



**Planning, Development and Transportation**

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**DATE:** 01.30.2019  
**TO:** ProTrak  
**FROM:** Mitesh Baxi  
Traffic Engineering

■ **CFPUA PUMP STATION #10 REPLACEMENT [TRC Plan Review]**

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

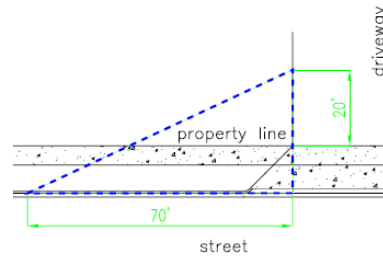


**BASE INFORMATION:**

- Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements. <https://www.wilmingtonnc.gov/home/showdocument?id=1910>

**TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):**

1. Dimension driveway widths and radii. [Sec.18-530 CofW LDC]
2. The minimum two-lane driveway width is 23'. [7-9 CofW Tech Stds]
3. The maximum two-lane driveway width is 30'. [7-9 CofW Tech Stds]
4. Provide sidewalk detail SD 3-10 on the plan.
5. Provide curbing detail SD 3-11 on the plan.
6. Stop sign shall be installed for the driveway off One Tree Hill Way.
7. Show and apply the City's 20'x70' sight distance triangle at each driveway off One Tree Hill Way on the site plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-556 CofW LDC] [ Sec. 18-812 CofW LDC]



#### TECHNICAL STANDARDS – PARKING:

8. All off street parking areas shall be arranged so that ingress and egress is by forward motion of vehicles. [[Sec.18-526 CofW LDC](#)]
9. Show and dimension parking space on the site plan. [[Sec. 18-529\(b\)\(2\) CofW LDC](#)]
10. The minimum standard vehicle parking space size is 8.5' in width by 18' in length.

#### TECHNICAL STANDARDS – Barrier Free Design:

11. Where four or fewer parking spaces are provided on a site the accessible space must be van-accessible is not required. [[ADA](#)]
12. Please show location of accessible ramp(s) and provide details on the plan.
13. Note/label the plan with spot elevations that clearly indicate the accessible route from the HC space(s) to the building. [[Sec. 18-529\(b\)\(2\) CofW LDC](#)]

#### GENERAL NOTES TO ADD TO THE PLAN:

- A. All signs and pavement markings in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards. [[Detail SD 15-13 CofW Tech Stds](#)]
- B. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.

#### MISCELLANEOUS:

- ❖ Contact Traffic Engineering at (910) 341-7888 to discuss street lighting options.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.