 7-5 Table 2 of CofW Tech Stds]. A variance may be required for the proposed.
2. The crosswalk pavement markings across the proposed E. Blackbeard Rd at the street intersection of Runnel Ct is not required and shall not be installed. The crosswalk pavement markings across Runnel Ct is required.
3. Show the crosswalk pavement markings at the street intersection of E. Blackbeard Rd and Masonboro Sound Rd.
4. Stop sign and stop bar shall be installed at the street intersection of E. Blackbeard Rd and Masonboro Sound Rd in advance of the crosswalk [MUTCD].

STREET LIGHTING [City of Wilmington Street Lighting Policy]:

1. The standard streetlight shall be a DEP enclosed cutoff (Cobra type), high pressure sodium vapor (HPSV) or DEP designated LED equivalent fixture installed within the recommended range of mounting

heights for the specific fixture. The standard streetlight shall be installed on a wooden pole in areas served from overhead facilities and on a fiberglass pole in areas served from underground facilities.

2. A layout for the Standard street lighting has been provided with the review. Minimum of 8 (eight) street lights are required for this sub-division. Although, developers may choose to provide any extra lights or ornamental. Any installations above the criteria of Standard street lighting, will be considered as non-standard and has to conform to the City's non-standard street lighting procedure as per the policy.
3. Developers shall bear any installation costs associated with streetlights, if applicable. In areas served from underground facilities, the developers shall pay the one-time underground contribution charge, if applicable.
4. The Planning, Development and Transportation Director or designee and the City Landscape Designer will coordinate plaza plantings and streetlight locations to minimize the obstruction of light by vegetation.
5. All the street light shall be installed within the public ROW.

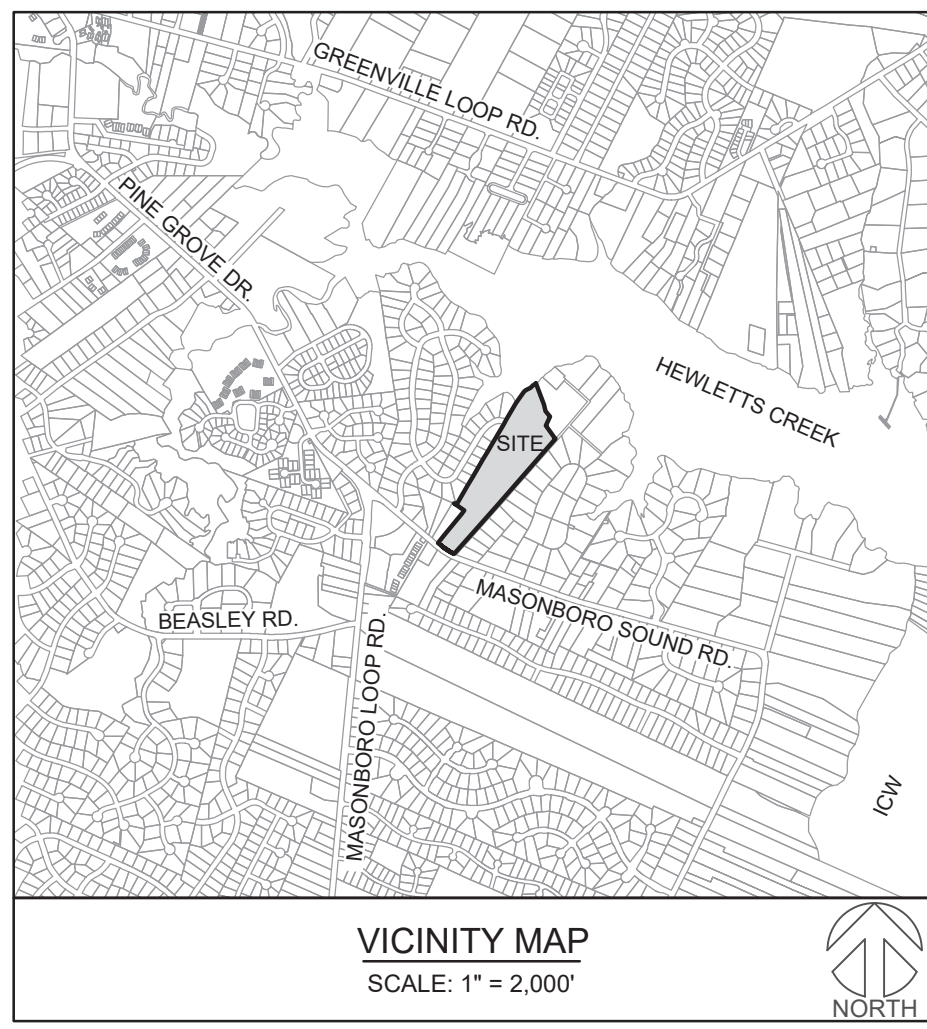
GENERAL NOTES TO ADD TO THE PLAN:

