

SURVEY TOPO AND BOUNDARY PROVIDED BY :

SURVEYOR'S NOTE:
THIS MAP IS SUBJECT TO INFORMATION THAT WOULD BE REVEALED BY A CURRENT TITLE OPINION.

CERTIFICATE:
THIS SURVEY IS OF AN EXISTING PARCEL OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET. (FUTURE RECOMBINATION MAP FOR RECORD TO BE RECORDED)

NORTH CAROLINA
NEW HANOVER COUNTY
I, MICHAEL N. UNDERWOOD, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION DESCRIPTION AS SHOWN ON THE FACE OF THIS PLAT RATIO OF PRECISION AS CALCULATED BY COMPUTER IS 1/10,000 ± THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN BY BROKEN LINES PLOTTED FROM INFORMATION REFERENCED THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH "THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA" WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 26TH DAY OF FEBRUARY A.D., 2014.

Michael N. Underwood
MICHAEL N. UNDERWOOD, P.L.S.
LICENSE NUMBER L-2962
SEAL OR STAMP

© 2014 MICHAEL UNDERWOOD AND ASSOCIATES, PA

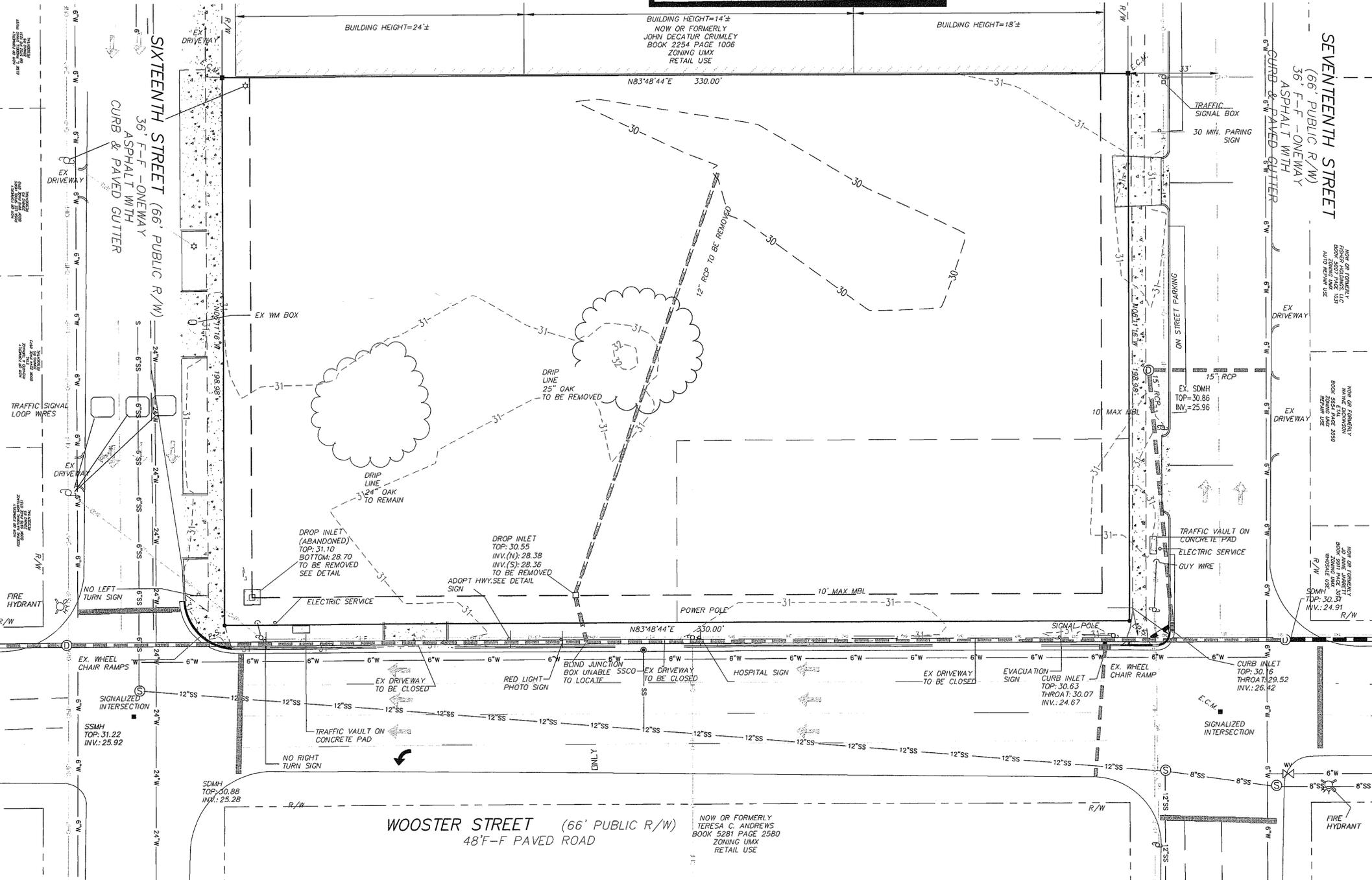


MICHAEL UNDERWOOD and ASSOCIATES, PA
102 CINEMA DRIVE, SUITE C
WILMINGTON, NC 28403
PHONE: 910-815-0650
FAX: 910-815-0393
FIRM LICENSE NO.: C-0615



CIVIL LEGEND

SS	SANITARY SEWER (GRAVITY) WITH SIZE	LEGEND:	EXISTING IRON PIPE
W	STORM SEWER	E.I.P.	EXISTING CONCRETE MONUMENT
OH-P	DOMESTIC WATER WITH SIZE	E.C.M.	EXISTING IRON REBAR
OH	OVERHEAD POWER	E.I.R.	PROPERTY CORNER
UGE	UNDERGROUND ELECTRICAL	O	NO POINT FOUND
G	UNDERGROUND GAS	N.P.F.	CENTER LINE
OHS	OVERHEAD SIGNAL LINE	CL	PROPERTY LINE
FO	UNDERGROUND FIBER OPTIC CABLE	SL	SANITARY SEWER
	TRAFFIC SIGNAL BOX	MH	MANHOLE
	WATER VALVE	CO	CLEAN OUT
	RPZ BACKFLOW PREVENTER	SD	STORM DRAIN
	WATER METER	W	WATER LINE
	SANITARY SEWER MANHOLE SIGN	W	UNDERGROUND GAS
	STORM DRAIN CURB INLET	OH-P	OVERHEAD POWER
	FIRE HYDRANT	UGE	UNDERGROUND ELECTRIC
	SOILS BORE LOC.	FO	FIBER-OPTIC
	COMMUNICATIONS PEDESTAL		
	UTILITY POLE/POLE WITH LIGHT		
	GUY WIRE		



SITE DATA

DEVELOPER: EASTERN PRIDE, INC. 2405-F NASH STREET WILSON, NC 27896	OWNER: THOMSON REALTY INVEST LP 910 SAND MILLS BLVD ABERDEEN, NC 28315
GENERAL CONTRACTOR: STOCKS AND TAYLOR CONSTRUCTION, INC. 1825 CAROLINA AVENUE WASHINGTON, NC 27889	
GENERAL BUILDING INFORMATION: TOTAL LOT SIZE = 1.51 AC TO R/W	
ZONING INFORMATION: PARCEL ID NO. - 312710.45.4701&3500 SITE ZONING: UMX	
SETBACKS: MINIMUM BUILDING SETBACKS (UNLESS NOTED) FRONT: 0' - MAX. 10' MAX HEIGHT - 45' SIDE: 0' REAR: 0' BUILDING HEIGHT: 20'	
TRANSPORTATION CLASSIFICATION: WOOSTER STREET - URBAN PRINCIPAL ARTERIAL 16TH STREET - URBAN PRINCIPAL ARTERIAL 17TH STREET - URBAN PRINCIPAL ARTERIAL	CAMA LAND USE: URBAN
UTILITIES: WATER LINE: C/P/UA WASTEWATER: C/P/UA ELECTRIC SERVICE: - UNDERGROUND - DUKE ENERGY NATURAL GAS SERVICE: PIEDMONT NATURAL GAS	RECEIVED: MAY 13 2014 PLANNING DIVISION
GENERAL SITE NOTES: ALL EXISTING UTILITIES ARE SHOWN BASED ON FIELD EVIDENCE PRIOR TO ANY DIGGING ONE CALL SHALL BE CALLED AND CONFIRM LOCATION AND SIZE OF ALL EXISTING UTILITIES. A TREE REMOVAL PERMIT IS REQUIRED PRIOR TO THE REMOVAL OF ANY TREES ON THE SITE.	

NOTES:

- SUBJECT PROPERTY "DOES NOT" LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION 2 (OTHER AREAS) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON PANEL No. 3122, FLOOD INSURANCE RATE MAP NO. 3220312700, WITH A EFFECTIVE DATE OF APRIL 1, 2006, FOR COMMUNITY NO. 370121, IN NEW HANOVER COUNTY, STATE OF NORTH CAROLINA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
- ALL DISTANCES ARE GROUND HORIZONTAL.
- NO M.C.G.S. FOUND WITHIN 2000'.
- UTILITY STATEMENTS: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES.

FAMILY DOLLAR STORE
709 S. 16TH STREET
WILMINGTON, NC

Approved: *Marie U. Peedin*
DESIGNED: MUP
DRAWN: MSP
CHECKED: MUP

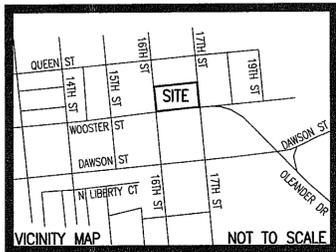
SITE INVENTORY-EX. CONDITIONS

Pamlico Engineering Services, PLLC
LICENSE NO. P-0530

RECEIVED
MAY 13 2014
PLANNING DIVISION

Date	Description

File No.: 14001
Scale: 1" = 20'
Sheet No.: **C-001**



A permit must be obtained from the city engineer prior to the removal, alteration or construction of any curb, driveway, gutter and/or pavement or prior to the performance of any other work in any public or private street. Conditions governing the issuance of such a permit are:

- A continuing indemnity bond with sufficient surety acceptable to the city may be required of the party performing the work. All work must be done in conformity with the standards established herein.
- The city shall be indemnified for any damages it might sustain as a result of the breach of condition above. The damages payable to the city shall be the amount required to make such improvement conform to city standards.

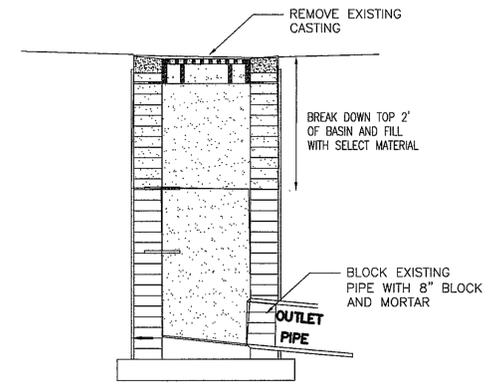
(2) A fee in accordance with the city's adopted fee schedule shall be paid to the city at the time the application for a driveway permit is made.

