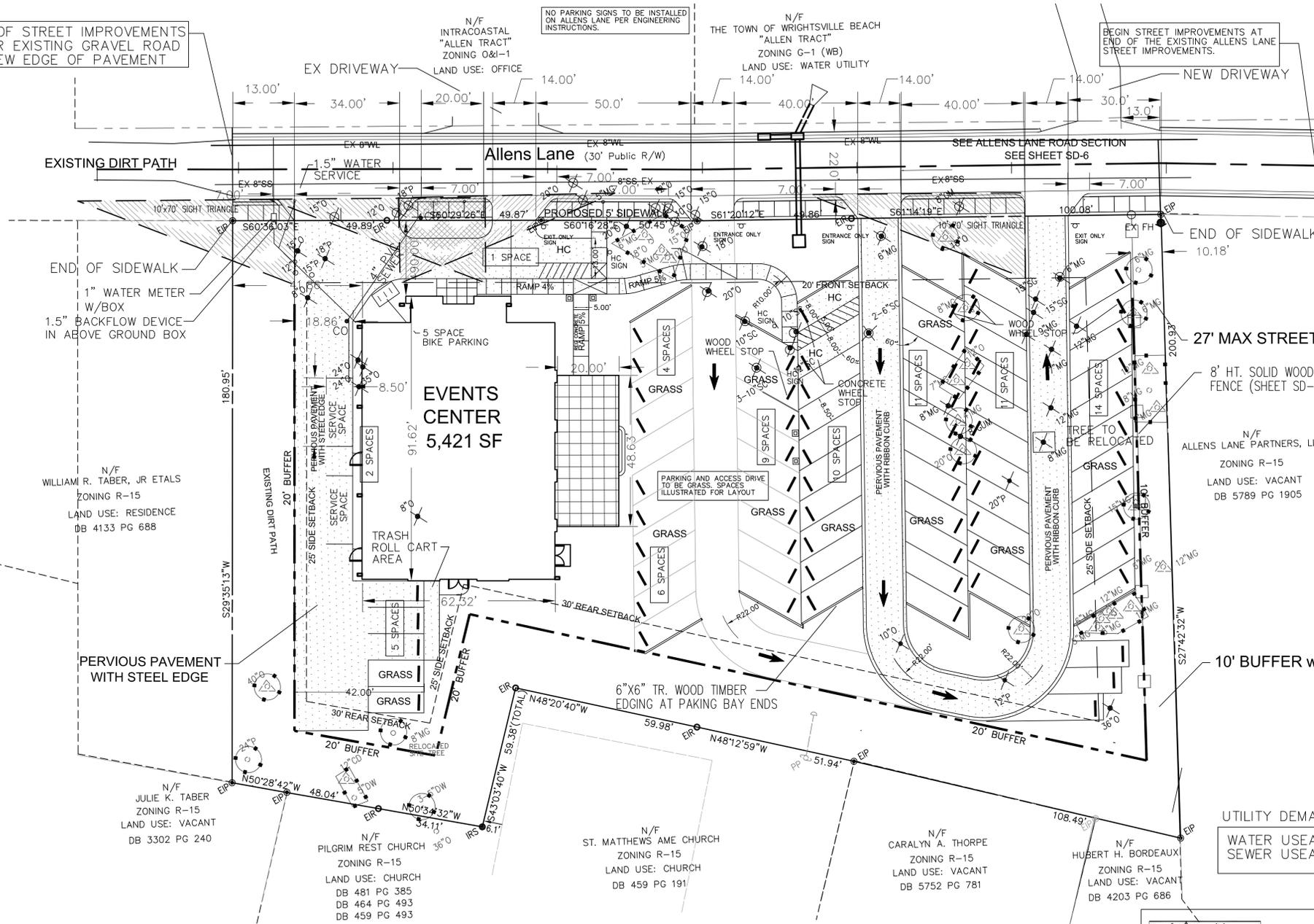
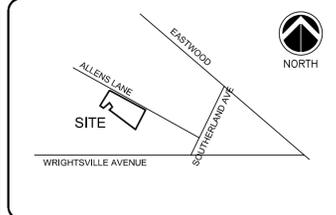
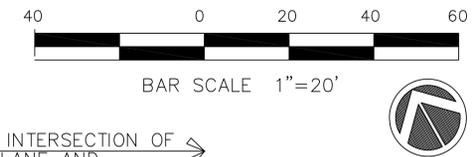