- A. It shall be the responsibility of the sub-divider to erect official street name signs at all intersections associated with the subdivision in accordance with the Technical Standards and Specifications Manual. The sub-divider may acquire and erect official street name signs or may choose to contract with the city to install the street signs and the sub-divider shall pay the cost of such installation. Contact Traffic Engineering at 341-7888 to discuss installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs.

MISCELLANEOUS:

- ❖ Contact Traffic Engineering at (910) 341-7888 to discuss street lighting options.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.



SITE INFORMATION:

PARCEL ID: R06700-002-136-000
 CURRENT ZONING: R-20
 PROPOSED USE: DETACHED SINGLE FAMILY RESIDENTIAL ± 16.29 ACRES (± 709,643 SF)
 OWNER INFORMATION: SUNRISE LAND INVESTMENTS, LLC.
 7923 REUNION DR
 WILMINGTON, NC 28411
 FLOOD INFORMATION: THIS PARCEL CONTAINS AREAS LOCATED IN FLOOD ZONE AE-12, AE-13, AND ZONE X, AS DETERMINED BY FEMA FLOOD PANEL 3720314600K AND 3720314500K DATED AUGUST 28, 2018
 WATERSHED RESOURCE PROTECTION: CONSERVATION AREA
 CAMA LAND USE CLASSIFICATION:

DIMENSIONAL REQUIREMENTS:

R-20
 - MINIMUM LOT AREA: 20,000 SF
 - MINIMUM LOT WIDTH: 80'
 - MAXIMUM LOT COVERAGE: 50%
 - MINIMUM FRONT SETBACK: 30'
 - MINIMUM REAR SETBACK: 25'
 - MINIMUM INTERIOR SIDE SETBACK: 15'
 - MINIMUM CORNER LOT SIDE SETBACK: 20'
 - MAXIMUM BUILDING HEIGHT: 35'
 PROVIDED BUILDING SETBACKS:
 - FRONT: 30'
 - REAR: 25'
 - INTERIOR SIDE: 15'
 - CORNER LOT SIDE: 20'
 - LOT COVERAGE: 50% MAX.
 - BUILDING HEIGHT: 35' MAX.

OPEN SPACE DATA:

REQUIRED: 0.03 AC/LOT OR UNIT
 23 LOTS X 0.03 AC = 0.69 AC OR 30,056 SF
 PROVIDED: 0.83 AC OR 36,474 SF
 ACTIVE: 15,028 SF
 PASSIVE: 21,446 SF

GENERAL NOTES:

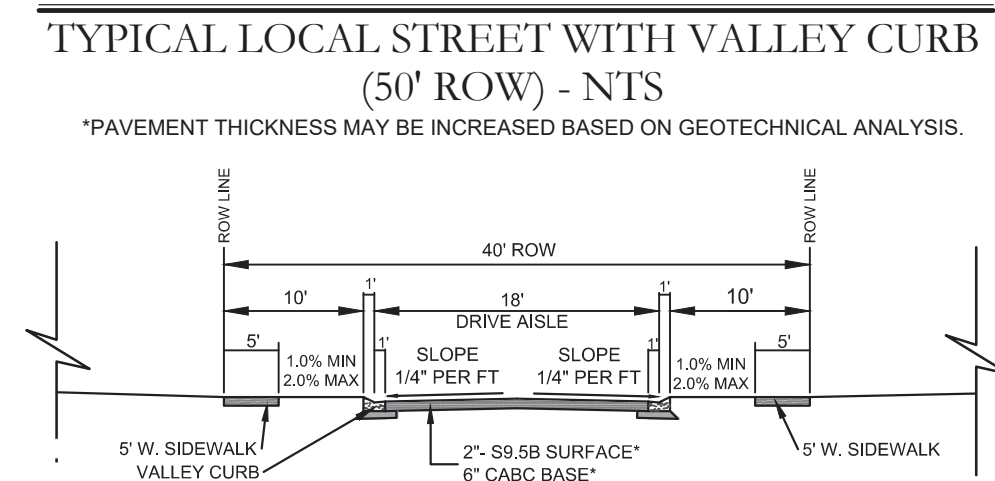
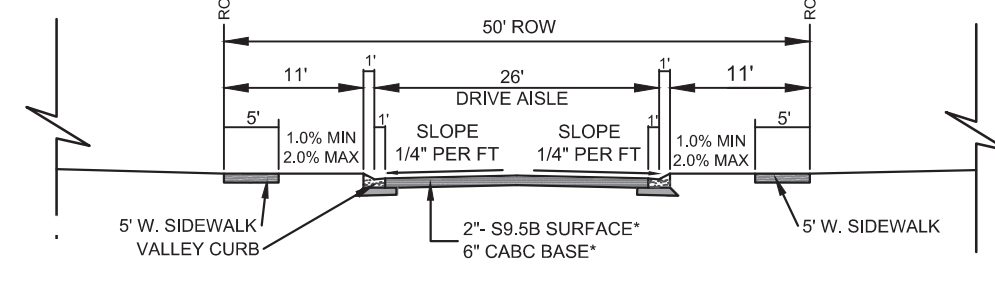
1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
2. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
5. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
6. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' - 10'.