SURVEY TOPO AND BOUNDARY PROVIDED BY :

MICHAEL UNDERWOOD and ASSOCIATES, PA
 102 CINEMA DRIVE, SUITE C
 WILMINGTON, NC 28403
 PHONE: 910-815-0650
 FAX: 910-815-0393
 FIRM LICENSE NO.: C-0815

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and or project acceptance

1 REMOVE DRAINAGE STRUCTURE

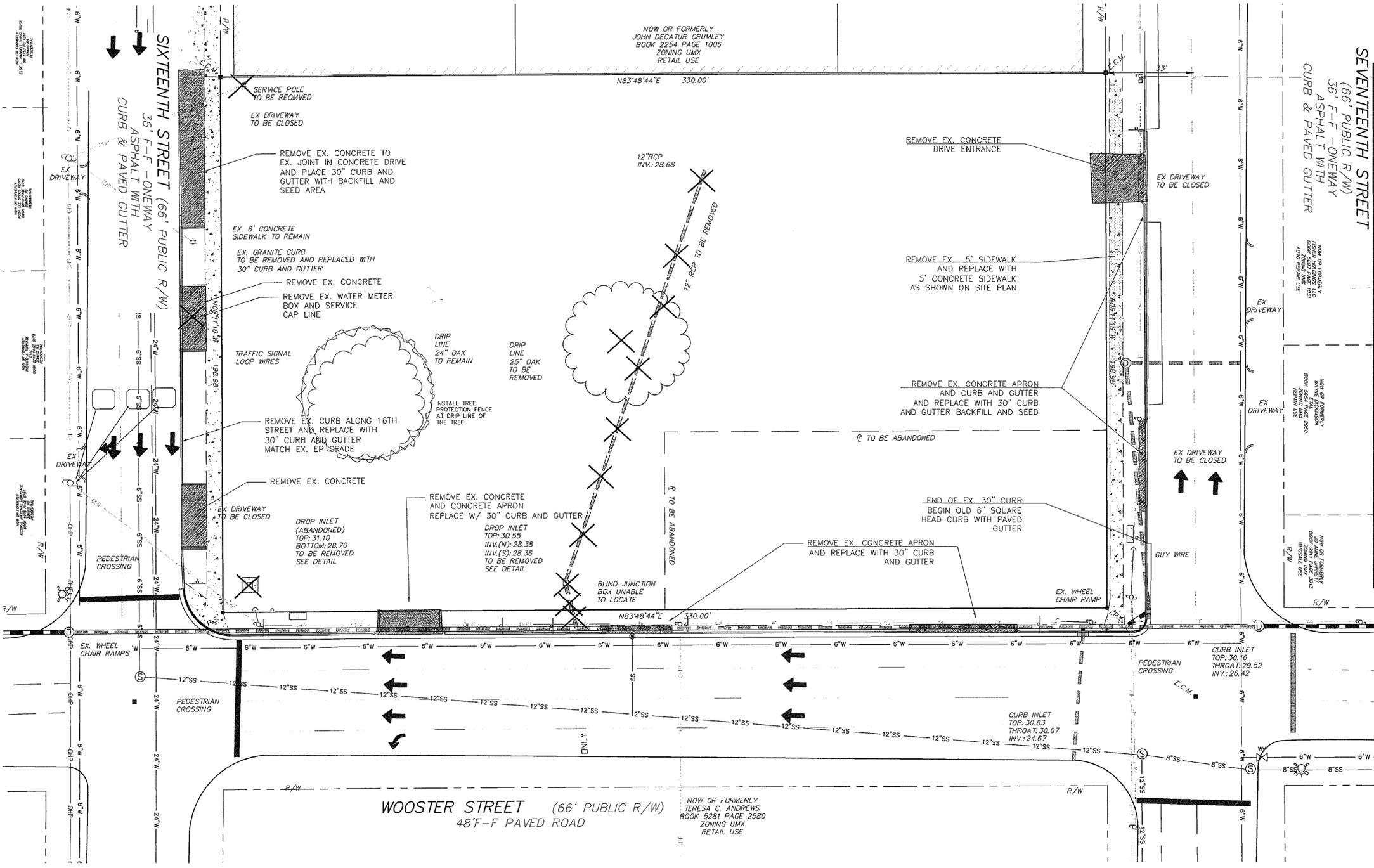


CIVIL LEGEND	
SS	SANITARY SEWER (GRAVITY) WITH SIZE
W	STORM SEWER
W	DOMESTIC WATER WITH SIZE
W	OVERHEAD POWER
UGE	UNDERGROUND ELECTRICAL
G	UNDERGROUND GAS
OHS	OVERHEAD SIGNAL LINE
FO	UNDERGROUND FIBER OPTIC CABLE
TPED	TRAFFIC SIGNAL BOX
W	WATER VALVE
RPZ	RPZ BACKFLOW PREVENTER
W	WATER METER
SMH	SANITARY SEWER MANHOLE
S	SIGN
SDI	STORM DRAIN CURB INLET
FD	FIRE HYDRANT
SBL	SOILS BORE LOC.
CP	COMMUNICATIONS PEDESTAL
UPL	UTILITY POLE/POLE WITH LIGHT
GW	GUY WIRE
---	WATER/DITCH
-x-x-	CHAIN LINK FENCE
---	BUILDING LINE
---	BOUNDARY LINE
[Pattern]	CONCRETE AREA
[Pattern]	GRAVEL AREA

LEGEND:
 E.I.P. EXISTING IRON PIPE
 E.C.M. EXISTING CONCRETE MONUMENT
 E.I.R. EXISTING IRON REBAR
 P.C. PROPERTY CORNER
 N.P.F. NO POINT FOUND
 C.L. CENTER LINE
 P.L. PROPERTY LINE
 S.S. SANITARY SEWER
 M.H. MANHOLE
 C.O. CLEAN OUT
 S.D. STORM DRAIN
 W. WATER LINE
 G. GAS
 O.H.P. OVERHEAD POWER
 U.G.E. UNDERGROUND ELECTRIC
 F.O. FIBER-OPTIC

APPROVED CONSTRUCTION PLAN
 NAME _____ DATE _____
 PLANNING _____
 TRAFFIC _____
 FIRE _____

STORMWATER MANAGEMENT PLAN APPROVED
 CITY OF WILMINGTON ENGINEERING DEPARTMENT
 DATE _____
 PERMIT # _____
 SIGNED _____



SITE DATA

DEVELOPER: EASTERN PRIDE, INC. 2405-F NASH STREET WILSON, NC 27896
 OWNER: THOMSON REALTY INVEST LP ABERDEEN, NC

GENERAL CONTRACTOR: STOCKS AND TAYLOR CONSTRUCTION, INC. 1825 CAROLINA AVENUE WASHINGTON, NC 27889

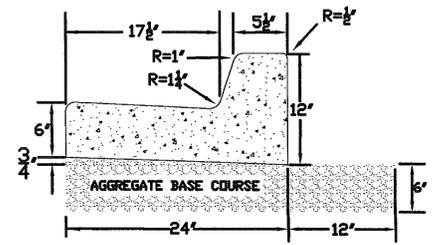
GENERAL BUILDING INFORMATION
 TOTAL LOT SIZE = 1.51 AC TO R/W

ZONING INFORMATION:
 PARCEL ID NO. - 312710.45.4701&3500
 SITE ZONING: UMX
 SETBACKS:
 MINIMUM BUILDING SETBACKS (UNLESS NOTED)
 FRONT: 0' - MAX. 10' MAX HEIGHT - 45'
 SIDE: 0'
 REAR: 0'
 BUILDING HEIGHT: 20'

TRANSPORTATION CLASSIFICATION
 WOOSTER STREET - URBAN PRINCIPAL ARTERIAL
 16TH STREET - URBAN PRINCIPAL ARTERIAL
 17TH STREET - URBAN PRINCIPAL ARTERIAL

UTILITIES:
 WATER LINE: CFPWA
 WASTEWATER: CFPWA
 ELECTRIC SERVICE: - UNDERGROUND - DUKE ENERGY
 NATURAL GAS SERVICE: PIEDMONT NATURAL GAS

GENERAL SITE NOTES:
 ALL EXISTING UTILITIES ARE SHOWN BASED ON FIELD EVIDENCE
 PRIOR TO ANY DIGGING NC ONE CALL SHALL BE CALLED AND CONFIRM LOCATION AND SIZE OF ALL EXISTING UTILITIES.
 A TREE REMOVAL PERMIT IS REQUIRED PRIOR TO THE REMOVAL OF ANY TREES ON THE SITE.
 PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. AN NO CONSTRUCTION WORKERS, TOOLS, MATERIAL OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING. TREE PROTECTION FENCING MUST BE POSTED WITH SIGNAGE, IN ENGLISH AND SPANISH THAT NO WORKERS TOOLS, MATERIAL OR VEHICLES ARE PERMITTED WITHIN THE PROTECTED AREA.



FAMILY DOLLAR STORE
 709 S. 16TH STREET
 WILMINGTON, NC

Demolition Plan

Approved: MARI U. PEEDIN

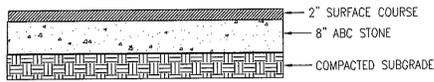
Designed MUP Draw MSP Checked MUP

Pamlico Engineering Services, PLLC
 License No. P-0530

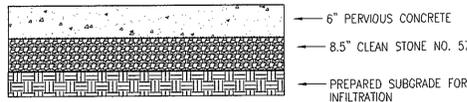
Professional Engineer Seal: MARI U. PEEDIN, No. 20212

Date: 5/8/14

File No. 14001
 Scale: 1" = 20'
 Sheet No. C-002



2 TYPICAL PAVEMENT SECTION
IN AREAS WITH OUT PERVIOUS CONCRETE Scale: Not To Scale



3 TYPICAL PERVIOUS PAVEMENT SECTION
Scale: Not To Scale

APPROVED CONSTRUCTION PLAN
NAME _____ DATE _____
PLANNING _____
TRAFFIC _____
FIRE _____

STORMWATER MANAGEMENT
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____
PERMIT # _____
SIGNED _____

DEVELOPER
EASTERN PRIDE, INC.
2405-F NASH STREET
WILSON, NC 27896

OWNER
THOMSON REALTY INVEST LP
910 SAND MILLS BLVD
ABERDEEN, NC 28315

SUMMARY OF SITE:

TOTAL IMPERVIOUS AREA = 9914.00 SF
BUILDING (ONSITE) = 1228.74 SF
PAVEMENT = 10,495.00 SF
PERVIOUS PAVEMENT = 10,631.00 SF
SIDEWALK = 2640.00 SF
(ON SITE ALONG WOOSTER)

GENERAL CONTRACTOR:
STOCKS AND TAYLOR CONSTRUCTION, INC.
1825 CAROLINA AVENUE
WASHINGTON, NC 27889

GENERAL BUILDING INFORMATION
BUILDING USE: COMMERCIAL - RETAIL
TOTAL LOT SIZE = 1.51 AC
LOT 1 = 0.395 AC TO R/W
LOT 2 = 1.115 AC TO R/W
BUILDING SIZE: 9,914 SF

7427 SF RETAIL, 2487 SF OTHER
BUILDING HEIGHT: 20 FT
BUILDING CONSTRUCTION TYPE = V-B
BUILDING LOT COVERAGE
9914SF / 65,775.6SF = 15.07%
NO. OF BUILDINGS = 1

TOTAL IMPERVIOUS AREA = 34,908.74 SF
TOTAL GREEN SPACE = 30,867.8 SF

TOTAL PERVIOUS PAVEMENT = 10,631 SF
% IMPERVIOUS EXISTING = 000%
% IMPERVIOUS PROPOSED = 34,908.74/65775.6 = 53%
(WITH NO CREDIT FOR PERVIOUS PAVEMENT)
STANDARD COWTSSM
CONCRETE DRIVE
STD SDB.02

PROPOSED 5/8" WATER METER WITH
BACKFLOW PREVENTER AND RPZ IN
HOT BOX WITH ELECTRICAL TO
PREVENT FREEZING

USE 1" SERVICE LINE TO SERVE 2
TAPS FOR COMMERCIAL AND
IRRIGATION
SEE PAVEMENT REPAIR DETAIL

ZONING INFORMATION:

PARCEL ID NO. = R05411-011-008-000 R05411-011-001-000
SITE ZONING: UMX
SETBACKS:
MINIMUM BUILDING SETBACKS (REQUIRED) PROVIDED
FRONT: 0' - MAX. 10' 7.8'
SIDE: 0' 5.3, 132.5'
REAR: 0' 91.2'
BUILDING HEIGHT MAX 45' 20'

SIGNAGE

TRANSPORTATION
WOOSTER STREET - URBAN PRINCIPAL ARTERIAL
16TH STREET - URBAN PRINCIPAL ARTERIAL
17TH STREET - URBAN PRINCIPAL ARTERIAL

CAMA LAND USE CLASSIFICATION
URBAN

SIGHT LIGHTING

ALL SIGHT LIGHTING SHALL BE LOCATED, ANGLED SHIELDED, AND OR LIMITED IN INTENSITY SO AS TO CAUSE NO DIRECT LIGHT UPON ADJACENT PROPERTIES, SHALL MINIMIZE OFF-SITE BACKLIGHTING GLARE, AND UP LIGHTING. LIGHT POST SHALL BE NO TALLER THAN TWELVE FEET.

