



**Planning, Development
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DATE: 01.26.2016
TO: ProTrak
FROM: Bill McDow
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■ **HOGGARD HIGH SCHOOL EXPANSION [TRC Plan Review]**

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

NCDOT:

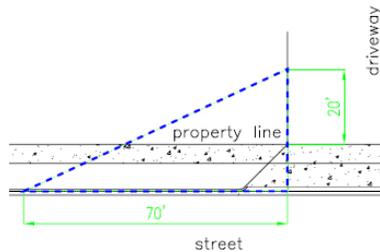
It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact Allen Hancock, PE at 910. 251.2655. Please note additional comments may be forthcoming once coordination occurs.

TECHNICAL STANDARDS – DRIVEWAY ACCESS (Major Thoroughfares):

1. Show the radius for the Shipyard Blvd Driveways. Due to the bus traffic a minimum R25 will be needed for the driveways.
2. The existing midblock driveway on Shipyard has approximate 15' wide drive aisles. This width may constraint the use for bus traffic. Consider increasing the drive aisle width or radius at the turns.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

3. Note which existing driveways will be closed. Extend the curb along these driveways and restore the verge area to match the existing/proposed.
4. Driveways shall be City-standard ramp-type driveways. Show appropriate City standard detail(s) on plan. [Chapter VII ,Detail SD 8-02 CofWTSSM]
5. Dimension driveway widths and tapers. [Sec.18-529 CofW LDC]
6. Please label the dimensions for the driveways on 41st Street. The minimum two-lane driveway width is 23'. [7-9 CofW Tech Stds]
7. Distinguish between proposed and existing sidewalk(s) and provide dimensions.
8. The proposed Laurel Oak trees for the existing driveway on 41st Street are within the 20'X70' Sight Distance Triangle for the entrance. The trees must be move out of the SDT or Trimmed to provide clear visual sight distance at the driveway. If another tree is used, please show on the landscape plan.
9. Show and apply the City's 20'x70' sight distance triangle at each driveway on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]



TECHNICAL STANDARDS – PARKING:

10. The Utility Plan sheet shows a water connection to a Hydrant, Tapping Sleeve and other connection. Will the work require a bore under Shipyard Blvd or an open cut of the street?
11. The Utility work is directly adjacent to the Traffic Cabinet and Traffic Control Box in Shipyard Blvd. ROW. Coordination and field locates from Traffic Engineering will be required.
12. The existing conditions sheet showed wheel stops, however, the proposed site plan did not show wheel stops.
13. All off street parking areas shall be arranged so that ingress and egress is by forward motion of vehicles. [\[Sec.18-526 CofW LDC\]](#)
14. Dimension parking stalls, radii and parking aisles. [\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)
15. Drive aisles are 24' behind 90 degree parking. Increase the 20' drive aisle to 24'.
16. Parallel parking spaces are a minimum of 7' wide and 23' long, please dimension on the plan.
17. Landscape islands are not shown on both sides of the parallel parking. Please install the islands.
18. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. If the travel way will not be used for emergency service vehicles or truck traffic, you may request a tighter radius, the minimum is 15'. This request must be made in writing. [\[Chapter VII, Detail SD 15-13 CofWTSSM\]](#)
19. Label the location for the student drop off and pick up areas. Drop off/pick up areas are required for daycare centers, schools and similar uses. [\[Sec.18-553 CofW LDC\]](#)
20. The proposed parking area to the west side of the new gym, appears to have a conflict between the new sidewalk and the foundation planting area. Allow a minimum of 4' of pedestrian sidewalk area.
21. Protection from vehicles is required around all required landscaped areas within vehicular areas.
22. Provide wheel stops for parking spaces perpendicular to any proposed retaining walls to allow for car overhang and prevention of cars hitting the wall.
23. Please provide No Parking signs for the Fire Lanes.
24. The backing stub is to be 10' deep by 15' wide. Please dimension. [\[Chapter VII ,Detail SD 15-12 CofWTSSM\]](#)
25. The site has utilized raised sidewalk and flush curb. Show the transition from standard curb to flush curb on the site plans.
26. Provide a turning movement analysis of a bus and fire truck within the new parking lot. Ensure the temporary and permanent parking lots allow proper movement for these vehicles.
27. Provide wheel stops for parking spaces perpendicular to any proposed retaining walls to allow for car overhang and prevention of cars hitting the wall.
28. Please replace the proposed driveway details with the City of Wilmington Standard Detail.
29. The Technical Standard specifies wheel stops as 4" high. Please revise the wheel stop detail.
30. Provide bicycle parking in accordance with Section 18-528 of the City of Wilmington Land development Code. Graphically show the locations for the bike racks on the plan and add the number required and proposed to the site development data. [\[Sec.18-528 CofW LDC\]](#)

TECHNICAL STANDARDS – Barrier Free Design:

31. The 5' sidewalk as proposed where adjacent to 90 degree parking spaces does not meet ADA requirements. An allowance for a 2.5' vehicle overhang must be considered. 4' of the sidewalk must

remain clear for pedestrian use. If wheel stops are planned for the site, show them on the plan. [\[Chapter VII, Detail SD 15-13 CofWTSSM\]](#)

32. Show the location of curb ramps and wheel chair ramps at each street corner or sidewalk.
33. The proposed handicap ramps beside the cafeteria are not clearly shown. Provide details on the ramps, (slope, elevations, width, landing areas, FFE of the cafeteria, etc.). The Sheet C-1.2 shows an "Alternative #2" on the site plans.
34. There appears to be grade changes from the areas of flush curb to the raised sidewalks. Provide elevation data for these areas. Ensure sidewalks and ramps meet ADA guidelines for slope and cross slope.
35. Note/label the plan with spot elevations that clearly indicate the accessible route from the HC space(s) to the building. [\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)
36. Note the required and proposed number of handicapped spaces in the development data. [\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)

REVISIONS TO NOTES ON THE PLAN:

37. Please revise City of Wilmington notes #15 and 16 on sheet C-1.2 and Landscape Notes #14 on Sheet C-6.1 to reflect the following verbiage:
 - #15: Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.
 - #16: Contact Traffic Engineering at (910) 341-7888 to discuss street lighting options.
 - #14: All proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'.

MISCELLANEOUS:

- ❖ Contact Alina Jakubcanin at 341-7888, Alina.Jakubcanin@wilmingtonnc.gov, to discuss street lighting options.
- ❖ Include appropriate City of Wilmington approval stamps prior to submitting final plans.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.