



**Planning, Development
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DATE: 01.03.2018
TO: ProTrak
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Traffic Engineering

■ **CORNING CREDIT UNION [TRC Plan Review]**

↻ Initial Review Note ↻

All comments are based on adopted policy documents, specific City of Wilmington Land Development Code (CofW LDC) and City of Wilmington Technical Standards and Specifications Manual (CofWTSSM) requirements in effect at the time of this review. These have been noted after the comment as appropriate for your ease in further research.

The City Engineer may administratively approve dimensional variance requests per LDC Sec. 18-348. If the Applicant feels further interpretation is in order, please contact Transportation Planning directly to discuss in additional detail. Please apply for all administrative variances in writing, an email is acceptable or this may be included on the plan set. Please see Sec. 18-348 of the Land Development Code for the information required to process a variance request.

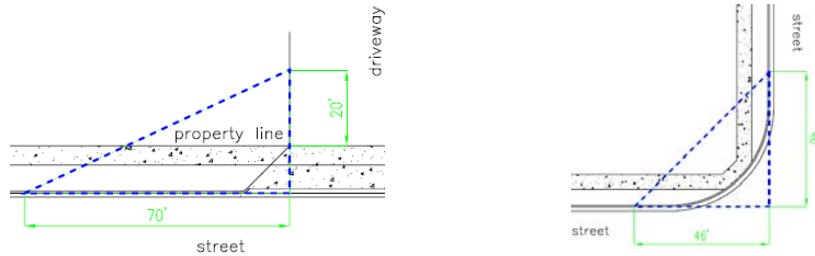


BASE INFORMATION:

- Revise all sheets to accurately illustrate the existing conditions on and surrounding this parcel. Show all adjacent traffic signs, lane configurations, traffic control devices and pavement markings on the site inventory plan. Please refer to the Technical Standards and Specifications Manual (link is below) Ch. VII C.1.a.2. for specific information and distance requirements. Contact Traffic Engineering at 341-7888 if you need assistance locating these elements.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

1. Plan show an existing driveway to the eastern side to be closed. When the use of any driveway has been permanently discontinued, replace all necessary curbs, gutters, aprons, sidewalks, and appurtenances thereto. [\[Sec. 18-530 CofW LDC\]](#)
2. Proposed driveway shall be City-standard ramp-type. Show the City standard detail(s) on plan. [\[Chapter VII ,Detail SD 3-03.3 & 3-03.4 CofWTSSM\]](#)
3. Show all adjacent traffic signs and pavement markings on the plan. [\[Sec. 18-529\(b\)\(2\) CofW LDC\]](#)
4. Show and apply the City's 20'x70' sight distance triangle at each driveway and the City's 46'x46' sight distance triangle at each street corner of Federal Park Drive on the site plan and planting plan. [\[Sec.18-529\(c\)\(3\)CofW LDC\]](#) Add a note indicating that all proposed vegetation within sight triangles shall not interfere with clear visual sight lines from 30"-10'. [\[Sec.18-556 CofW LDC\]](#)



TECHNICAL STANDARDS – PARKING:

5. Drive aisle width at few locations, within the south side parking facility, does not meet standards. Twenty-four feet (24') is the minimum drive aisle width behind perpendicular parking. Please revise.
6. Portions of the proposed development do not appear to be in compliance with the 500'/800' rule pertaining to the maximum length of a private drive/parking lot. [[Chapter VII , C \(4\), pg 7-15 to 7-16 CofWTSSM](#)]
7. Provide a turning movement analysis of a dumpster vehicle, service vehicle and a fire truck demonstrating safe access to the site.
8. Please note the bicycle parking spaces to site data table.

TECHNICAL STANDARDS – Barrier Free Design:

9. The typical handicap sign detail on the plan is not as per ADA and City standards. [[Sheets A1 of 5 and A2 of 5, CofW Sign Specification](#)]
10. Sheet number C-500 shows the table for parking spaces. The details regarding required Van accessible spaces is not in accordance with ADA standards. Please revise. [[Ref: Restriping2015_ADA](#)].

GENERAL NOTES TO ADD TO THE PLAN:

- A. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
- B. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
- C. Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.
- D. Contact Traffic Engineering at 341-7888 forty-eight hours prior to any excavation in the right of way.

MISCELLANEOUS:

- ❖ We will reserve comments on the parking lot, driveway geometry and other technical issues until a full construction drawing is submitted.

Please let me know if you have any questions or if I can be of further assistance as this development moves through the review process.