UTILITIES:

WATER LINE: CFPWA
WASTEWATER: CFPWA
WASTEWATER SERVICE: 4" SEWER SERVICE
WATER SERVICE: 1" WATER SERVICE
ELECTRIC SERVICE: UNDERGROUND - DUKE ENERGY
NATURAL GAS SERVICE: PIEDMONT NATURAL GAS

SEWER USAGE = 1080 GPD

WATER USAGE = 1080 GPD
For each open utility cut of
City streets, a \$325 permit shall
be required from the City prior
to occupancy and or project acceptance

PARKING REQUIREMENTS:

PARKING SPACES TO BE TYPICAL (9 FEET X 20 FEET) UNLESS OTHERWISE NOTED
VEHICULAR REQUIREMENTS
PARKING BUILDING CODE REQUIREMENTS:
1 SPACE PER 200 SF RETAIL MAX
BICYCLE PARKING
REQUIRED: 1 PER 1000 SF GFA
PROVIDED: 10 SPACES
PARKING SPACES REQUIRED: 50 MAX
PARKING PROVIDED TOTAL: 37
HANDICAPPED ACCESSIBLE: 2
HANDICAPPED ACCESSIBLE PARKING TO BE (2 EQUAL SPACES) PER LOCAL CODE

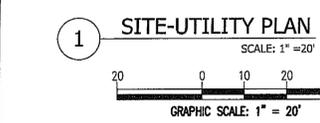
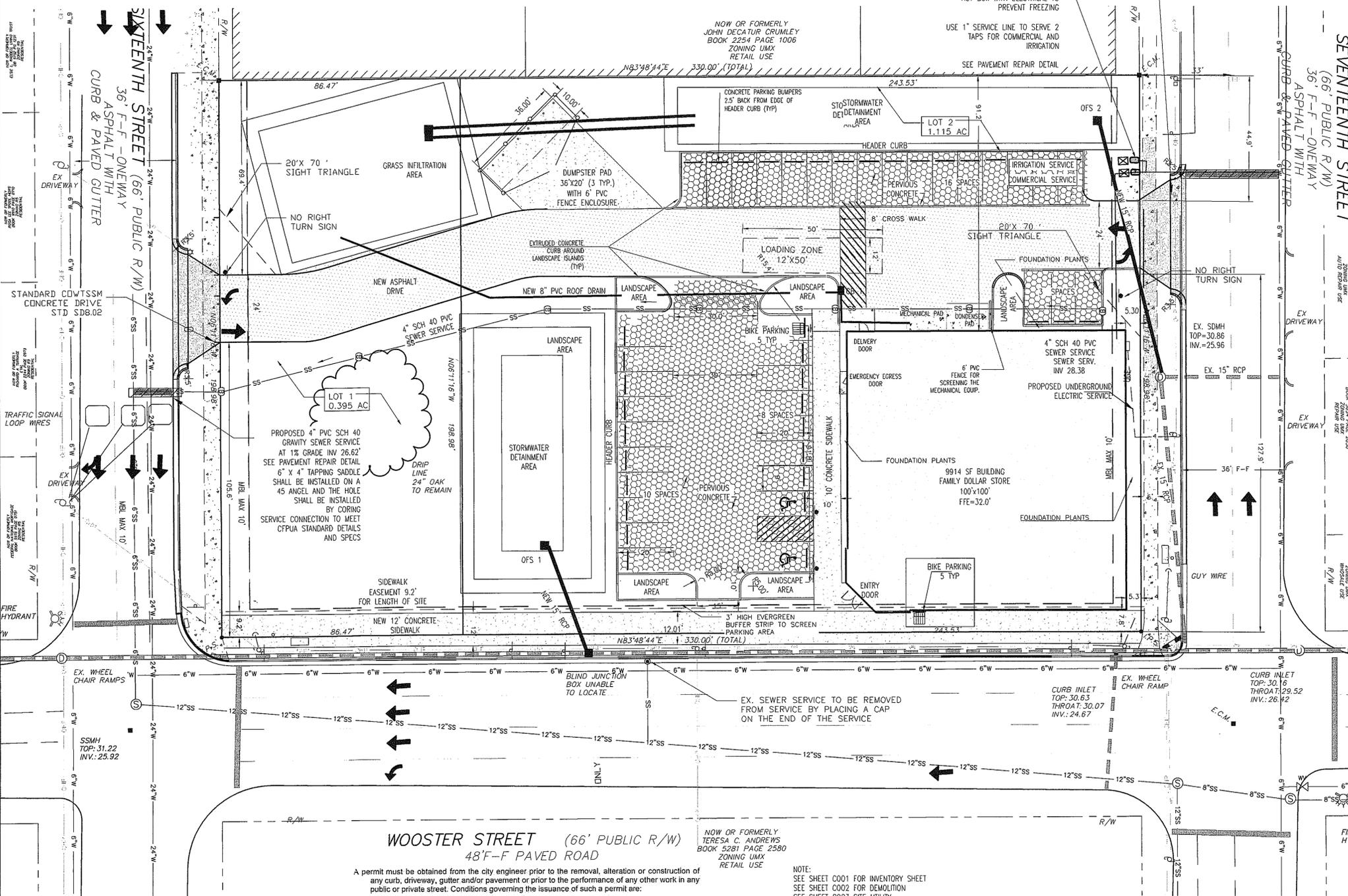
GENERAL SITE NOTES:

- 1) ALL NEW SERVICES SHALL MEET ALL NC BUILDING CODE REQUIREMENTS
- 2) ALL EXISTING UTILITIES ARE SHOWN BASED ON FIELD EVIDENCE
- 3) PRIOR TO ANY DIGGING NC ONE CALL SHALL BE CALLED AND CONFIRM LOCATION AND SIZE OF ALL EXISTING UTILITIES. A TREE REMOVAL PERMIT IS REQUIRED PRIOR TO THE REMOVAL OF ANY TREES ON THE SITE.
- 4) SITE SURVEY NOTES:
1) THE PROPERTY SHOWN HEREON IS NOT LOCATED WITHIN A SPECIAL 100 YEAR FLOOD HAZARD AREA ACCORDING TO FLOOD INSURANCE RATE MAP NO. 3720312700J DATED APRIL 13, 2006.
2) ALL U.L.C. GRID DATA SHOWN HEREON IS BASED ON NAD 1983 2007 ADJUSTMENT USING THE NCGS RTK NETWORK SYSTEM.
3) ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
4) ALL UTILITY LINES SHOWN HEREON MAY HAVE EASEMENTS AND RIGHTS OF ENTRANCE AND MAINTENANCE ASSOCIATED WITH THEM, HOWEVER NONE ARE PRESENT THAT HAVE BEEN RECORDED.
5) UNDERGROUND UTILITY LINES NOTED AS SUCH HEREON WERE FROM GIS DATA PROVIDED BY CFPWA. THE UTILITIES HAVE NOT BEEN PHYSICALLY SEEN AND SURVEYED BY THE SURVEYOR.

1. Prior to any clearing, grading or construction activity, tree protection fencing shall be installed around protected trees or groves of trees. No construction workers, tools, materials, or vehicles are permitted within the tree protection fencing.
2. Any trees and/or areas designated to be protected must be properly barricaded with fencing and protected throughout construction to insure that no clearing, grading or staging of materials will occur in those areas.
3. No equipment is allowed on site until all tree protection fencing and silt fencing is installed and approved. Protective fencing is to be maintained throughout the duration of the project, and contractors shall receive adequate instruction on tree protection methods.
4. All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards.
5. Once streets are open to traffic, contact Traffic Engineering regarding the installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs.
6. Traffic control devices (including signs and pavement markings) in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards.
7. Contact Traffic Engineering at 910-341-7888 to ensure that all traffic signal facilities and equipment are shown on the plan.
8. Call Traffic Engineering at 910-341-7888 forty-eight (48) hours prior to any excavation in the right-of-way.
9. Traffic Engineering must approve of pavement marking prior to actual striping.
10. All parking stall markings and lane arrows within the parking areas shall be white.
11. All traffic control signs and markings off the right-of-way are to be maintained by the property owner.
12. Stop signs and street signs to remain in place during construction.
13. Tackle warning mats will be installed on all wheelchair ramps.
14. A utility cut permit is required for each open cut of a city street. Contact 910-341-5688 for more details. In certain cases an entire resurfacing of the street may be required.
15. Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.
16. Contact Karen Dixon at 910-341-7888 to discuss street lighting options.
17. Water and sewer service shall meet Cape Fear Public Utility Authority (CFPUA) details and specifications.
18. Project shall comply with CFPUA Cross Connection Control requirements. Water meter(s) cannot be released until all requirements are met and the State has given their final approval. Call 910-343-3910 for information.
19. If the contractor desires CFPWA water for construction, he shall apply in advance for this service and must provide a reduced pressure zone (RPZ) backflow prevention device on the developer's side of the water meter box.
20. Any irrigation system supplied by CFPWA water shall comply with the CFPWA Cross Connection Control regulations. Call 910-343-3910 for information.
21. Any irrigation system shall be equipped with a rain and freeze sensor.
22. Any backflow prevention devices required by the CFPWA will need to be on the list of approved devices by USFC/COCHR or ASSE.
23. Contractor to field verify existing water and sewer service locations, sizes and materials prior to construction. Engineer to be notified of any conflicts.
24. Contractor shall maintain all-weather access for emergency vehicles at all times during construction.

25. Underground fire line(s) must be permitted and inspected by the Wilmington Fire Department from the public right-of-way to the building. Contact the Wilmington Fire Department Division of Fire and Life Safety at 910-341-0896.
26. No obstructions are permitted in the space between thirty (30) inches and ten (10) feet above the ground within the triangular sight distance.
27. Contact the North Carolina One Call Center at 1-800-692-4949 prior to doing any digging, clearing, or grading.
28. A TREE PRESERVATION/REMOVAL PERMIT IS REQUIRED.
29. CONTRACTOR TO VERIFY THE LOCATION OF THE CITY OF WILMINGTON TRAFFIC SIGNAL SYSTEM FIBER RUNNING ALONG 16TH, 17TH AND WOOSTER ST. CONTACT TRAFFIC ENGINEERING AT (910)341-7888 TO DETERMINE IF THIS FIBER HAS TO BE RELOCATED ALONG WITH THE OTHER UTILITIES.

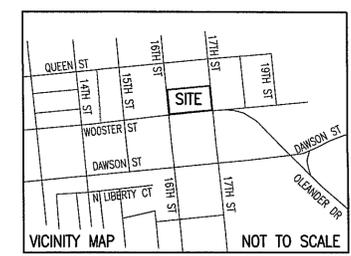
APPLICANT STATEMENT:
A. THERE ARE NO EXISTING EASEMENT OR OTHER RESTRICTIONS ON THE PROPERTY WHICH THE APPLICANT IS AWARE OF. HOWEVER THE APPLICANT IS PROPOSING A BMP EASEMENT FOR THE PROPOSED BMP ON THE SITE AS WELL AS A SIDEWALK ENFORCEMENT AND MAINTENANCE EASEMENT.
B. THERE IS CURRENTLY PUBLIC SEWER, WATER AND STREETS AVAILABLE TO THIS SITE FOR USE.
C. BASED ON THE DATA COLLECTED, IN THE OPINION OF THE APPLICANT THE ONLY PROBLEM IS THE SIDE YARD/ FRONT YARD MAX 10' SET BACK OFF 16TH STREET. THIS SITE HAS NO INTENTIONS OF PLACING ANOTHER BUILDING.



WOOSTER STREET (66' PUBLIC R/W)
48'-F PAVED ROAD
NOW OR FORMERLY TERESA C. ANDREWS
BOOK 5281 PAGE 2580
ZONING UMX
RETAIL USE

A permit must be obtained from the city engineer prior to the removal, alteration or construction of any curb, driveway, gutter and/or pavement or prior to the performance of any other work in any public or private street. Conditions governing the issuance of such a permit are:
a. A continuing indemnity bond with sufficient surety acceptable to the city may be required of the party performing the work. All work must be done in conformity with the standards established herein.
b. The city shall be indemnified for any damages it might sustain as a result of the breach of condition above. The damages payable to the city shall be the amount required to make such improvement conform to city standards.
(2) A fee in accordance with the city's adopted fee schedule shall be paid to the city at the time the application for a driveway permit is made.

