



**Planning, Development  
and Transportation**  
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**DATE:** 02.21.2018  
**TO:** ProTrak  
**FROM:** Mitesh Baxi  
 Traffic Engineering

■ **BARCLAY CENTRE SUBDIVISION [Subdivision Plan Review]**

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



**BASE INFORMATION:**

- Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.

**NCDOT:**

It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact NCDOT at 910. 251.2655. Please note additional comments may be forthcoming once coordination occurs.

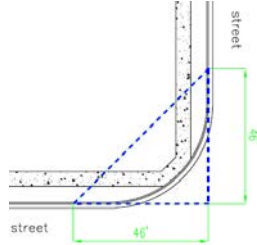
**TECHNICAL STANDARDS – NEW ROADS:**

1. Install wheelchair ramp at the end of the proposed 5' sidewalk at the intersection of Street A and Independence Blv., as per NCDOT and/or City standards. Connect sidewalk with ramp. [[CofW SD 3-09 & SD 11-11](#)]
2. Install wheelchair ramp at the intersection of Street A and Iron gate Dr. as per City standards. Connect sidewalk with ramp. [[CofW SD 3-09 & SD 11-11](#)]
3. The minimum street corner radii is 35'. [[7-5 CofW Tech Stds](#)] Please revise.

**TECHNICAL STANDARDS – ACCESS (sidewalk and sight distance):**

4. Please show all the traffic control devices and pavement marking showing the traffic flow for this project.

5. Site plan shows the stop bar at various locations. Show the location for the stop sign for this project.
6. Provide curbing detail [SD 3-11](#) on the plan.
7. Show and apply the City's 46'x46' sight distance triangle at each street corner intersection on the site plan and landscaping plan. [[Sec.18-529\(c\)\(3\)CofW LDC](#)]



**STREET LIGHTING** [[City of Wilmington Street Lighting Policy](#)]:

8. The standard streetlight shall be a DEP enclosed cutoff (Cobra type), high pressure sodium vapor (HPSV) or DEP designated LED equivalent fixture installed within the recommended range of mounting heights for the specific fixture. The standard streetlight shall be installed on a wooden pole in areas served from overhead facilities and on a fiberglass pole in areas served from underground facilities.
9. A plan for the standard street lighting is attached along with this review document. Minimum of *Five* street lights are required for this sub-division. Although, developers may choose to provide any extra lights or ornamental. Any installations above the criteria of Standard street lighting, will be considered as non-standard and has to conform to the City's non-standard street lighting procedure as per the policy.
10. When a lot or lots within a subdivision abut an existing public street, highway or thoroughfare, the subdivider shall be responsible for the installation of all improvements to that portion of the street, highway or thoroughfare adjacent to and utilized by that subdivision [[Sec. 18-378\(a\) CofW LDC](#)]. As part of the development process for this project, a standard street light of LED 150 is required to be installed at the intersection of Street A and Independence Blv, within the Independence Blv ROW. The installation of this standard street light will be required by the developer, regardless whether developer prefers to install non-standard or standard street lights throughout the project.
11. Developers shall bear any installation costs associated with streetlights, if applicable. In areas served from underground facilities, the developers shall pay the one-time underground contribution charge, if applicable.
12. The Planning, Development and Transportation Director or designee and the City Landscape Designer will coordinate plaza plantings and streetlight locations to minimize the obstruction of light by vegetation.

**GENERAL NOTES TO ADD TO THE PLAN:**

13. Prior to entering any agreement regarding the sale of a house or lot in a subdivision, the buyer must receive a subdivision street disclosure statement. Please note this on the site plan and advise the property owner of this requirement. [[Sec.18-378 \(e\) CofW LDC](#)].

**MISCELLANEOUS:**

- ❖ We will reserve comments on the street geometry and other technical issues until a full construction drawing is submitted.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.

- LEGEND**
- WV = WATER VALVE
  - WM = WATER METER
  - C/O = SANITARY SEWER CLEAN OUT
  - INV. = INVERT
  - BFP = BACK FLOW PREVENTOR
  - GW = GUY WIRE
  - SWMH = STORM MANHOLE
  - GT. = GREASE TRAP
  - FH = FIRE HYDRANT
  - I.S. = IRON SET
  - ⊙ = SANITARY SEWER MH
  - ⊙ = CURB INLET
  - ⊙ = TREE
  - ⊙ = CURB RAMP
  - ⊙ = WATER SERVICE
  - ⊙ = SEWER CLEANOUT
  - ⊙ = WATER VALVE
- PROPERTY LINE  
BUILDING SETBACK  
CENTERLINE  
EASEMENT  
COMPUTED PROPERTY LINE  
EXISTING CONTOUR  
STORM DRAIN  
PROPOSED SANITARY SEWER

**As a part of the development process and City of Wilmington Street Lighting Policy, a standard street light of LED 150 is required to be installed by the developer within the Independence Blv ROW.**

**Barclay Centre Subdivision Standard Street Lighting Plan**

- Developers shall bear any installation costs associated with streetlights, if applicable. In areas served from underground facilities, the developers shall pay the one-time underground contribution charge, if applicable.
- Streetlights will be reviewed through the subdivision process and must meet criteria established in City's Street Lighting Policy.
- If any of the existing street lights coincide with the proposed, required number of street lights must be amended to comply with the street lighting policy.

