



**Planning, Development  
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**DATE:** 03.27.2014  
**TO:** ProTrak  
**FROM:** Bill McDow  
Transportation Planning

■ **PIER 33 [Initial Plan Review]**

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

**BASE INFORMATION:**

- Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.
- The plans do not show necessary details for both sides of Nutt Street. Please identify any driveways, parking meters and marked parking stalls on the plan.
- Provide labels for dimensions for parking spaces, drive aisles, sidewalks, driveways, etc.

**TRAFFIC IMPACT:**

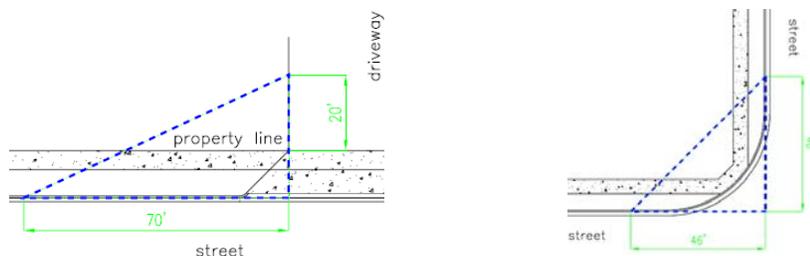
- ❖ A Traffic Impact Analysis (TIA) may be required for this development. The requirement for a traffic impact study for a development proposed within the Central Business District is evaluated on a case-by-case basis with the ability to waive the requirement if necessary. The City’s Traffic Engineer and Transportation Planning Manager determine if the TIA will be waived. Please contact Amy Kimes, PE at 910-473-5130 (amy.kimes@wilmingtonnc.gov) to discuss the TIA review process and begin the scoping discussion.

**TECHNICAL STANDARDS – NEW ROADS:**

1. Show a cross-section detail showing the existing street and the proposed widening for Nutt St, including the drop off and pick up areas.
2. Show a vertical profile for each of the proposed streets.

**TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, sight distance):**

3. Show driveways for adjacent lots and lots across the street.
4. Note which existing driveways will be closed. Extend the curb along these driveways and restore the verge area to match the existing/proposed.
5. Driveways shall be City-standard ramp-type driveways. Show appropriate City standard detail(s) on plan. [\[Chapter VII ,Detail SD 8-02 \(curb\) CofWTSSM\]](#)
6. Show proposed driveway centerline elevations at both the front and the back of each concrete driveway apron, at the curb line, property line & points at 26' and 52' behind the property line. [\[Chapter VII, C\(1\)\(a\)\(2\)12 CofWTSSM\]](#)
7. The minimum two-lane driveway width is 23'. [\[7-9 CofW Tech Stds\]](#)
8. The maximum two-lane driveway width is 30'. [\[7-9 CofW Tech Stds\]](#)
9. Distinguish between proposed and existing sidewalk(s) and provide dimensions.
10. Provide sidewalk detail SD 3-10 on the plan.
11. Show any traffic signal facilities and equipment in front of the development. Contact Traffic Engineering at 341-7888 for help in identifying these.
12. Show and apply the City's 20'x70' sight distance triangle at each driveway and the City's 46'x46' sight distance triangle at each street corner intersection on the site plan and landscaping plan. [\[Sec.18-529\(c\)\(3\)CofW LDC\]](#) Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [\[Sec.18-566 CofW LDC\]](#)

**TECHNICAL STANDARDS – PARKING:**

13. Dimension the on street parking spaces along Nutt Street.
14. The minimum standard vehicle on street parking space size is 8' in width by 23' in length. [\[Chapter VII, D, page 7-16 CofWTSSM\]](#)
15. The curb line for the proposed drop off/ pick up area adjacent to the intersection of Brunswick St and Nutt St shown on sheet C.1 does not match the curb line for sheet A1.01.
16. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way for parking that is open to the public. If the area is not open to emergency service vehicles or truck traffic, you may request a tighter radius, the minimum is 15'. This request must be made in writing (an email message is acceptable). [\[Chapter VII, Detail SD 15-13 CofWTSSM\]](#)
17. The backing stub is to be 10' deep by 15' wide. Please dimension. [\[Chapter VII ,Detail SD 15-12 CofWTSSM\]](#)
18. As the developer has chosen to provide automobile spaces, bicycle parking shall be provided in accordance with Sec. 18-528. Please add the required number and the proposed number to the site data table and graphically indicate on the plans the location of bike parking. [\[Sec.18-528 CofW LDC\]](#)

**TECHNICAL STANDARDS – Barrier Free Design:**

19. Please show location of handicap ramp(s) and signs and provide details on the plan.
20. Note/label the plan with spot elevations that clearly indicate the accessible route from the HC space(s) to the building. [\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)

21. Note the required and proposed number of handicapped spaces in the development data.  
[\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)

**REVISIONS TO NOTES ON THE PLAN:**

22. Please revise Traffic Engineering notes #3A on sheet C.1 by adding the following verbiage:  
#3A: A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.

**GENERAL NOTES TO ADD TO THE PLAN:**

- A. If these units are sold at any point, the buyer must receive a subdivision street disclosure statement. Please note this on the site plan and advise the property owner of this requirement. [\[Sec.18-378 \(e\) CofW LDC\]](#)

**MISCELLANEOUS:**

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
- ❖ Contact 341-7888 to discuss street lighting options.
- ❖ Contact 342-2786 to discuss proposed removal/reconfiguration/ construction sequencing related to on street parking spaces.
- ❖ Include appropriate City of Wilmington approval stamps prior to submitting final plans.
- ❖ Transportation Planning Staff reserves the right to review and comment on any additional plans submitted for this development.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.