NOTE:
SEE SHEET C001 FOR INVENTORY SHEET
SEE SHEET C002 FOR DEMOLITION
SEE SHEET C003 SITE UTILITY
SEE SHEET C004 FOR EROSION CONTROL MEASURES AND DETAILS
SEE SHEET C005 FOR STORM WATER MANAGEMENT PLAN
SEE SHEET C006 FOR LANDSCAPE PLANS
SEE SHEETS C 007-008 FOR DETAILS
SEE SHEET UP 1 FOR CFPWA UTILITY PLAN
SEE SHEET SSD 2 - WSD 1-2 DETAIL SHEETS FOR CFPWA UTILITIES



FAMILY DOLLAR STORE

722 S. 17TH STREET
WILMINGTON, NC

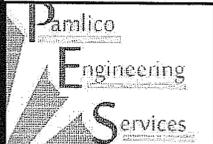
SITE UTILITY PLAN

EASTERN PRIDE, INC.
2405-F NASH ST.
WILSON, NC 27896



M. A. Reed
5/8/14

PAMLICO ENGINEERING SERVICES, PLLC
LICENSE NO. P-0530



PAMLICO ENGINEERING SERVICES
128 Abbey Lane
Washington, NC 27889
252-945-2983
mreed@pamlicoengineeringservices.com

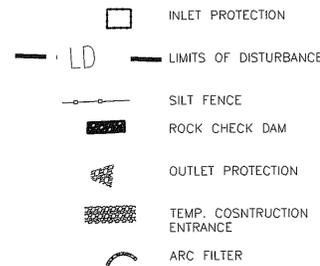
REVISIONS	Date	Description
1	3/26/14	ADD COMMENTS FROM TRC REV. 1
2	5/26/14	ADD COMMENTS FROM ALLOCATION PLAN REVIEW, ADD ADDED NOTES AND OTHER COW COMMENTS 2ND REVIEW

File No. 14001
Scale: 1" = 20'
Sheet No.

C-003

SEEDING PLAN

1. TEMPORARY SEEDING		
PLANNING DATES	GRASS TYPE	POUNDS/ACRE
DEC. 1 - APR. 15	RYE (GRAIN)	120
	KOBE LESPEDEZA	50
	GERMAN MILLET	40
APR. 15 - AUG. 15		
AUG. 15 - DEC. 1	RYE (GRAIN)	120
	LIME FERTILIZER	3,000
	MULCH	800
	STRAW	4,000
2. PERMANENT SEEDING		
PLANNING DATES	GRASS TYPE	POUNDS/ACRE
SEPT. 1 - OCT. 3	TALL FESCUE	200
	KOBE LESPEDEZA	50
	RYE (GRAIN)	25
	LIME FERTILIZER	4,000
	MULCH	1,000
	STRAW	4,000



EROSION CONTROL CONSTRUCTION SEQUENCE

- OBTAIN AND POST COPY OF CERTIFICATE OF EROSION CONTROL PLAN APPROVAL. CLEAR SITE ONLY AS NECESSARY TO INSTALL EROSION CONTROL DEVICES AS INDICATED ON THE DRAWINGS OR SPECIFIED IN THE SPECIFICATIONS.
- ONCE EROSION CONTROL DEVICES ARE INSTALLED, BEGIN DEMOLITION OPERATIONS.
- MAINTAIN EROSION CONTROL DEVICES AS NECESSARY DURING CONSTRUCTION. INSPECT DEVICE AFTER EVERY RAINFALL EVENT AND CLEAN OUT TRAPS AND /OR CHECK DAMS WHEN HALF FULL.
- AS CONSTRUCTION PROGRESSES, INSTALL ADDITIONAL EROSION CONTROL DEVICES AS INDICATED ON THE DRAWINGS, CALLED FOR IN THE SPECIFICATIONS, OR AS NEEDED OR DIRECTED BY ENGINEER.
- SEED AND MULCH DISTURBED AREAS AS STATED BELOW BASED ON WORKING DAYS:
 - UPON COMPLETION OF ANY PHASE OF CONSTRUCTION
 - WHEN WORK WILL NOT PROCEED IN AN AREA WITHIN THE ABOVE TIME FRAME.
- AFTER SITE IS STABILIZED, REQUEST AN INSPECTION BY THE ENGINEER. UPON APPROVAL OF SITE STABILIZATION, REMOVE TEMPORARY EROSION DEVICES, DRESS OUT AREA AND SEED AND MULCH. PERMANENT EROSION CONTROL DEVICES SHALL BE INSTALLED AND APPROVED BY ENGINEER.

AREA	
DISTURBED AREA AC	1.55
DRAINAGE AREA 1	0.51
DRAINAGE AREA 2	0.45
DRAINAGE AREA 3	0.55

WHAT DOES THIS PERMIT REQUIRE ME TO DO?

YOU SHOULD READ AND BECOME FAMILIAR WITH THE PROVISIONS OF THIS PERMIT. BELOW IS A LIST OF THE MAJOR REQUIREMENTS, WITH INDICATIONS WHERE THOSE DIFFER FROM THE PREVIOUS CONSTRUCTION GENERAL PERMIT.

EROSION AND SEDIMENT CONTROL PLAN

YOU MUST IMPLEMENT THE EROSION AND SEDIMENTATION CONTROL PLAN APPROVED FOR YOUR PROJECT BY THE DIVISION OF LAND RESOURCES OR BY AN APPROVED LOCAL PROGRAM. ADHERENCE TO THAT E&S PLAN IS AN ENFORCEABLE COMPONENT OF THE STORM WATER PERMIT.

YOUR E&S PLAN WILL IDENTIFY AREAS WHERE THE MORE STRINGENT 7 AND 14 DAY GROUND STABILIZATION REQUIREMENTS APPLY. SEE "NEW GROUND STABILIZATION REQUIREMENTS" ON PAGE 2.

MONITORING AND INSPECTIONS

- YOU MUST KEEP A RAIN GAUGE ON SITE.
- DEDICATED DEMOLITION AND OTHER WASTE AREAS AND EARTHEN MATERIAL STOCKPILES MUST BE LOCATED AT LEAST 50' FROM STORM DRAINS OR STREAMS UNLESS NO ALTERNATIVE IS FEASIBLE (NEW REQUIREMENT).
- YOU MUST INSPECT ALL E&S MEASURES AT LEAST ONCE A WEEK AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN A HALF INCH (DURING A 24-HOUR PERIOD). YOU MUST TAKE IMMEDIATE CORRECTIVE ACTION FOR ANY DEVICE FAILURE.
- YOU MUST INSPECT ALL OUTLETS WHERE STORM WATER RUNOFF LEAVES YOUR SITE AND EVALUATE THE EFFECT ON NEARBY STREAMS OR WETLANDS, OR CAUSES A VISIBLE INCREASE IN TURBIDITY (CLOUDINESS) OF ANY WATER BODY.
- YOU MUST KEEP RECORDS OF THESE INSPECTIONS AND ANY CORRECTIVE ACTIONS TAKEN.

OPERATION & MAINTENANCE

YOU MUST PROVIDE THE OPERATION AND MAINTENANCE NECESSARY TO MAINTAIN OPTIMAL PERFORMANCE OF STORM WATER CONTROLS. THIS MEANS TAKE CORRECTIVE ACTION IF EROSION AND SEDIMENT CONTROL FACILITIES ARE NOT OPERATING PROPERLY! OPERATION AND MAINTENANCE INCLUDES, BUT IS NOT LIMITED TO:

- REGULARLY CLEANING OUT SEDIMENTATION BASINS.
- STABILIZING ERODED BANKS OR SPILLWAY STRUCTURES.
- REPAIRING/CLEARING OUT INLETS AND OUTLETS.
- REPAIRING PIPING, SEEPAGE AND MECHANICAL DAMAGE.
- REPAIRING SILT FENCE DAMAGE.

REPORTING

REGULAR INSPECTIONS ARE A CHANCE TO CHECK IMPACTS TO NEARBY WATERS. IF ANY OBSERVE SEDIMENT THAT HAS DEPOSITED IN A STREAM OR WETLAND, YOU MUST NOTIFY THE DIVISION OF WATER QUALITY REGIONAL OFFICE WITHIN 24 HOURS AND PROVIDE WRITTEN NOTICE WITHIN 5 DAYS (SEE #3 ON PAGE 6 OF THE GENERAL PERMIT). PLEASE SEND A COPY OF THIS CORRESPONDENCE TO THE DIVISION OF LAND RESOURCES (DLR).

NON-COMPLIANCE & FINES

TAKE COMPLIANCE SERIOUSLY! PROJECTS THAT VIOLATE STORM WATER PERMIT CONDITIONS AND/OR HAVE UNAUTHORIZED WATER QUALITY IMPACTS ARE SUBJECT TO FINES. CIVIL PENALTIES OF UP TO \$25,000.00 PER DAY FOR EACH VIOLATION MAY BE ASSESSED.

THERE ARE NO WETLANDS ON THIS SITE.

CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 4 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF APPLICABLE.

RIP THE ENTIRE AREA TO 6 INCHES DEPTH.

REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.

APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL.

CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.

SEED ON FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.

MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.

INSPECT ALL SEEDBED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDING WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, REESTABLISHED FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.

NOTE: CONTRACTOR SHALL PROVIDE A PERMANENT SEED COVER ON ALL AREAS DISTURBED DURING CONSTRUCTION OPERATIONS, INCLUDING ANY DISTURBANCE TO THOSE AREAS THAT WERE SEEDBED DURING PREVIOUS WORK.

EROSION CONTROL

INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE PER DETAIL.

INSTALL SILT FENCE AS NECESSARY PER DETAIL.

INSTALL TREE PROTECTION PER DETAIL. DURING CONSTRUCTION CONTRACTOR SHALL TAKE CARE TO LIMIT DAMAGE TO ADJACENT TREES. EXISTING TREES TO REMAIN UNLESS UNABLE TO SAVE DUE TO SITE GRADING.

1) STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENuded AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE. ALL GRADED SLOPES MUST BE SEEDBED AND MULCHED WITHIN 21 DAYS OF COMPLETION OF GRADING. STABILIZE AREAS OTHER THAN SLOPES WITHIN 30 WORKING DAYS OR 120 CALENDAR DAYS, WHICHEVER IS SHORTER.

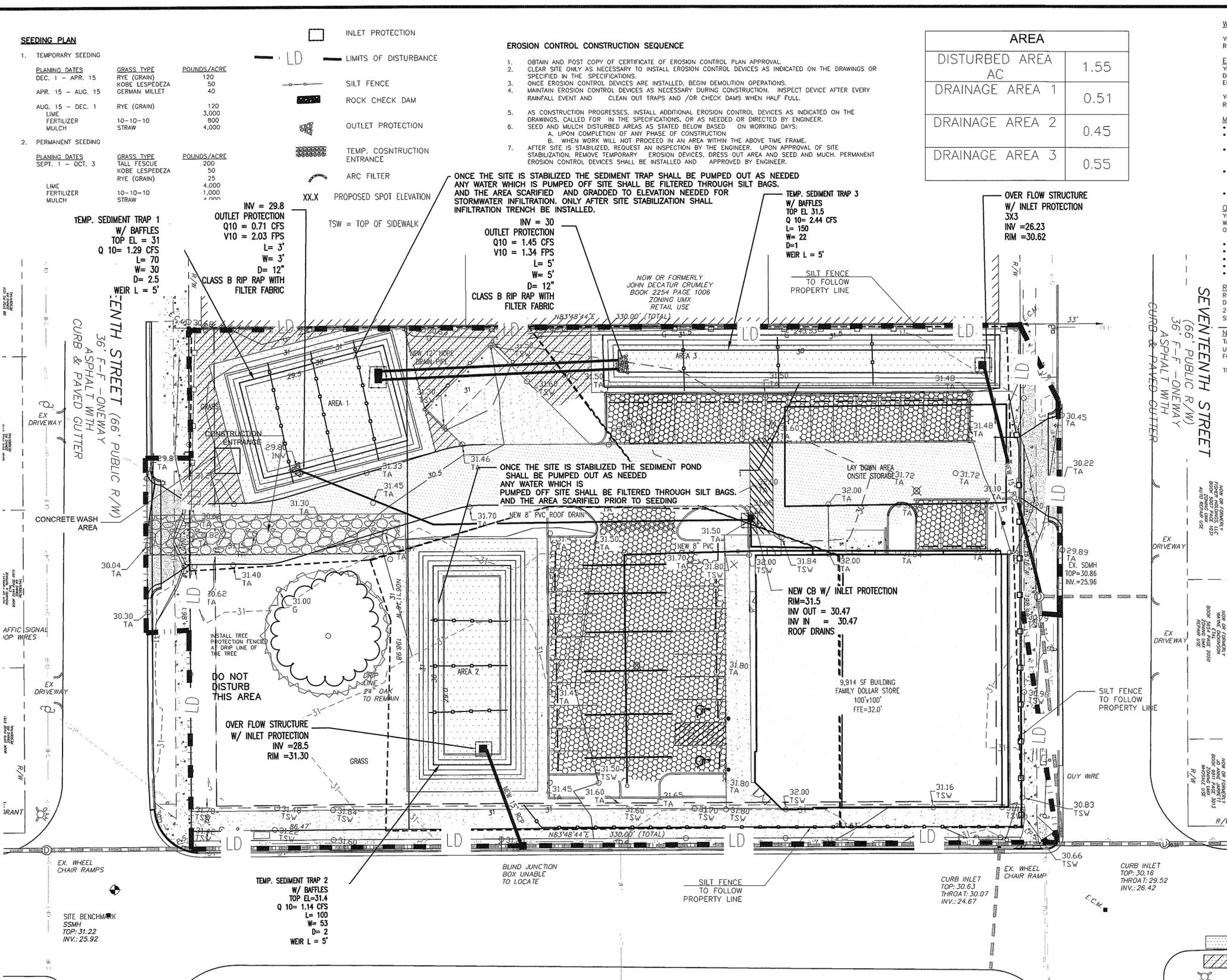
2) ADDITIONAL DEVICES MAY BE REQUIRED AS AGREED TO BY CONTRACTOR AND OWNER.