● Suggested approximate locations of minimum required Five street lights. Locations may vary as per the field survey by DEP.

- STANDARD NOTES:**
- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
  - NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
  - ALL TREES WHICH ARE NOT REQUIRED TO BE CLEARED FOR CONSTRUCTION SHALL BE PRESERVED WHEREVER POSSIBLE UNLESS OTHERWISE DIRECTED.
  - CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE AND CURB BOXES TO THE FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
  - THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT HIS EXPENSE. ROADS SHALL BE WATERED TO CONTROL DUST WHEN ORDERED BY THE ENGINEER.
  - NO GEOTECHNICAL TESTING HAS BEEN PERFORMED ON SITE. NO WARRANTY IS MADE FOR SUITABILITY OF SUBGRADE, AND UNDERCUT AND ANY REQUIRED REPLACEMENT WITH SUITABLE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - EXTREME CARE SHALL BE TAKEN TO ENSURE MINIMUM SEPARATIONS AT ALL UTILITY CROSSINGS.
  - CONTRACTOR TO ENSURE THAT PAVEMENT IS PLACED SO AS TO DRAIN POSITIVELY TO THE CURB OUTLETS AND CATCH BASINS. ALL ROOF DRAIN DOWNSPOUTS TO BE DIRECTED TO THE STORM SEWER SYSTEM.
  - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
  - THIS PLAN IS FOR SITE GRADING, ROADWORK & SEWER INSTALLATION ONLY.
  - NO ENCUMBRANCES IN RW EXCEPT AS SHOWN.
  - AFFECTED NON-MUNICIPAL UTILITIES SHALL BE CONTACTED AND PROVIDED WITH PLANS AND OTHER PERTINENT INFORMATION, WHEN FEASIBLE, TO COORDINATE APPROPRIATE SCHEDULING AND PLACEMENT AT THE MINIMUM THIS SHOULD INCLUDE BELL SOUTH AND DUKE ENERGY.
  - TEMPORARY PROJECT AREA LIMITS ARE AS SHOWN.
  - THIS PROPERTY IS ZONED OS-1.
  - SEWER AND WATER TO BE PROVIDED BY CFPUA. SPECIFIC LOCATION, SIZING, AND DETAILS WILL BE PROVIDED ON THE CONSTRUCTION PLANS AND TO BE APPROVED BY CFPUA AND CITY ENGINEERS.
  - SITE WILL MEET ALL ZONING REQUIREMENTS.
  - ANY REGULATED TREES ON SITE TO BE PRESERVED AS SHOWN.
  - STRIPING AND LANES TO CITY STANDARDS (THERMOPLASTIC).
  - NO UTILITIES UNDERGROUND.
  - LANDSCAPING PLAN BY OTHERS.

- UTILITY NOTES**
- CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD NOTES:
- SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
  - WATER AND SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE AT RIGHT-OF-WAY LINE. SEWER SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR, OR MUST ORIGINATE IN THE END OF LINE MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
  - ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF CLASS 50, DIP WITH PROTECTO 401 CERAMIC EPOXY LINING.
  - MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
  - NO FLEXIBLE COUPLINGS SHALL BE USED.
  - ALL STAINLESS STEEL FASTENERS SHALL BE 316.
  - CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM
  - ALL PROPERTY CORNERS. WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNER.
- ADDITIONAL NOTES:  
CFPUA PERMIT REQUIRED FOR ANY UTILITY SERVICES WORK. CONTRACTOR RESPONSIBLE FOR PERMIT AND COORDINATION WITH CFPUA. ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH CITY AND CFPUA TECHNICAL STANDARDS.

SITE AREA DESCRIPTION	STABILIZATION
Perimeter dikes, swales, ditches and slopes	7 DAYS
High Quality Water (HDW) Zones	7 DAYS
Slopes steeper than 3:1	7 DAYS
Slopes 3:1 or flatter	14 DAYS
All other areas with slopes flatter than 4:1	14 DAYS

**STABILIZATION TIME FRAME:** SHALL BE STABILIZED WITHIN 15 WORKING DAYS OR 21 CALENDAR DAYS AND AS ABOVE. ALL SLOPES MUST BE STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY ACTIVITY.

