



**Planning, Development
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DATE: 03.17.2014
TO: ProTrak
FROM: Bill McDow
Transportation Planning

■ **ELLINGTON FARMS [Initial Plan Review]**

☞ Initial Review Note ☞

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



TRAFFIC IMPACT:

- ❖ A Traffic Impact Analysis (TIA) was evaluated for a previous project at this location, that revealed the need for a left turn lane for this site. Additional TIA studies will not be required for this development if the above information on the number of apartments is consistent with the proposed use. Contact Transportation Planning prior to resubmitting plans if the intended use of the site is different than what is outlined above.

NCDOT:

It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact Allen Hancock, PE at 910.251.2655. Please note additional comments may be forthcoming once coordination occurs.

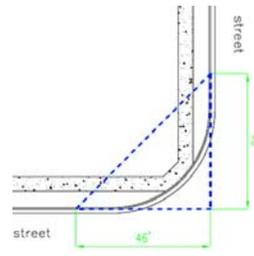
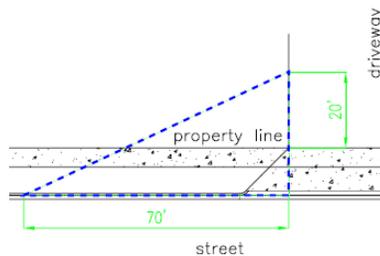
TECHNICAL STANDARDS – NEW ROADS:

1. Any multi-family development of more than 50 units must be served by a public street.
2. The minimum street corner radius is 35'. [\[7-5 CofW Tech Stds\]](#)

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, sight distance):

3. Please designate whether the site entrance is a street or driveway. If entrance is proposed as a driveway, it shall be City-standard ramp-type driveway and applicant shall show appropriate City standard detail(s) on plan. [\[Chapter VII ,Detail SD 8-02 \(curb\) CofWTSSM\]](#)

4. It appears that the site does not have sidewalk along the frontage of the property. Provide the required sidewalk and a connection between the site and the sidewalk along Gordon Rd.
5. Provide sidewalk detail SD 3-10 on the plan.
6. Show all adjacent traffic signs and pavement markings on the plan. [Sec. 18-529(b)(2) CofW LDC]
7. Show any traffic signal facilities and equipment, (including overhead Fiber Optic Cable), in front of the development. Contact Traffic Engineering at 341-7888 for help in identifying these.
8. Show and apply the City's 20'x70' sight distance triangle at each driveway and the City's 46'x46' sight distance triangle at each street corner intersection on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]



TECHNICAL STANDARDS – PARKING:

9. The backing stub is to be 10' deep by 15' wide. Please dimension. [Chapter VII ,Detail SD 15-12 CofWTSSM]
10. Portions of the proposed development do not appear to be in compliance with the 500'/800' rule pertaining to the maximum length of a private drive/parking lot. [Chapter VII , C (4), pg 7-15 to 7-16 CofWTSSM]
11. Please show the bicycle parking (required number and the proposed number), to the site data table and graphically indicate on the plans the location of bike parking. [Sec.18-528 CofW LDC]

TECHNICAL STANDARDS – Barrier Free Design:

12. Please show location of handicap ramp(s) and signs and provide details on the plan.
13. Note/label the plan with spot elevations that clearly indicate the accessible route from the HC space(s) to the building. [Sec. 18-529(b)(2) CofW LDC]
14. Note the required and proposed number of handicapped spaces in the development data. [Sec. 18-529(b)(2) CofW LDC]

REVISIONS TO NOTES ON THE PLAN:

15. Please revise Traffic Notes #3, #4 and #7 on sheet C-2 to reflect the following verbiage:
 - #3: Contact Traffic Engineering, at 341-7888 to ensure that all traffic signal facilities and equipment are shown on the plan. Add a note to call Traffic Engineering forty-eight (48) hours prior to any excavation in the R/W.
 - #4: Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.
 - #7: It shall be the responsibility of the subdivider to erect official street name signs at all intersections associated with the subdivision in accordance with the Technical Standards and Specifications Manual. The subdivider may acquire and erect official street name signs or may choose to contract with the city to install the street signs and the subdivider shall pay the cost of such installation. Contact Traffic Engineering at

341-7888 to discuss installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs.

GENERAL NOTES TO ADD TO THE PLAN:

- A. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
- B. All parking stall markings and lane arrows within the parking areas shall be white.
- C. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
- D. Contact Traffic Engineering at 341-7888 forty-eight hours prior to any excavation in the right of way.
- E. A sign shall be placed at the northern boundary of the property indicating that a future connection will be opened when the property to the north develops. Please note this on the site plan.

MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
- ❖ Contact 341-7888 to discuss street lighting options.
- ❖ Transportation Planning Staff will review the landscape plan once submitted for compliance with sight distance requirements.
- ❖ Include appropriate City of Wilmington approval stamps prior to submitting final plans.
- ❖ Transportation Planning Staff reserves the right to review and comment on any additional plans submitted for this development.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.