3) IF ACTIVE CONSTRUCTION CEASES IN ANY AREA FOR MORE THAN 15 WORKING DAYS, ALL DISTURBED AREAS MUST BE SEEDBED, MULCHED AND TACKED.

4) AFTER EVERY RAINFALL EVENT, CONTRACTOR SHALL INSPECT AND REPAIR, AS NECESSARY, ALL DAMAGED EROSION CONTROL MEASURES.

NEW STABILIZATION TIMEFRAMES

Site Area Description	Stabilization	Timeframe Exceptions
Perimeter dikes, swales, ditches and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.



WOOSTER STREET (66' PUBLIC R/W)
48'-F PAVED ROAD

NOW OR FORMERLY TERESA C. ANDREWS BOOK 5281 PAGE 2580 ZONING UMX RETAIL USE

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and or project acceptance

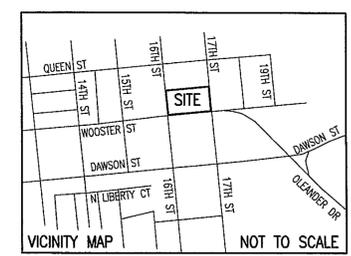
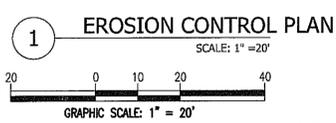
STORMWATER MANAGEMENT PLAN APPROVED CITY OF WILMINGTON ENGINEERING DEPARTMENT

OWNER: EASTERN PRIDE, INC. 2405-F NASH STREET WILSON, NC 27804

GENERAL CONTRACTOR - STOCKS AND TAYLOR CONSTRUCTION, INC WASHINGTON, NC

APPROVED CONSTRUCTION PLAN NAME DATE PLANNING DATE TRAFFIC PERMIT # FIRE SIGNED

- NOTES:
- PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
 - IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.



FAMILY DOLLAR STORE
722 S. 17TH STREET
WILMINGTON, NC

Approved: MARIE U. PEEDIN

DESIGNED MUP: Drawn MSP: Checked MUP

5/8/14
PAMLICO ENGINEERING SERVICES, PLLC LICENSE NO. P-0530

Pamlico Engineering Services
PAMLICO ENGINEERING SERVICES
128 Abbey Lane
Washington, NC 27889
252-945-2983
mpeedin@pamlicoengineeringservices.com

REVISIONS: Description Date
3/27/14 REVISIONS PER SHEW HANCOCK CO.
5/29/14 REVISIONS PER SHEW HANCOCK CO.

File No. 14001
Scale: 1" = 20'
Sheet No.

C-004

LANDSCAPE LEGEND						
KEY	QTY	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	CATEGORY	TYPE
RB	3	Betula nigra	River BIRCH	8"/2" cal.	TREES(LARGE)	DECIDUOUS
CM	23	LAGERSTOEMIA	CREPE MYRTLE	8"/2" cal.	SMALL TREE	DECIDUOUS
RM	16	ACER RUBRUM	RED MAPLE	8"/2" cal.	TREES(LARGE)	DECIDUOUS
NH	27	ILEX CORNUTA	NEEDLEPOINT HOLLY	36"/7 gal.	LOW BUFFER	EVERGREEN
JH	150	Rhaphiolepis indica	Indian Hawthorn	18"/3 gal.	SHRUB(SMALL)	EVERGREEN
BW	85	BUXUS SINICA	WINTERGREEN BOXWOOD	18"/3 gal.	SHRUB(SMALL)	EVERGREEN
IC	7	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	10" 3" CAL	TREE	EVERGREEN
MN	40	NANDINA DOMESTICA	MINIATURE NANDINA	18"/3 gal.	SHRUB(SMALL)	EVERGREEN
LB	16	LOROPETALLUM CHINESE RUBRUM	LOROPETALLUM BLUSH	18"/3 gal.	SHRUB(SMALL)	EVERGREEN
WM	8	MYRICA CERIFERA	WAX MYRTLE	30"/ 3GAL.	SHRUB	EVERGREEN

APPROVED CONSTRUCTION PLAN
 NAME _____ DATE _____
 PLANNING _____
 TRAFFIC _____
 FIRE _____

STORMWATER MANAGEMENT PLAN
 APPROVED _____
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____
 PERMIT # _____
 SIGNED _____

LANDSCAPE CALCULATIONS:
STREET TREES
 LINEAR FOOTAGE OF ROAD FRONTAGE = 728 LF - 48LF = 680 LF
 STREET TREES - 1/80LF = 23 TREES IN ROW PROVIDED

SHADE REQUIREMENTS
 PARKING AND DRIVE IMPERVIOUS AREA = 10,495 SF
 20% X 10495 = 2099 SF REQUIRED
 SA = 4244 SF PROVIDED

LANDSCAPE AREA PROVIDED = 1542 SF (LSA)

FOUNDATION PLANTINGS AREA

	REQUIRED	PROVIDED
FRONT = 84.5 X 20 X 0.12 =	203 SF	209 SF
NORTH SIDE = 100 X 15 X 0.12 =	180 SF	246 SF
EAST SIDE = 100 X 20 X 0.12 =	180 SF	530 SF

TREE MITIGATION CALCS
 25" OAK X 2 (100%) = 50 50% = 17 TREES 17 TREES

STREET YARD BUFFER 16TH AND WOOSTER STREETS
 528 LF - 24' - 100' = 404 LF X 18" = 7272 SF TOTAL REQUIRED

	REQUIRED	PROVIDED
7222/600 = 12	12	12
SHADE TREE	12	12
SHRUBS (6)	72	72

- LANDSCAPE NOTES**
- LOCATE ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PLANT MATERIAL. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THOSE SHOWN IN PLAN.
 - ALL PLANT MATERIAL SHALL CONFORM WITH THE STANDARDS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSEYMEN AND THE WRITTEN SPECIFICATIONS.
 - PLANTING BEDS TO BE MULCHED WITH A MINIMUM OF 3" LONGLEAF PINESTRAW. ALL PLANT GROUPINGS SHALL BE MULCHED AS ONE BED.
 - ESTABLISH POSITIVE DRAINAGE IN ALL PLANTING BEDS AND AWAY FROM BUILDINGS.
 - APPLY PRE-EMERGENT HERBICIDE TO ALL NEW PLANTING BEDS AT MANUFACTURER'S RECOMMENDED RATE PRIOR TO INSTALLATION OF MULCH.
 - DO NOT INSTALL PLANT MATERIAL IN IMPERVIOUS SOILS (i.e. HOLES WHICH, WHEN FILLED WITH WATER, DO NOT COMPLETELY DRAIN WITHIN TWO HOURS).
 - ALL LANDSCAPING IS SUBJECT TO THE CITY ZONING ORDINANCE AND ANY MODIFICATIONS MADE SHALL MEET ALL REQUIREMENTS SET FORTH BY THE ZONING CODE.
 - THE AREA WITHIN THE SIGHT TRIANGLE SHALL BE MAINTAINED FREE OF ALL OBSTRUCTIONS BETWEEN 30' AND 10'.
 - LANDSCAPE SHALL BE COMPLETE BEFORE ISSUANCE OF A FINAL CO.
 - A RAIN/FREEZE SENSOR SHALL BE USED IF THERE IS AN IRRIGATION SYSTEM.
 - ALL PLANTED AND RETAINED MATERIAL REQUIRED TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE SHALL BE PERPETUALLY PROTECTED AND MAINTAINED TO PROFESSIONALLY ACCEPTED STANDARDS BY JOINT AND SEVERAL RESPONSIBILITY OF THE OWNER, TENANT AND RESPECTIVE AGENTS OF THE PROPERTY ON WHICH THE MATERIAL IS LOCATED.
 - CREATIVE STANDARD: TO PROMOTE CREATIVE DESIGNS, STREET YARDS MAY CONSIST OF TREES AND SHRUBBERY WHICH COVER AT LEAST 50% OF ITS AREA.

DEVELOPER
 EASTERN PRIDE, INC.
 2405-F NASH STREET
 WILSON, NC 27896

OWNER
 THOMSON REALTY INVEST LP
 910 SAND MILLS BLVD
 ABERDEEN, NC 28315

GENERAL CONTRACTOR:
 STOCKS AND TAYLOR CONSTRUCTION, INC.
 1825 CAROLINA AVENUE
 WASHINGTON, NC 27889

GENERAL BUILDING INFORMATION
 BUILDING USE: COMMERCIAL - RETAIL
 TOTAL LOT SIZE = 1.51 AC
 LOT 1 = 0.395 AC TO R/W
 LOT 2 = 1.115 AC TO R/W
 BUILDING SIZE: 9,914 SF