DETAILS SHOWN ARE TYPICAL OF INSTALLATIONS REQUIRED BY THE TOWN AND COUNTY. THIS SHEET DOES NOT PURPORT TO SHOW ALL REQUIRED CONSTRUCTION DETAILS, BUT OTHER SERVICES AS A GUIDE. THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL CITY, COUNTY AND STATE CODES AND CONSTRUCTION STANDARDS.

No geotechnical testing has been performed on site. No warranty is made for suitability of subgrade, and undercut and any required replacement with suitable material shall be the responsibility of the contractor.

**NOTE WELL:**

**NOTE WELL:**  
SEWER PIPE (SIZED 8" THROUGH 12") SHALL BE CLASS 150, SDR18, CONFORMING TO AWWA C900 REQUIREMENTS.  
SEE SPECIFICATIONS FOR ADDITIONAL PIPE SIZES, CLASSES AND SCHEDULES. (TYPICAL).

**NOTE WELL:**  
C-900 PVC OR DIP IS TO BE USED FOR ANY SEWERS WITH A DEPTH GREATER THAN 12' (TYPICAL).  
INSIDE DROP MANHOLES SHALL BE A MINIMUM OF 5' DIAMETER.  
A DROP PIPE SHALL BE PROVIDED FOR SEWER ENTERING A MANHOLE 30" ABOVE MANHOLE INVERT. SEE DETAIL SHEET.

**NOTE WELL:** IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE MINIMUM SEWER SLOPES SPECIFIED BY STATE REGULATIONS ARE ACHIEVED.

INDEPENDENCE REGIONAL POND  
SEE STORMWATER PERMIT: SW8 951208

**NOTE WELL:**  
1) CLASS IV RCP SHALL BE USED WHEN COVER IS LESS THAN 2.0' FOR STORM SEWER

**NOTE WELL:**  
1) CONTRACTOR TO ENSURE THAT STREET PAVEMENT & CURBING IS PLACED SO AS TO DRAIN POSITIVELY TO CURB INLETS AND DRAINAGE STRUCTURES.

**NOTE WELL:**  
MULTIPLE UTILITIES SHOWN GRAPHICALLY IN PROFILE. DEVIATIONS NOTED AS SHOWN. MAINTAIN 36" COVER AND USE DIP AT CROSSINGS WHEN REQUIRED. SEE COVER SHEET NOTES.

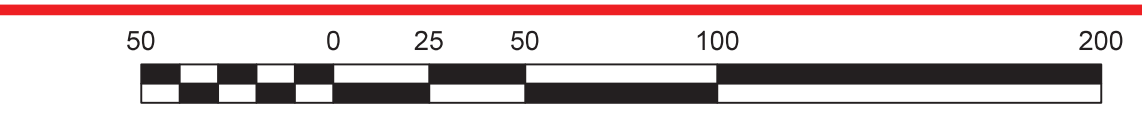
**NOTE WELL:**  
1) All storm water runoff from built upon areas (i.e. impervious surfaces & roof drainage) to be directed to the storm sewer collection system (i.e. storm inlets or ponds) by swales, overland flow, additional grading, or landscaping inlets.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**STORMWATER MANAGEMENT PLAN**  
APPROVED  
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE \_\_\_\_\_  
PERMIT # \_\_\_\_\_  
SIGNED \_\_\_\_\_

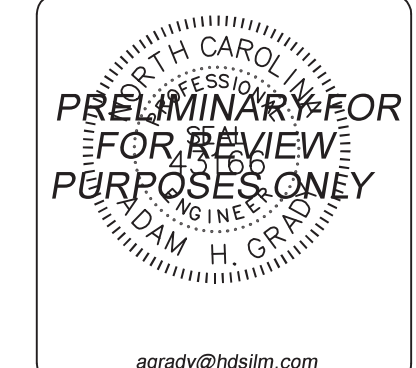
**Approved Construction Plan**

Name	Date
Planning _____	
Traffic _____	
Fire _____	



REV. NO.	REVISIONS	DATE

**SITE PLAN**  
**Barclay Centre**  
**STREET AND UTILITY EXTENSIONS**  
CITY OF WILMINGTON  
NEW HANOVER COUNTY, NORTH CAROLINA



OWNER: CAMERON PROPERTIES LAND COMPANY, LLC  
WILMINGTON, NC  
P.O. BOX 3649

HANOVER DESIGN SERVICES, P.A.  
LAND SURVEYORS, ENGINEERS & LAND PLANNERS  
1123 21 STREET, SUITE 100  
WILMINGTON, NC 28403  
PHONE: 910-343-0002  
LICENSE # C-5597

Date: 01-31-18  
Scale: HORIZ.: 1"=50'  
Drawn: AHG  
Checked: GW  
Project No: 5834  
Sheet No: SRB-4  
SRB-4

**PRELIMINARY PLAN**  
**NOT FOR RECORDATION OR CONVEYANCE**