END OF STREET IMPROVEMENTS
TAPER EXISTING GRAVEL ROAD
TO NEW EDGE OF PAVEMENT



393' TO INTERSECTION OF
ALLENS LANE AND
SOUTHERLAND AVENUE

SITE DATA

OWNER: PETER & CHRISTA SWEYER
7203 BRISBANE COURT
WILMINGTON, NC 28405

PROPERTY - 1952 ALLENS LANE

PARCEL ADDRESS: 1948, 1952, 1956, 1960, 1968
ALLENS LANE, WILMINGTON, NC

PARCEL PIN#: R05713-001-012 THRU 016

DEED BOOK 5811-0095

PARCEL SIZE: 53,590.05 SF (1.23 AC)

ZONING
EXISTING ZONING: O&I-1 (CD) CASE FILE CD-12-514

LAND USE
EXISTING: VACANT
PROPOSED: ASSEMBLY HALL - EVENTS CENTER

BUILDING DATA
EXISTING: NONE
PROPOSED: 5,445 SF (1 STRUCTURE)
BUILDING HEIGHT: 25 FT
MAXIMUM OCCUPANCY CAPACITY: 265
BUILDING LOT COVERAGE: 10.0%

BUILDING SETBACKS

REQUIRED	PROPOSED
FRONT: 20 FT	FRONT: 20.40 FT
SIDE: 25 FT (ADJ TO RES ZONE & BLDG HT)	SIDE: (W) 41.86 FT
REAR: 30 FT (ADJ TO RES ZONE & BLDG HT)	SIDE: (E) 197.0 FT
	REAR: 35.0 FT

REQUIRED
FRONT: 20 FT
SIDE: 25 FT (ADJ TO RES ZONE & BLDG HT)
REAR: 30 FT (ADJ TO RES ZONE & BLDG HT)

PROPOSED
FRONT: 20.40 FT
SIDE: (W) 41.86 FT
SIDE: (E) 197.0 FT
REAR: 35.0 FT

UTILITIES
PUBLIC WATER: CFPUA
PUBLIC SEWER: CFPUA

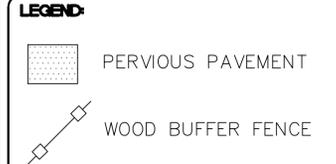
PARKING
REQUIRED: 1 SPACE PER 2 USERS
PROPOSED: 73 TOTAL SPACES
PROPOSED ADA SPACES: 3 SPACES
PROPOSED EMPLOYEE PARKING: 5 SPACES
PROPOSED SERVICE PARKING: 2 SPACES
(SEE CDZ APPROVAL CONDITIONS 5 & 6 FOR OFF SITE PARKING ALLOWANCES)