7427 SF RETAIL, 2487 SF OTHER
 BUILDING HEIGHT: 20 FT
 BUILDING CONSTRUCTION TYPE = V-B

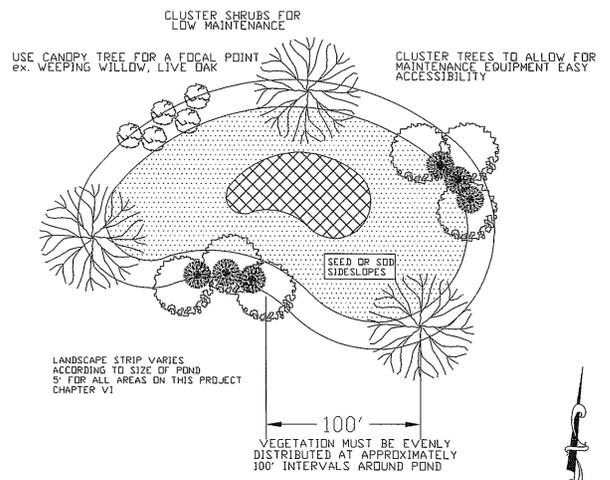
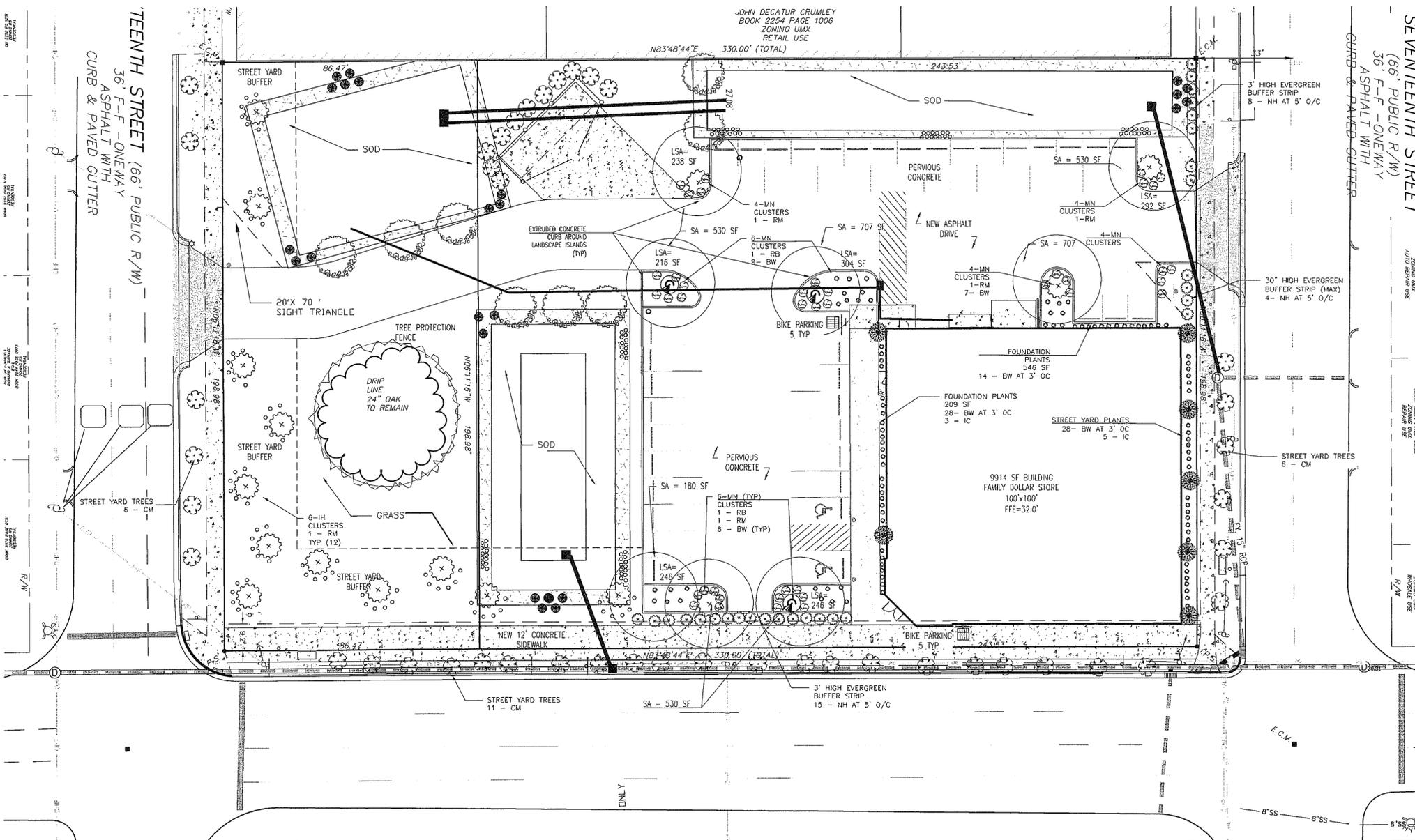
BUILDING LOT COVERAGE
 9914 SF / 65,775.6 SF = 15.07%
 NO. OF BUILDINGS = 1

TOTAL IMPERVIOUS AREA = 9914.00 SF
 BUILDING = 9914.00 SF
 SIDEWALK (ONSITE) = 1228.74 SF
 PAVEMENT = 10,495.00 SF
 PERVIOUS PAVEMENT = 10,631.00 SF
 SIDEWALK = 2640.00 SF
 (ON SITE ALONG WOOSTER)

TOTAL IMPERVIOUS AREA = 34,908.74 SF
 TOTAL GREEN SPACE = 30,867.8 SF

TOTAL PERVIOUS PAVEMENT = 10,631 SF
 % IMPERVIOUS EXISTING = 000%
 % IMPERVIOUS PROPOSED = 34,908.74/65775.6 = 53%
 (WITH NO CREDIT FOR PERVIOUS PAVEMENT)

- GENERAL NOTES**
- ANY EXISTING ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
 - DO NOT DISPOSE OF ANY CHEMICALS, PETROLEUM PRODUCTS, OR REMOVE SOIL ANY OUTSIDE THE LIMIT OF WORK.
 - LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING DAMAGE TO ANY UTILITIES AS A RESULT OF INSTALLING ANY LANDSCAPE MATERIALS.
- Note on plan stating that prior to any clearing, grading, or construction activity, tree protection fencing will be installed around protected trees or groves of trees. No construction workers, tools, materials, or vehicles are permitted within the tree protection fencing.

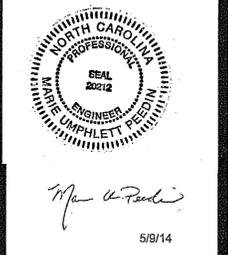


- Notes:**
- If possible, locate pond where vegetation exists.
 - Suggest minimal clearing to conserve visual quality of site and minimize the additional of tree planting. An irregular shape provides a more natural appearance.
 - Landscape strip shall be a maximum slope of 7:1 in order to plant vegetation.
 - Provide a minimum of 3 inches of mulch around all vegetation.

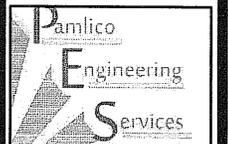
Designed MUP _____
 Drawn MSP _____
 Checked MUP _____
 Approved MARIE U. PEEDIN _____

LANDSCAPE PLAN

FAMILY DOLLAR STORE
 722 S. 17TH STREET
 WILMINGTON, NC



PAMLICO ENGINEERING SERVICES, PLLC
 LICENSE NO. P-0530



PAMLICO ENGINEERING SERVICES
 128 Abbey Lane
 Washington, NC 27889
 252-945-2983
 mpeedin@pamlicoengineering.com

REVISIONS	Date	Description
	5/9/14	REVISED PER COM. COMMENTS 4/22/14

File No: 14001
 Scale: 1" = 20'

Sheet No.
C-006

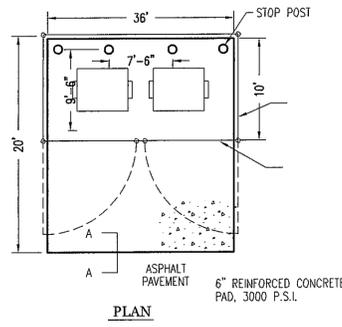
LANDSCAPE PLAN
 SCALE: 1" = 20'

GRAPHIC SCALE: 1" = 20'

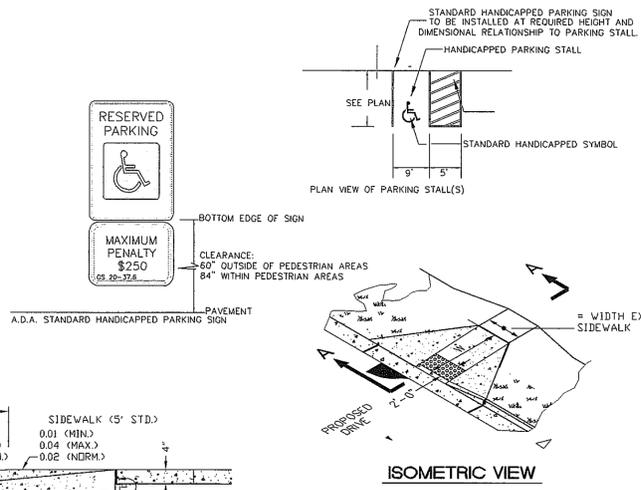
North Carolina One-Call Center
811
 Know what's below. Call before you dig.

WOOSTER STREET (66' PUBLIC R/W)
 48'-F PAVED ROAD

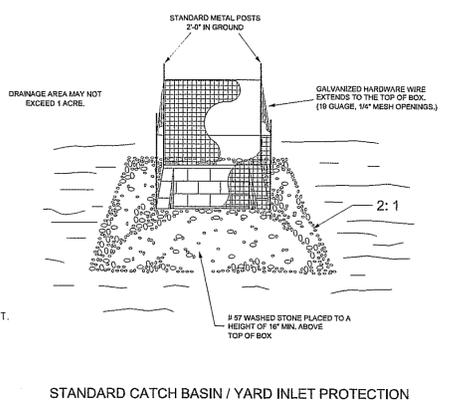
NOW OR FORMERLY TERESA C. ANDREWS
 BOOK 5281 PAGE 2580
 ZONING UMX
 RETAIL USE



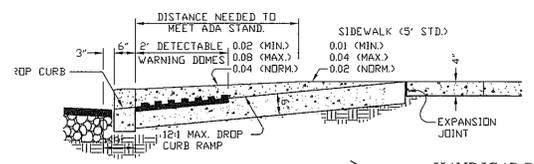
RESERVED PARKING
 MAXIMUM PENALTY \$250
 05 28-37A



HANDICAP PARKING AND SIDEWALK DETAIL
 NTS



STANDARD CATCH BASIN / YARD INLET PROTECTION



HANDICAP PARKING AND SIDEWALK DETAIL
 NTS

APPROVED CONSTRUCTION PLAN

NAME _____ DATE _____

PLANNING _____

TRAFFIC _____

FIRE _____

STORMWATER MANAGEMENT PLAN

APPROVED _____

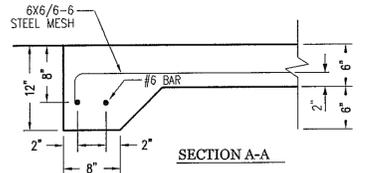
CITY OF WILMINGTON

ENGINEERING DEPARTMENT

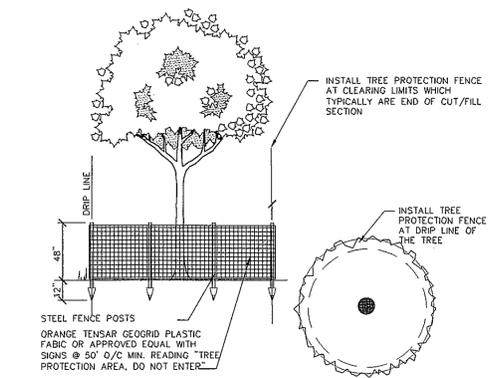
DATE _____

PERMIT # _____

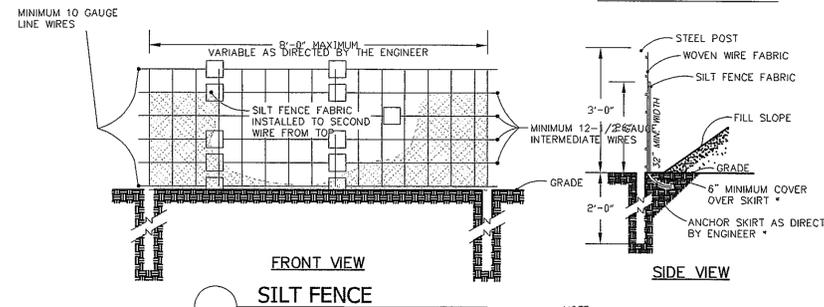
SIGNED _____



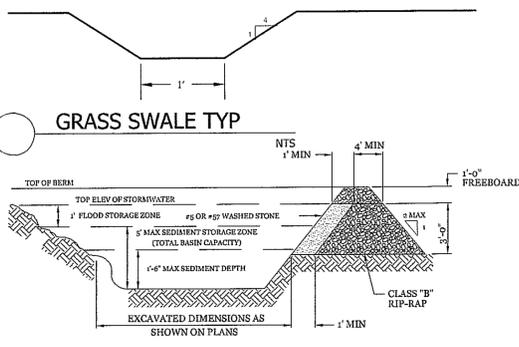
DUMPSTER PAD DETAIL
 Scale: Not To Scale



TREE PROTECTION DURING CONSTRUCTION
 NOT TO SCALE

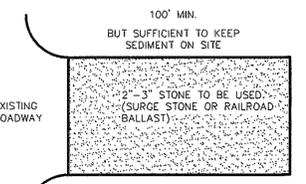


SILT FENCE



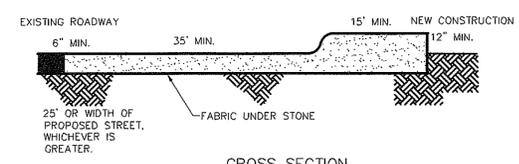
SECTION THRU BASIN & FILTER

CLEAN BASIN WHEN MAXIMUM

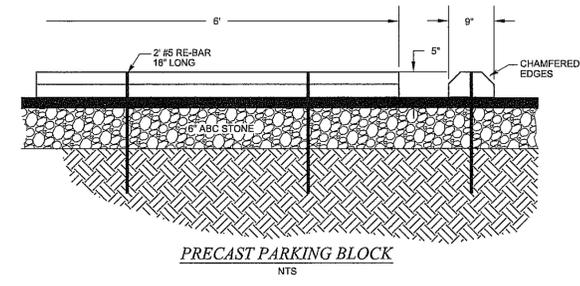


PLAN VIEW

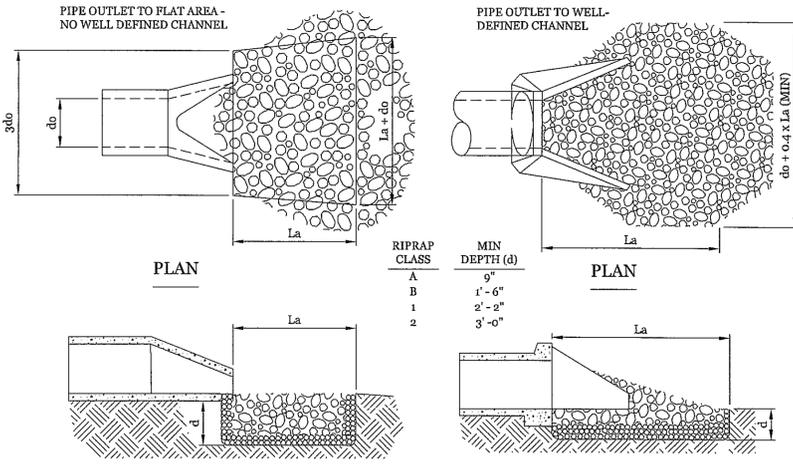
- NOTES:
1. PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
 2. IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.



