



Planning, Development and Transportation

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DATE: 02.25.2020
TO: ProTrak
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Traffic Engineering

■ **ROBERT HOLDING DIVISION [TRC Plan Review]**

Initial Review Note

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



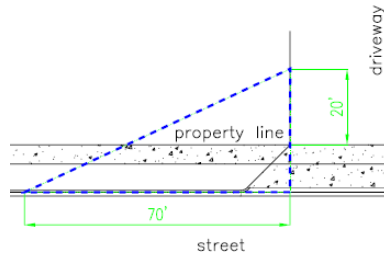
BASE INFORMATION:

- Revise to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.
<https://www.wilmingtonnc.gov/home/showdocument?id=1910>
- Coordinate with Engineering division for any variance to the technical standards.

TECHNICAL STANDARDS:

1. The driveway curb return must be at least 6.5' from intersecting property lines. [Chapter VII, C, Table 4 CofWTSSM]. Subject to variance.
2. Proposed driveway shall be City-standard ramp-type. Show appropriate City standard detail(s) on plan. [SD 3-03.3 & 3-03.4 CofWTSSM]. Subject to variance.
3. Access easement shall be in accordance with SD 1-14 of CofWTSSM. Subject to variance.
4. Dimension driveway widths and tapers. [Sec.18-530 CofW LDC]
5. The minimum two-lane driveway width is 23'. [Page 7-9 CofW Tech Stds]
6. The turnaround must be as per SD 3-05 of CofWTSSM. Revise and dimension. Subject to variance.
7. A traffic signage to restrict a vehicle parking at the turnaround, is recommended to keep it accessible for an emergency services. [MUTCD]
8. Portions of the proposed development do not appear to be in compliance with the 500'/800' rule pertaining to the maximum length of a private drive/parking lot. [Chapter VII, C (4), pg 7-15 to 7-16 CofWTSSM]. A variance may be required.

9. Show and apply the City's 20'x70' sight distance triangle at the driveway on the site plan [Sec.18-529(c) (3) CofW LDC] [Sec. 18-812 CofW LDC]. Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-556 CofW LDC]



GENERAL NOTES TO ADD TO THE PLAN:

- A. All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards. [Detail SD 11-03 and SD 15-13 CofW Tech Stds]
- B. All signs and pavement markings in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards. [Detail SD 15-13 CofW Tech Stds]
- C. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.

MISCELLANEOUS:

- ❖ Contact Traffic Engineering at (910) 341-7888 to discuss street lighting options.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.