BICYCLE PARKING
REQUIRED: 5 SPACES
PROPOSED: 5 SPACES

TRASH REMOVAL BY ROLL CART

CAMA LAND USE CLASSIFICATION: WATERSHED RESOURCE PROTECTION

UTILITY DEMAND
WATER USAGE = 1,623 GPM
SEWER USAGE = 1,623 GPM



REV. #	DESCRIPTION	REV. BY	DATE
2	TRC COMMENTS		4/28/15
1	TRC COMMENTS		3/25/15



Owner
Peter and Christa Sweyer
7203 Brisbane Court
Wilmington, NC 28405

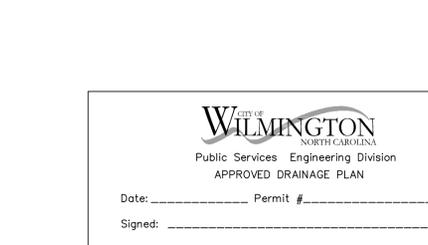
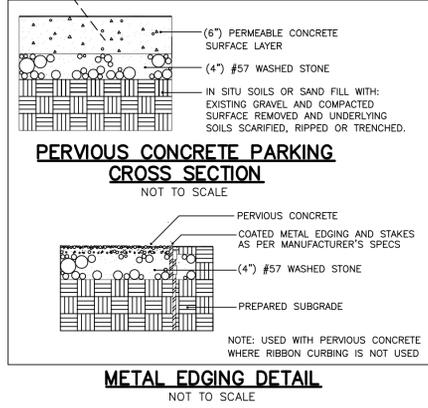
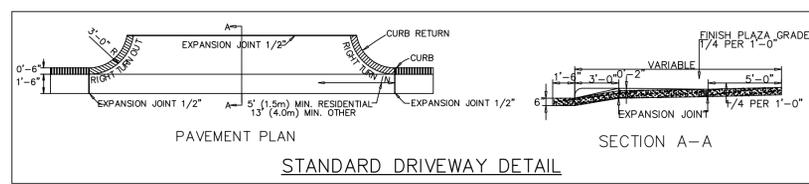
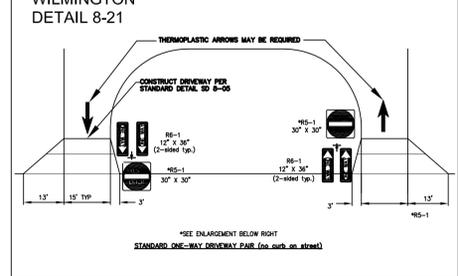
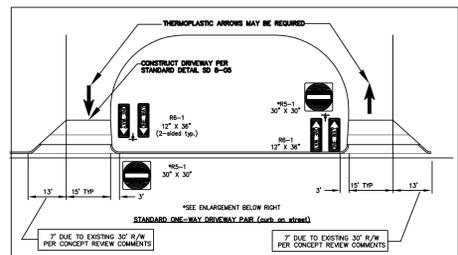


Coastal Land Design, PLLC
Civil Engineering / Landscape Architecture
Land Planning / Construction Management
NCBELS Firm License No: P-0389
P.O. Box 1172
Wilmington, NC 28402
www.clddesign.com
Phone: 910-254-6333
Fax: 910-254-6502

**Wrightsville Manor
Events Center**
1952 ALLENS LANE

SITE PLAN
W/ TREE INVENTORY

JOB NUMBER: 435-03
SHEET NUMBER: SD-2



ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
Public Services Engineering Division
APPROVED DRAINAGE PLAN