IMPERVIOUS DATA:

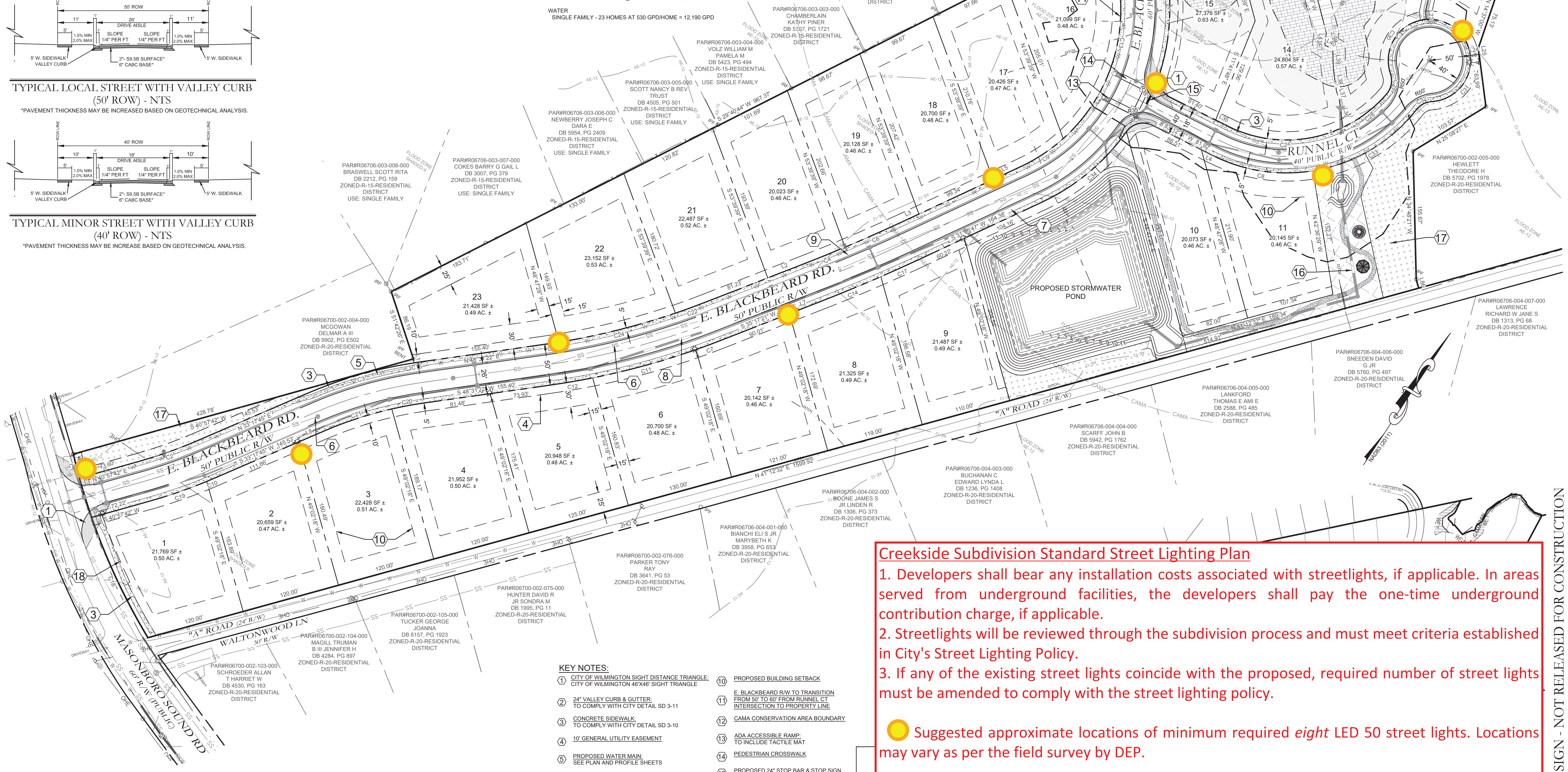
IMPERVIOUS AREA:
 EXISTING IMPERVIOUS: 0 SF
 PROPOSED LOTS (23 TOTAL): 148,200 SF
 PROPOSED PAVEMENT: 58,390 SF
 PROPOSED SIDEWALKS: 20,800 SF
 MISC. / FUTURE IMPERVIOUS: 14,520 SF
 TOTAL IMPERVIOUS: 241,910 SF

