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**DATE:** 03.07.2018  
**TO:** ProTrak  
**FROM:** Mitesh Baxi  
 Traffic Engineering

■ **AMBERLEIGH SHORES PHASE II [TRC Plan Review]**

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



**BASE INFORMATION:**

- Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.

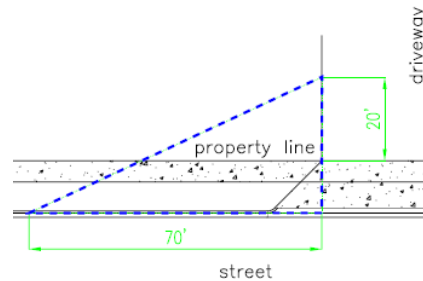
**NCDOT:**

It is the Applicant’s responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact NCDOT at 910. 251.2655. Please note additional comments may be forthcoming once coordination occurs.

**TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):**

1. There are more than one existing driveways in front of this property. Note which existing driveways will be closed. When the use of any driveway has been permanently discontinued, replace all necessary curbs, gutters, aprons, sidewalks, and appurtenances thereto [Sec. 18-530 CofW LDC]. Please label it accordingly.
2. Driveways shall be City-standard ramp-type driveways. Show City standard detail(s) on plan. [SD 3-03.3 & 3-03.4 (Vertical curb) CofWTSSM]. Where no curb exists in the vicinity, a flat slab type or a street type entrance may be allowed or required by the City Engineer. [page 7-9 CofWTSSM]
3. Dimension driveway widths and tapers. [Sec.18-529 CofW LDC]
4. Provide dimensions for the connector driveway accessing Amberleigh Shores Phase 1 and driveway for Buildings 6 and 7 of Phase 2.

5. The minimum two-lane driveway width is 23'. [7-9 CofW Tech Stds]
6. The maximum two-lane driveway width is 30'. [7-9 CofW Tech Stds]
7. A pavement marking plan is required for the driveway if it is greater than 30' in width. [page 7-9 CofWTSSM]
8. Please provide additional dimensions for the sidewalk and parking space for Buildings 6 and 7 of this phase.
9. Provide a sidewalk connection between the site and the proposed 10' multi-use path.
10. Please show the sidewalk connection to Buildings 6 and 7 from rest of the project.
11. City's site distance triangle at the driveway is not implemented as per standard. Show and apply the City's 20'x70' sight distance triangle at the driveway on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC]



12. Movement prohibition sign:

'No Left Turn' sign (R3-2) must be installed at the reconfigured driveway, in accordance with MUTCD to restrict the egress traffic from turning left into Market St. This sign may be used in conjunction with other required signs as per MUTCD. Show the location and label this sign on the plan.

#### TECHNICAL STANDARDS – PARKING:

13. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. If the travel way will not be used for emergency service vehicles or truck traffic, you may request a tighter radius, the minimum is 15'. This request must be made in writing (an email message is acceptable). [Chapter VII, Detail SD 15-13 CofWTSSM]
14. Provide wheel stops for parking spaces perpendicular to any proposed retaining walls to allow for car overhang and prevention of cars hitting the wall.
15. Portions of the proposed development do not appear to be in compliance with the 500'/800' rule pertaining to the maximum length of a private drive/parking lot. [Chapter VII , C (4), pg. 7-15 to 7-16 CofWTSSM]
16. Please show all the traffic control devices and pavement marking showing the traffic flow for this project.
17. A backing stub will be required for the parking facility of Building 7. The backing stub is to be 10' deep by 15' wide. Please dimension. [Chapter VII ,Detail SD 15-12 CofWTSSM]

#### TECHNICAL STANDARDS – Barrier Free Design:

18. Show the typical handicap sign detail on the plan as per ADA and City standards. [Sheets A1 of 5 and A2 of 5, CofW Sign Specification] <https://www.wilmingtonnc.gov/home/showdocument?id=3940>
19. The 5' sidewalk as proposed where adjacent to 90 degree parking spaces does not meet ADA requirements. An allowance for a 3' vehicle overhang must be considered. 4' of the sidewalk must remain clear for pedestrian use [Chapter VII, Detail SD 3-07 & SD 15-13 CofWTSSM]
20. If the sidewalk width is not revised to meet ADA standards, provide wheel stops for parking spaces perpendicular to sidewalk to allow for car overhang and pedestrian use. [Chapter VII, Detail SD 15-13 CofWTSSM]

21. Please provide the handicap ramp at the end of each sidewalk throughout the site.
22. Plan shows the location of handicap ramps for the accessible aisles. Show the symbol for handicap ramps on the plan.

**MISCELLANEOUS:**

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.