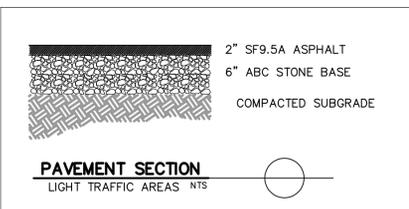
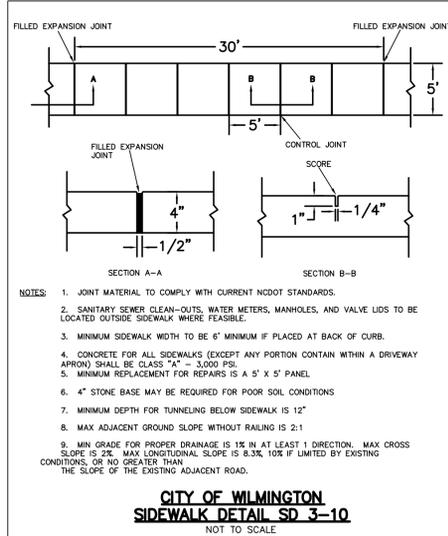
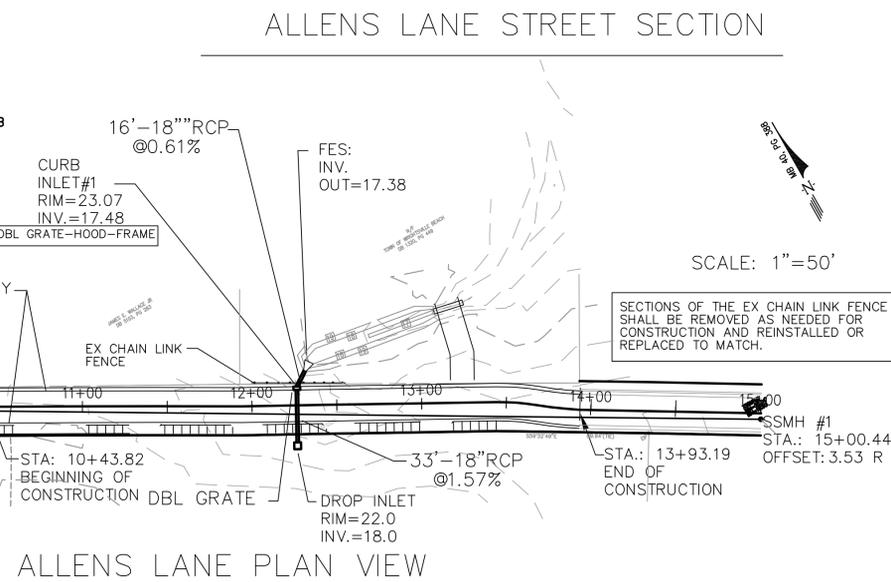
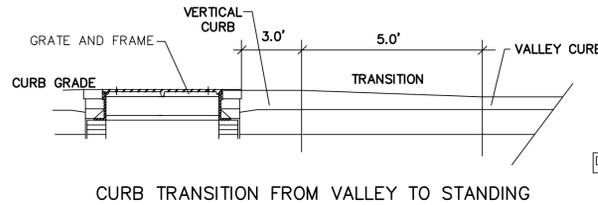
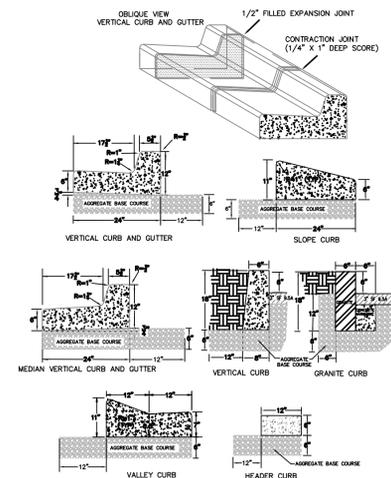
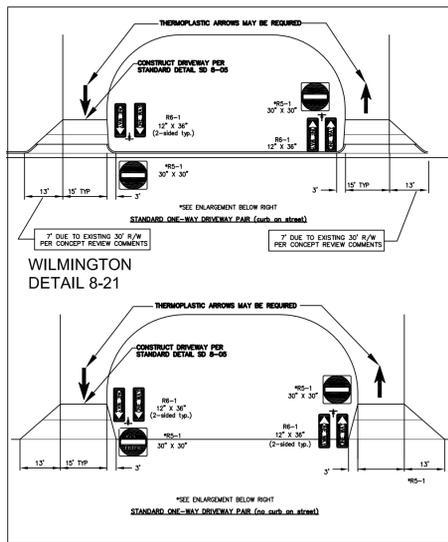
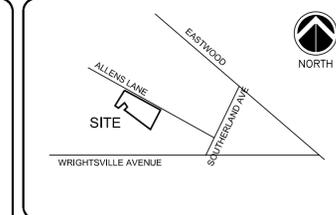
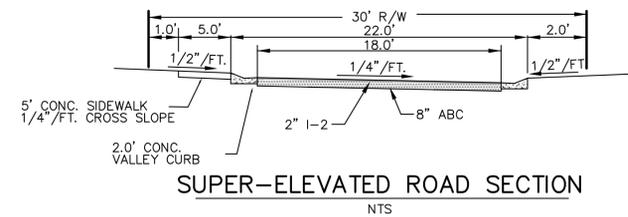
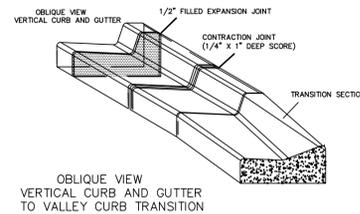
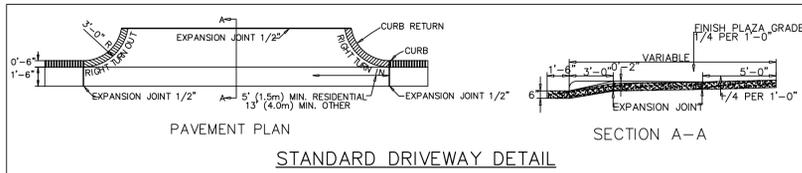
Date: _____ Permit # _____

Signed: _____

WILMINGTON
Approved Construction Plan

Name _____ Date _____

Planning _____
Traffic _____
Fire _____



FINAL PAVEMENT DESIGN MAY VARY WITH FIELD CONDITIONS.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of Wilmington Public Services Engineering Division APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

