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DATE: 01.15.2012
TO: ProTrack
FROM: Tara S. Murphy, ASLA/RLA/LEED AP Dave Brent
 Transportation Planning Traffic Engineering

■ **SCUBA NOW [Initial plan review]**

☞ Initial Review Note ☞

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.



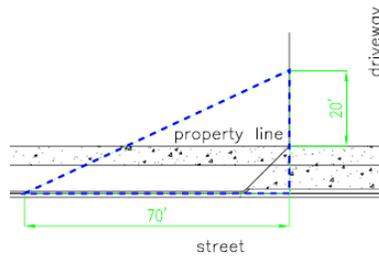
NCDOT:

Wrightsville Avenue is a NCDOT facility. The plans indicate work to be performed in the right of way. It is the Applicant's responsibility to coordinate directly with NCDOT to determine if any driveway permits/ revisions/ review processes are required. Contact NCDOT directly at 910.251.2655.

TECHNICAL STANDARDS:

1. Driveways shall be City-standard ramp-type driveways. Show appropriate City standard detail(s) on plan. [\[Chapter VII ,Detail SD 8-02 \(curb\) CofWTSSM\]](#)
2. Show proposed driveway centerline elevations at both the front and the back of each concrete driveway apron, at the curb line, property line & points at 26' and 52' behind the property line. [\[Chapter VII, C\(1\)\(a\)\(2\)12 CofWTSSM\]](#)
3. Dimension driveway widths and tapers. [\[Sec.18-529 CofW LDC\]](#)
4. The minimum two-lane driveway width is 23'. [\[7-9 CofW Tech Stds\]](#)
5. Show all adjacent traffic signs and pavement markings on the plan. [\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)
6. Extend the driveway to the edge of existing pavement along Park Avenue. Remove the arrows proposed to be in the Park Avenue Street.
7. Provide a sidewalk connection between the site and the public sidewalk.
8. The standard city sidewalk width is 5'. Plans indicate 4' along the Wrightsville Ave. frontage. Please revise.
9. Provide a 5' sidewalk along the Park Ave. street frontage.
10. Provide sidewalk detail SD 8-15 on the plan.
11. Show and apply the City's 20'x70' sight distance triangle at the driveway on the site plan and landscaping plan. [\[Sec.18-529\(c\)\(3\)CofW LDC\]](#) Add a note indicating that all proposed vegetation

within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]



12. Dimension parking radii. [Sec. 18-529(b)(2) CofW LDC]
13. The minimum standard vehicle parking space size is 8.5' in width by 18' in length.
14. Protection from vehicles is required around all required landscaped areas within vehicular areas.
15. Provide wheel stops for parking spaces - maximum height is 4", to be located 2.5' from front end of stall. Include a detail or note to this effect.
16. Show the handicapped parking sign on the plan and provide a detail.
17. Per the LDC Sec. 18-482 – A landscaped yard 10' in width is required along any side of a parking lot abutting residentially zoned property. Please address.
18. Parking lot must meet requirements of standard details SD 15-13 and 15-10 for parking lots under 25 stalls. Provide a continuous perimeter border and 6" gravel surface. [SD 15-11 CofW Tech Stds]
19. Although not a requirement, it is requested the Applicant consider adding some bicycle parking.
20. The plans indicate a dumpster pad. Please indicate if a commercial hauler will need to access this area – if so, please note and ensure that trash vehicles ingress and egress the site in a forward motion. Or is this an area to store roll out carts for City trash pickup along Park Avenue?
21. Include appropriate City of Wilmington approval stamps (bottom right hand of each plan sheet) prior to submitting final plans. Please email me if you would like a cadd file of these.
22. Please add the following general notes to the plans;
 - A. All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards. [Detail SD-13 CofW Tech Stds]
 - B. All signs and pavement markings in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards. [Detail SD 15-13 CofW Tech Stds]
 - C. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
 - D. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
 - E. Any broken or missing sidewalk panels and curbing will be replaced.
 - F. A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plat. [SD 15-14 CofW Tech Stds]
 - G. Contact Traffic Engineering at 341-7888 forty-eight hours prior to any excavation in the right of way.

MISCELLANEOUS:

- ❖ Permitting of business identification signage is a separate process. NCDOT/ City of Wilmington will not allow obstructions within the right of way.
- ❖ Contact 341-7888 to discuss street lighting options.