STANDARD CONSTRUCTION ENTRANCE
 Scale: Not To Scale



PRECAST PARKING BLOCK
 NTS

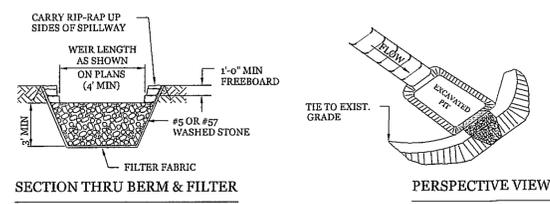


SECTION THRU PIPE

SECTION THRU PIPE

- NOTES:
1. La IS THE LENGTH OF THE RIP-RAP APRON.
 2. do IS THE NOMINAL SIZE OF THE OUTLET PIPE.
 3. IN A WELL-DEFINED CHANNEL EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK, WHICHEVER IS LESS. WIDEN CHANNEL AS NECESSARY TO ACHIEVE REQUIRED WIDTH AT DISTANCE La FROM OUTLET. RIPRAP ENTIRE DISTURBED PORTION OF THE CHANNEL.
 4. A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIP-RAP AND SOIL FOUNDATION.

OUTLET PROTECTION DETAIL
 Scale: Not To Scale



SECTION THRU BERM & FILTER

PERSPECTIVE VIEW

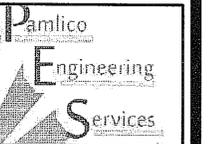
TEMPORARY SEDIMENT TRAP
 NOT TO SCALE

FAMILY DOLLAR STORE
 709 S. 16TH STREET
 WILMINGTON, NC



Marie U. Peedin
 5/1/19

PAMICO ENGINEERING SERVICES, PLLC
 LICENSE NO. P-0530



PAMICO ENGINEERING SERVICES
 128 Abbey Lane
 Washington, NC 27889
 252-945-2983
 mpeedin@pamicoengineering.com

REVISIONS	Date	Description
1		5/8/14 REMOVED UTILITY DETAILS SEE OFFPA DETAIL SHEETS

File No. 14001

Scale: 1" = 20'

Sheet No.

C-007

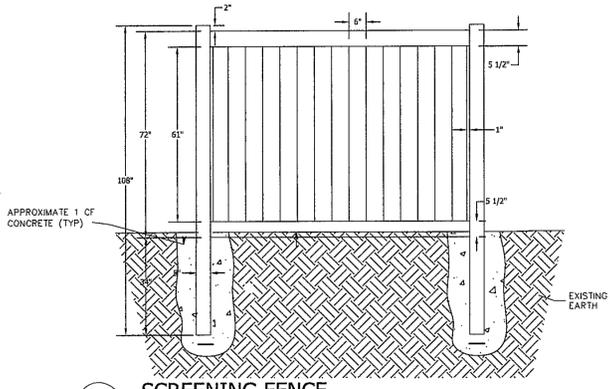
Designed MUP
 Drawn MSP
 Checked MUP
 Approved MARI U. PEEDIN

DETAILS

Note: All Federal, state and local permits are required prior to full construction release. This includes but is not limited to: state storm water, state utility extension permits, wetland disturbance permits, city storm water, tree protection permits, ect.

STORMWATER MANAGEMENT PLAN
 APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____
 PERMIT # _____
 SIGNED _____

APPROVED CONSTRUCTION PLAN
 NAME _____ DATE _____
 PLANNING _____
 TRAFFIC _____
 FIRE _____



OVER FLOW STRUCTURE SCHEDULE

ID	RIM	INV	PIPE SIZE	BOTTOM EL
OFS 1	30.8	28.5	15"	28.9
OFS 2	30.62	26.23	15"	30
OFS 3	31.00	30.00	2 - 12"	29.5

Owners/Developers Certification
 I/We hereby certify that any clearing, grading, construction or development or all of these will be done pursuant to this plan and that the applicable stormwater Management conditions and requirements of the City of Wilmington, the State of North Carolina and the Federal Government and its agencies are hereby made part of this plan"

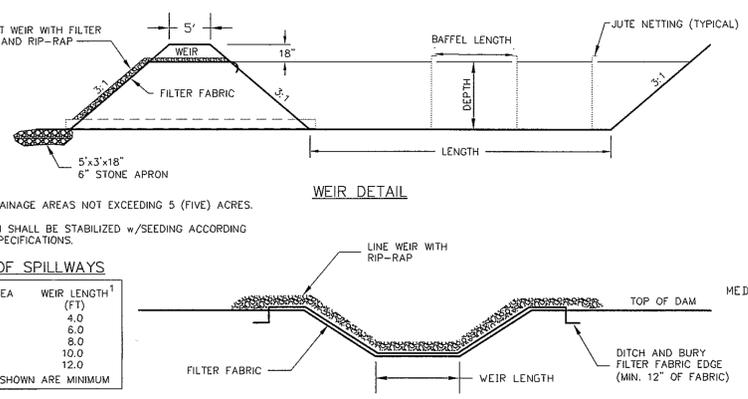
Signature: *Marie U. Peedin*
 Date: 5/8/14
 Marie U. Peedin, Vice President Eastern Piedmont, Inc.

Maintenance Plan

- All erosion and sediment control measures will be checked for stability and operation following every major-producing rainfall, but in no case, less than once every week and within 24 hours of every half inch rainfall.
- All points of entry will have constructed entrances that will be periodically inspected with an additional 1/2 inch of rain to maintain proper depth. They will be maintained in a condition to prevent mud or sediment from leaving the site. Immediately remove objectionable material spilled washed or tracked onto the construction entrance or roadway.
- Sediment will be removed from hardware cloth and gravel later protection, block and gravel later protection, rock-doughnut later protection and rock pipe inlet protection when the designed storage capacity has been half filled with sediment. Rock will be cleaned or replaced when the sediment pool no longer drains as designed. Debris will be removed from the rock and hardware cloth to allow proper drainage. Silt socks will be replaced once a week and after every rain event. Sediment will be removed from around leaver dams, slurry walls and weirs once a week and after every rain event.
- Division ditches will be cleaned out immediately to remove sediment or obstructions from the flow area. The dividing ridges will be repaired. Swales must be temporarily stabilized within 21 calendar days of close of any phase of activity associated with a swale.
- Sediment will be removed from behind the sediment fence when it becomes half filled. The sediment fence will be repaired as necessary to maintain a barrier. Stakes spacing will be 6 feet max. with the use of extra strength fabric, without wire backing. Stakes spacing will be 8 feet max. when standard strength fabric and wire backing are used. If rock filters are designed at low points in the sediment fence the rock will be repaired or replaced if it becomes half full of sediment, no longer drains as designed or is damaged.
- Sediment will be removed from sediment traps when the designed storage capacity has been half filled with sediment. The rock will be cleaned or replaced when the sediment pool no longer drains or when the rock is dislodged. Stakes will be repaired or replaced if they collapse, tear, decompose or become ineffective. They will be replaced promptly. Sediment will be removed when the sediment pool no longer drains when the design storage capacity has been half filled with sediment. Rock will be cleaned or replaced when the sediment pool no longer drains or if the rock is dislodged. Stakes will be repaired or replaced if they collapse, tear, decompose or become ineffective. They will be replaced promptly. Sediment will be removed from baffles when deposits reach half the height of the 1" baffle. Floating skimmers will be inspected weekly and will be kept clean.
- All eroded areas will be fertilized, seeded as necessary and marked according to specification in the vegetation plan to maintain a vigorous, dense vegetative cover. All slopes will be stabilized within 21 calendar days. All other areas will be stabilized within 15 working days.
- Flame retardants will be used to address turbidity issues. The pumps, traps, hoses and injection systems will be checked for problems or normal discharge daily.

SKIMMER BAFEL DATA

ID	LENGTH	BAFFEL LENGTH
1	70	17.50
2	100	25
3	150	37.50



NOTES:

- USE FOR DRAINAGE AREAS NOT EXCEEDING 5 (FIVE) ACRES.
- EARTH BERM SHALL BE STABILIZED w/SEEDING ACCORDING TO TOWN SPECIFICATIONS.

DESIGN OF SPILLWAYS

DRAINAGE AREA (ACRES)	WEIR LENGTH ¹ (FT)
1	4.0
2	6.0
3	8.0
4	10.0
5	12.0

¹ DIMENSIONS SHOWN ARE MINIMUM

MAINTENANCE

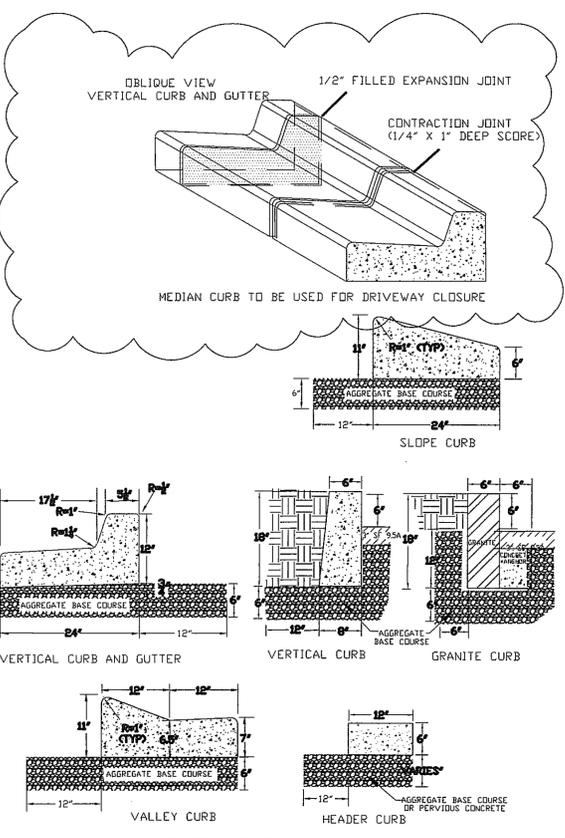
INSPECT TEMPORARY SEDIMENT TRAPS AND EMPTY SKIMMER OF ALL DEBRIS AFTER EACH PERIOD OF SIGNIFICANT RAINFALL. REMOVE SEDIMENT AND RESTORE TRAP TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN A DESIGNATED DISPOSAL AREA AND REPLACE THE CONTAMINATED PART OF THE GRAVEL FACING.

CHECK THE STRUCTURE FOR DAMAGE FROM EROSION OR PIPING. PERIODICALLY CHECK THE DEPTH OF THE SPILLWAY TO ENSURE IT IS A MINIMUM OF 1.5 FT BELOW THE LOW POINT OF THE EMBANKMENT. IMMEDIATELY FILL ANY SETTLEMENT OF THE EMBANKMENT TO SLIGHTLY ABOVE DESIGN GRADE. ANY RIP RAP DISPLACED FROM THE SPILLWAY MUST BE REPLACED IMMEDIATELY.

STABILIZE THE EMBANKMENT AND ALL DISTURBED AREAS ABOVE THE SEDIMENT POOL AND DOWNSTREAM FROM THE TRAP IMMEDIATELY AFTER CONSTRUCTION WITH SEEDING.

