



**Planning, Development
and Transportation**

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DATE: 02.06.2019
TO: ProTrak
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Traffic Engineering

■ **ECHO FARMS PARK [TRC Plan Review]**

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



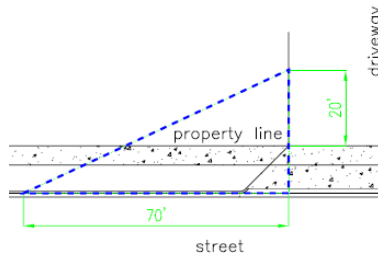
BASE INFORMATION:

- Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements. <https://www.wilmingtonnc.gov/home/showdocument?id=1910>
- Show the street light poles in the vicinity of this project.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

1. Show driveways for adjacent lots and lots across the street.
2. Proposed driveway shall be City-standard ramp-type. Show appropriate City standard detail(s) on plan. [SD 3-03.3 & 3-03.4 CofWTSSM]
3. Dimension driveway tapers. [Sec.18-530 CofW LDC]
4. Provide sidewalk detail SD 3-10 on the plan.
5. Provide curbing detail SD 3-11 on the plan.
6. Pavement markings for the crosswalk at the concrete driveway/s is not required and shall not be installed.
7. Pavement markings for the crosswalk across Echo Farms Blv is not required and shall not be installed.
8. Detectable warning mat shown at the sidewalk connection to existing west side driveway, is not required since the pedestrian right-of-way continues across driveway aprons.

9. Show and apply the City's 20'x70' sight distance triangle at each driveway on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-556 CofW LDC] [Sec. 18-812 CofW LDC]



TECHNICAL STANDARDS – PARKING:

10. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. If the travel way will not be used for emergency service vehicles or truck traffic, you may request a tighter radius, the minimum is 15'. This request must be made in writing (an email message is acceptable). [Chapter VII, Detail SD 15-13 CofWTSSM]
11. Please show all the traffic control devices and pavement marking showing the traffic flow for this project.

TECHNICAL STANDARDS – Barrier Free Design:

12. Show the typical handicap sign detail on the plan as per ADA and City standards. [Sheets A1 of 5 and A2 of 5, CofW Sign Specification] <https://www.wilmingtonnc.gov/home/showdocument?id=3940>
13. Note/label the plan with spot elevations that clearly indicate the accessible route from the HC space(s) to the building. [Sec. 18-529(b)(2) CofW LDC]

MISCELLANEOUS:

- ❖ Contact Traffic Engineering at (910) 341-7888 to discuss street lighting options.
- ❖ We will reserve comments on the parking lot, driveway geometry and other technical issues until a full construction drawing is submitted.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.