



**Planning, Development  
and Transportation**  
Transportation Planning  
305 Chestnut Street  
PO Box 1810  
Wilmington, NC 28402-1810

910 341-3258  
910 341-7801 fax  
www.wilmingtonnc.gov  
Dial 711 TTY/Voice

**DATE:** 02.21.2018  
**TO:** ProTrak  
**FROM:** Mitesh Baxi  
Traffic Engineering

■ **ROLAND GRISE MIDDLE RENOVATIONS [TRC Plan Review]**

☞ Initial Review Note ☞

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



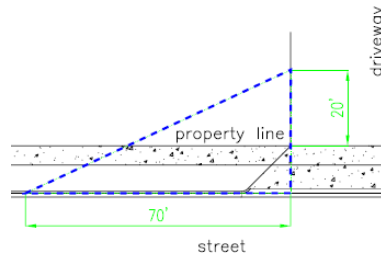
**BASE INFORMATION:**

- The site is within 500’ of a signalized intersection. Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings for the intersection Lake Ave and S College Road on the site plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.
- If pavement markings on site have weathered to the point they are not in accordance with the MUTCD standard of maintenance, it is developer’s responsibility to maintain it.

**TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):**

1. One of the existing driveway for this project is proposed to be discontinued. When the use of any driveway has been permanently discontinued, replace all necessary curbs, gutters, aprons, sidewalks, and appurtenances thereto [Sec. 18-530 CofW LDC]. Please label it accordingly.
2. The existing driveways are not in accordance with the City standards. Driveways shall be City-standard ramp-type driveways. Show City standard detail(s) on plan. [SD 3-03.3 & 3-03.4 CofWTSSM]. Where no curb exists in the vicinity, a flat slab type or a street type entrance may be allowed or required by the City Engineer. [page 7-9 CofWTSSM]
3. Driveways are to intersect the street at a 90 degree angle. [7-11 #3 CofW Tech Stds]. The eastern driveway of this property does not meet this requirement.
4. Provide the dimension for driveway widths and tapers. [Sec.18-529 CofW LDC]
5. Install wheelchair ramp at both the driveways per City standards. Connect sidewalk with ramp. [SD 3-08 CofWTSSM]

6. Show all adjacent traffic signs and pavement markings on the plan. [Sec. 18-529(b)(2) CofW LDC]
7. Dimension the existing and proposed sidewalks.
8. Show and apply the City's 20'x70' sight distance triangle at each driveway on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-556 CofW LDC]

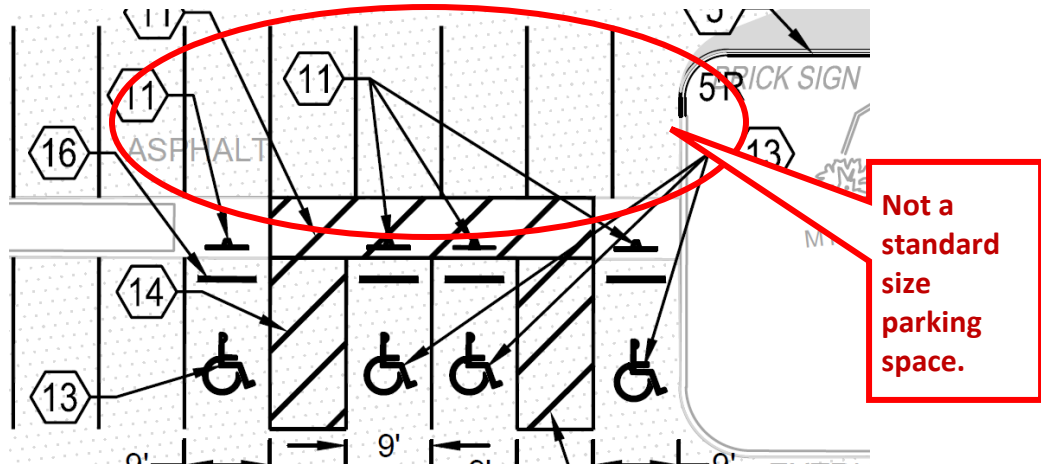


**TECHNICAL STANDARDS – PARKING:**

9. Please show all the traffic control devices and pavement marking showing the traffic flow for this project.
10. Twenty-four feet (24') is the minimum drive aisle width behind perpendicular parking. Please revise at all applicable locations.
11. The landscape island adjacent to the north of property boundary, does not meet the standard requirement. Please revise to show an island for the full length of parking space so that full protection is provided by the island for the parked vehicles. [SD 15-14 CofWTSSM]
12. Provide additional dimensions to clearly indicate the drive aisle widths at areas where proposed improvements alter the width.
13. Dimension parking island radii. [Sec. 18-529(b)(2) CofW LDC]
14. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. Proposed and existing islands at the end of a parking bay) for parking that is open to the public. If the travel way will not be used for emergency service vehicles or truck traffic, you may request a tighter radius, the minimum is 15'. This request must be made in writing (an email message is acceptable). [Chapter VII, Detail SD 15-13 CofWTSSM]
15. Please label all the proposed landscape islands within the parking facility. Landscape islands shall be a minimum width of 12' and a minimum of 216 sq ft. [Detail SD 15-14 CofWTSSM]

**TECHNICAL STANDARDS – Barrier Free Design:**

16. Show the typical handicap sign detail on the plan as per ADA and City standards. [Sheets A1 of 5 and A2 of 5, CofW Sign Specification]
17. Please provide wheel stops for the parking spaces located to the north of the handicap spaces (See below image for the reference).



18. The parking space to the far right of the above image is not as per standard size. Please provide the dimension.
19. The handicap parking spaces for this site does not have an accessible route. An accessible route must be provided to connect an accessible aisle to the accessible ramp at the nearest entrance of the building. [\[ADA Regulations\]](#)
20. Bicycle parking is noted in the site data. Please show the location of the bicycle rack on the site plan. Bicycle parking facilities shall be provided within two hundred (200) feet of the primary entrance to the facility. In the event of multiple entrances, bicycle-parking facilities shall be dispersed for easy access to the multiple entrances. [\[Sec.18-528\(f\) CofW LDC\]](#)

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.