



**Planning, Development
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DATE: 1.06.2016
TO: ProTrak
FROM: Bill McDow
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■ **MAYFAIRE TOWN CENTER PHASE 3 [TRC Plan Review]**

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

BASE INFORMATION:

- Plan sheets C 1.1- C 2.4 were not drawn with a line weight that is easily visible. An adequate review cannot be accomplished with this plan set. Revise all plan sheets to illustrate the existing parking areas, drive aisles, streets and infrastructure on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.
- The project proposes to do construction on the crosswalks and street sections of Town Center Dr. Coordinate the closure of Town Center Dr. and / or detours for Town Center Dr. with City of Wilmington, NHC 911, WPD, WFD and CFPUA and WAVE Transit.
- Please provide updated Trip Generation for this phase of Mayfair Town Center showing existing trips and new trips associated with this development.

TECHNICAL STANDARDS – ROADS:

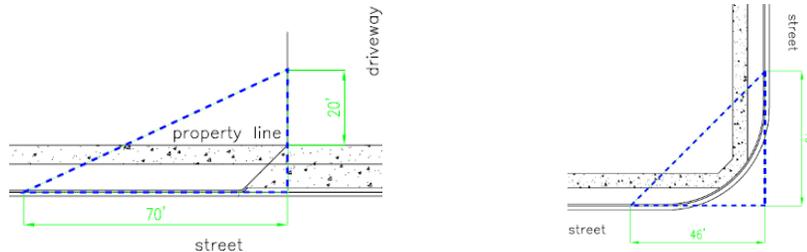
1. Show a cross-section detail showing the existing street and the proposed changes to the cross-section detail.
2. Install wheelchair ramps at the corner of Town Center Drive and the new/revised crosswalks per City standards. Connect sidewalk with the ramps.
3. All on street parking shall be at least 15' from fire hydrants, please verify distance on the site plan and utility plan.

TECHNICAL STANDARDS – DRIVEWAY ACCESS (Non-Major Thoroughfares):

4. Driveways along side streets not classified as a major thoroughfare must have corner clearance of 60' measured along the curb line. Ensure the entrances to the new parking areas and/or relocated driveways are at least 60' from the corner. [\[7-13 CofW Tech Stds\]](#)

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

5. Provide details on the proposed sidewalk connections between the site and the existing public sidewalk. Show curb transitions from the standard curb to wheel chair ramps.
6. Distinguish between proposed and existing sidewalk(s) and provide dimensions
7. Show all adjacent traffic signs and pavement markings on the plan. [Sec. 18-529(b)(2) CofW LDC]
8. Show and apply the City's 20'x70' sight distance triangle at each driveway and the City's 46'x46' sight distance triangle at each street corner intersection on the site plan and landscaping plan. [Sec.18-529(c)(3)CofW LDC] Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [Sec.18-566 CofW LDC]

**TECHNICAL STANDARDS – PARKING:**

9. Provide a tactile mat at each handicap ramp or wheel chair ramp.
10. All off street parking areas shall be arranged so that ingress and egress is by forward motion of vehicles. [Sec.18-526 CofW LDC]
11. Show the existing parking aisles, islands, and spaces along with the proposed dumpster locations near buildings M2, L, Q and R.
12. Dimension parking stalls, radii and parking aisles. [Sec. 18-529(b)(2) CofW LDC]
13. The minimum standard vehicle parking space size is 8.5' in width by 18' in length.
14. The minimum radius is 25' for any portion of a parking lot adjacent to a travel way (i.e. islands at the end of a parking bay) for parking that is open to the public. If the travel way will not be used for emergency service vehicles, Fire Engine or truck traffic, you may request a tighter radius, the minimum is 15'. This request must be made in writing. [Chapter VII, Detail SD 15-13 CofWTSSM]
15. Twenty-four feet (24') is the minimum drive aisle width behind perpendicular parking. Please dimension these areas.
16. Provide additional dimensions to clearly indicate the drive aisle widths at areas where proposed improvements alter the width.
17. Protection from vehicles is required around all required landscaped areas within vehicular areas.
18. Provide wheel stops for parking spaces perpendicular to any proposed retaining walls to allow for car overhang and prevention of cars hitting the wall.
19. The backing stub is to be 10' deep by 15' wide. The parking lot changes near building M2 appear to be creating a backing stub. Please dimension. [Chapter VII ,Detail SD 15-12 CofWTSSM]
20. Provide a turning movement analysis of a trash truck vehicle at the new Dumpster locations.
21. Provide wheel stops for parking spaces perpendicular to any proposed retaining walls to allow for car overhang and prevention of cars hitting the wall.
22. Due to the proximity to the Cross City Trail/ Military Cutoff Trail, the applicant is asked to provide additional bicycle parking in accordance with Section 18-528 of the City of Wilmington Land development Code. Add the number required and proposed to the site development data. [Sec.18-528 CofW LDC]

TECHNICAL STANDARDS – Barrier Free Design:

23. Note/label the plan with spot elevations that clearly indicate the accessible route from the HC space(s) to the building. [Sec. 18-529(b)(2) CofW LDC]

24. Note the required and proposed number of handicapped spaces in the development data.
[\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)

REVISIONS TO NOTES ON THE PLAN:

25. Please revise Site notes #11, #12 and #28 on sheet C 2.1 and C 2.2 to reflect the following verbiage:
- #11: All traffic control signs and markings off the right-of-way are to be maintained by the property owner **in accordance with MUTCD standards**.
 - #12: Any broken or missing sidewalk panels, **driveway panels** and curbing will be replaced.
 - #28: Contact Traffic Engineering at (910) 341-7888 to discuss street lighting options.

MISCELLANEOUS:

- ❖ Contact Alina Jakubcanin at 341-7888, Alina.Jakubcanin@wilmingtonnc.gov, to discuss street lighting options.
- ❖ Include appropriate City of Wilmington approval stamps prior to submitting final plans.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.