DESIGNER CERTIFICATION
 "I hereby certify that this plan has been prepared in accordance with the latest Wilmington Standards and Specifications for Storm Water Management and Chapter 18 of the Code of Ordinance of the City of Wilmington"

Signature: *Marie U. Peedin*
 Date: 5/9/14
 Marie U. Peedin, PE
 PE # 20212



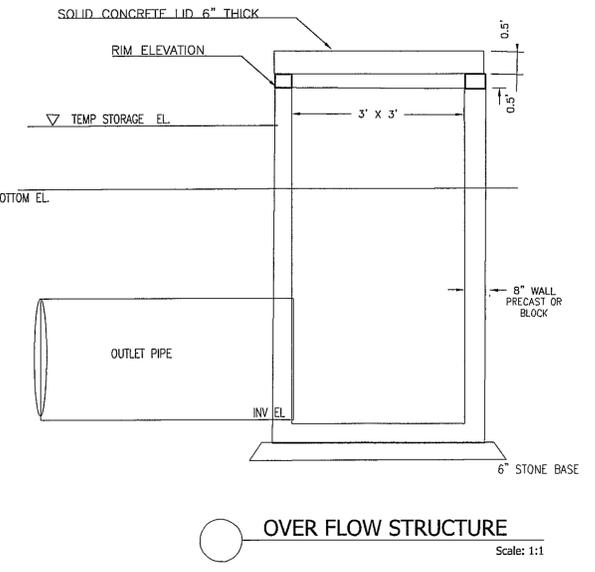
NOTES:

- EXPANSION JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
- 50' MAX EXPANSION JOINT SPACING, 10' MAX CONTRACTION JOINT SPACING.
- MINIMUM INSTALLATION LENGTH IS 5 FT.
- CONCRETE TO BE 3000 PSI MIN.
- VERTICAL CURB AND GUTTER BASE CAN BE SLOPED 3/4" DR USE A FLAT BASE.

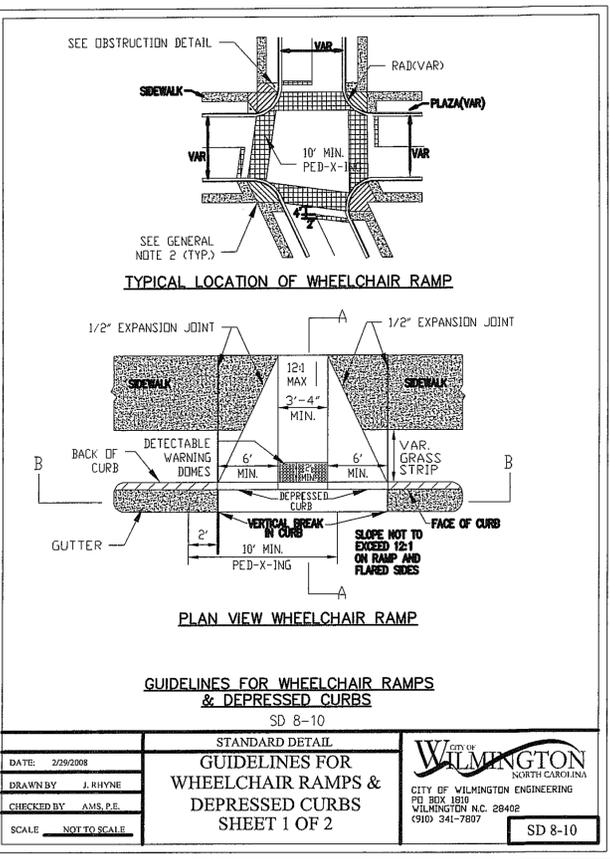
SCREENING FENCE
 Scale: NTS

- Variances on stall widths, angle and other dimensions will be allowed only upon approval of the Traffic Engineer.
- Wheel stops shall be required three (3) feet from the end of parking stall when using equispaced 1.50 feet deep stalls.
- Curbing, cresting, utility mounds, etc., can be used as wheel stops. (Must be anchored down)
- All medians shall be a minimum of six (6) feet wide.
- Parking bays which terminate at a destination way shall provide for a minimum turning radius of twenty-five (25) feet, as measured from the edge of the travel portion.
- All parking stall markings and lane arrows shall be white.
- All other pavement markings, signs or other traffic control devices shall conform to the latest edition and/or interpretation of the Manual on Uniform Traffic Control Devices (MUTCD).
- No obstructions will be allowed adjacent to a parking stall which would prevent safe ingress and egress from a parked vehicle.
- Posting in the lanes and in non-residential driveways shall be prevented by standard signs and as needed by portable barricades.

STANDARD DETAIL
PARKING FACILITY DESIGN NOTES
 WILMINGTON NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 201 S. 17TH STREET
 WILMINGTON, NC 28402
 910-341-7807
 SD 15-13

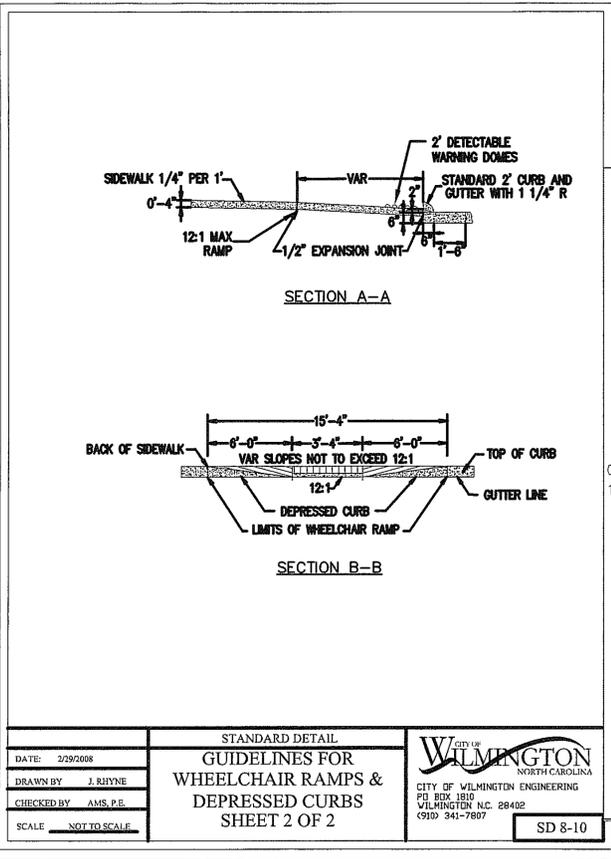


OVER FLOW STRUCTURE
 Scale: 1:1



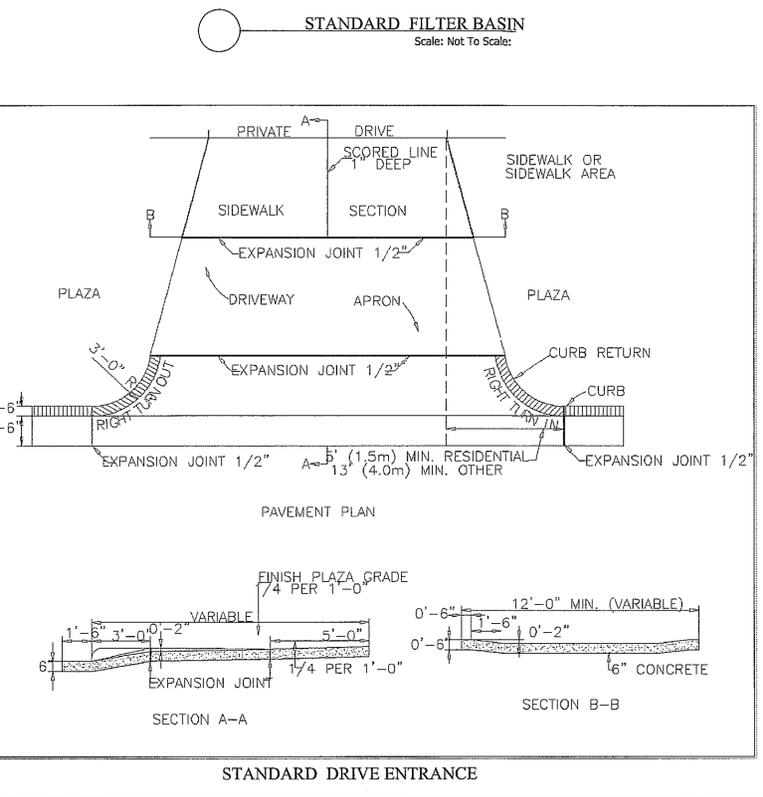
STANDARD DETAIL
GUIDELINES FOR WHEELCHAIR RAMPS & DEPRESSED CURBS
 SHEET 1 OF 2
 SD 8-10

WILMINGTON NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 201 S. 17TH STREET
 WILMINGTON, NC 28402
 910-341-7807
 SD 8-10



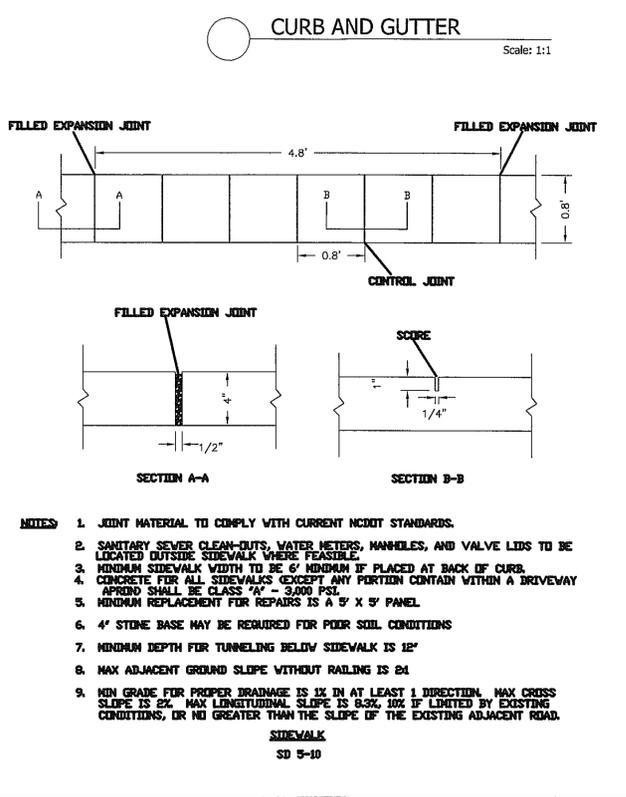
STANDARD DETAIL
GUIDELINES FOR WHEELCHAIR RAMPS & DEPRESSED CURBS
 SHEET 2 OF 2
 SD 8-10

WILMINGTON NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 201 S. 17TH STREET
 WILMINGTON, NC 28402
 910-341-7807
 SD 8-10



STANDARD DETAIL
GUIDELINES FOR WHEELCHAIR RAMPS & DEPRESSED CURBS
 SHEET 2 OF 2
 SD 8-10

WILMINGTON NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 201 S. 17TH STREET
 WILMINGTON, NC 28402
 910-341-7807
 SD 8-10



NOTES:

- JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
- SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
- MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
- CONCRETE FOR ALL SIDEWALKS EXCEPT ANY PERTAIN CONTAIN WITHIN A DRIVEWAY APRON SHALL BE CLASS 'A' - 3000 PSI.
- MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
- 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
- MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
- MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 8%
- MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LENGTHWISE SLOPE IS 0.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

STANDARD DETAIL
GUIDELINES FOR WHEELCHAIR RAMPS & DEPRESSED CURBS
 SHEET 1 OF 2
 SD 5-10

Designed MUP
 Drawn MSP
 Checked MUP
 Approved MARIE U. PEEDIN

FAMILY DOLLAR STORE
 722 S. 17TH STREET
 WILMINGTON, NC

Professional Engineer
 REAL 20212
 MARIE U. PEEDIN

PAMLICO ENGINEERING SERVICES, PLLC
 LICENSE NO. P-0530

Pamlico Engineering Services

PAMLICO ENGINEERING SERVICES
 128 Abbey Lane
 Washington, NC 27889
 252-945-2983
 mpeedin@pamlicoengineering.com

REVISIONS
 Date Description
 5/8/14 ADDED BAFEL DETAILS

File No. 14001
 Scale: 1" = 20'
 Sheet No.

C-008