WATER/SEWER CAPACITY:

SANITARY SEWER
 SINGLE FAMILY - ASSUMING 4-BEDROOM HOMES @ 120 GPD/HOME = 480 GPD/HOME
 23 SINGLE FAMILY HOMES @ 480 GPD/HOME = 11,040 GPD
 WATER
 SINGLE FAMILY - 23 HOMES AT 530 GPD/HOME = 12,190 GPD



TYPICAL MINOR STREET WITH VALLEY CURB
(40' ROW) - NTS
 *PAVEMENT THICKNESS MAY BE INCREASED BASED ON GEOTECHNICAL ANALYSIS.



Creekside Subdivision Standard Street Lighting Plan

1. Developers shall bear any installation costs associated with streetlights, if applicable. In areas served from underground facilities, the developers shall pay the one-time underground contribution charge, if applicable.
2. Streetlights will be reviewed through the subdivision process and must meet criteria established in City's Street Lighting Policy.
3. If any of the existing street lights coincide with the proposed, required number of street lights must be amended to comply with the street lighting policy.

● Suggested approximate locations of minimum required eight LED 50 street lights. Locations may vary as per the field survey by DEP.

- KEY NOTES:**
1. CITY OF WILMINGTON SIGHT DISTANCE TRIANGLE: CITY OF WILMINGTON 46X44' SIGHT TRIANGLE
 2. 24" VALLEY CURB & GUTTER: TO COMPLY WITH CITY DETAIL SD 3-11
 3. CONCRETE SIDEWALK: TO COMPLY WITH CITY DETAIL SD 3-10
 4. 10' GENERAL UTILITY EASEMENT
 5. PROPOSED WATER MAIN: SEE PLAN AND PROFILE SHEETS
 6. PROPOSED SEWER MAIN: SEE PLAN AND PROFILE SHEETS
 7. PROPOSED STREET LIGHT FINAL LOCATION TO BE DETERMINED
 8. PROPOSED STORM CONVEYANCE: SEE GRADING AND DRAINAGE PLANS
 9. PROPOSED FIRE HYDRANT
 10. PROPOSED BUILDING SETBACK
 11. E. BEAKBEARD R/W TO TRANSITION FROM 50' TO 60' FROM RUNNEL CT INTERSECTION TO PROPERTY LINE
 12. CAMA CONSERVATION AREA BOUNDARY
 13. ADA ACCESSIBLE RAMP: TO INCLUDE TACTILE MAT
 14. PEDESTRIAN CROSSWALK
 15. PROPOSED 24" STOP BAR & STOP SIGN PER MUTCD STANDARD
 16. ACTIVE RECREATION SPACE
 17. PASSIVE RECREATION SPACE
 18. PEDESTRIAN ACCESS EASEMENT

REVISIONS:

CLIENT INFORMATION:
SUNRISE LAND INVESTMENTS, LLC.
 7923 REUNION DR
 WILMINGTON, NC 28411

PARAMOUNT ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-0707 (O) / (910) 791-6760 (F)
 NC License #: C-2846

SITE PLAN
 CREEKSIDE
 MASONBORO SOUND RD.
 WILMINGTON, NC, NEW HANOVER COUNTY

PROJECT STATUS:
 CONCEPTUAL LAYOUT:
 PRELIMINARY LAYOUT:
 RELEASED FOR CONSTRUCTION

DRAWING INFORMATION:
 DATE: 03/27/2019
 DESIGNED: JCH
 DRAWN: JCH
 CHECKED: JCH

SEAL:
 NORTH CAROLINA PROFESSIONAL ENGINEER
 040501
 DANIEL J. FISHER

C-2.1
 PEI JOB#: 18390.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

03/27/2019