Signed: _____

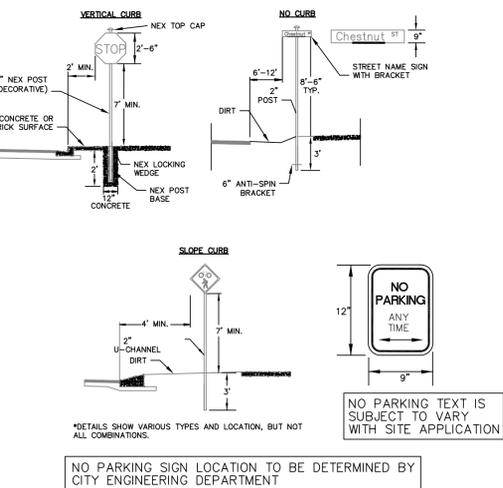
City of Wilmington Approved Construction Plan

Name _____ Date _____

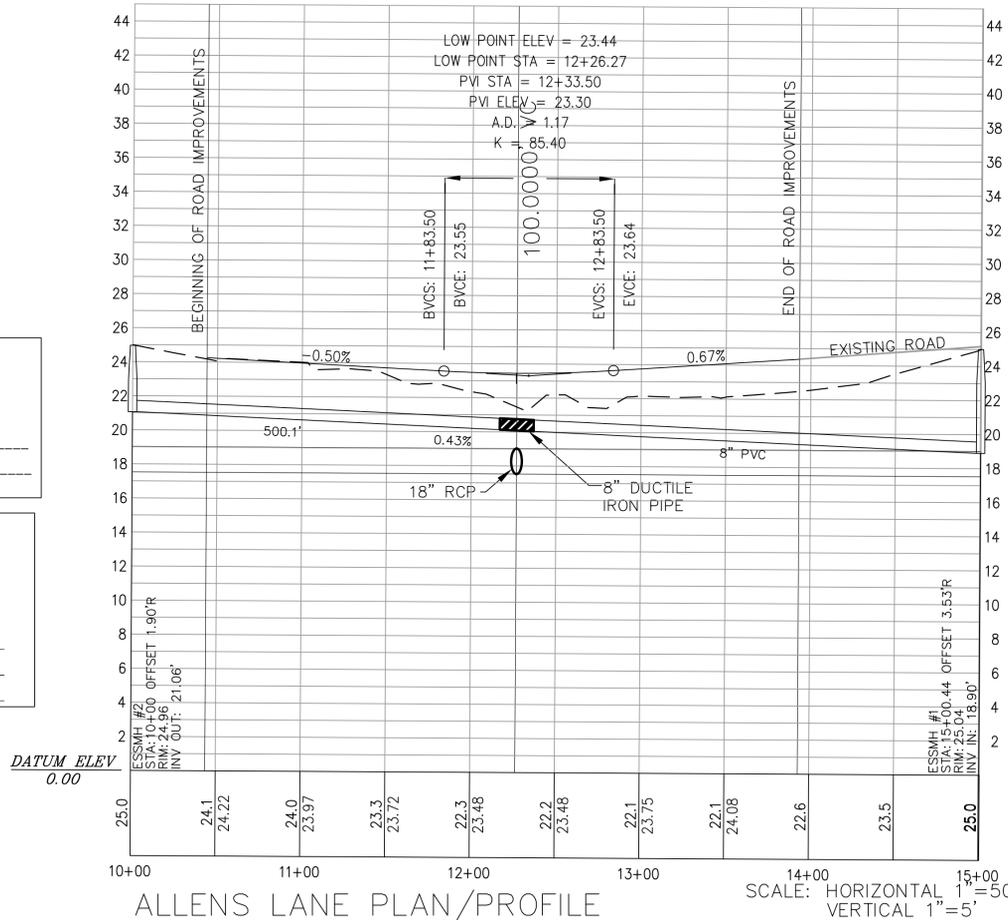
Planning _____

Traffic _____

Fire _____



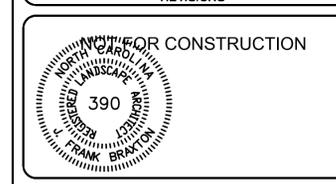
- SIGNS**
- All signs shall meet the requirements of MUTCD and City Traffic Engineering in effect at the time of construction.
 - All Traffic Control Signs including multi-use paths shall be fabricated with 0.080 inch aluminum blanks using high intensity prismatic reflective sheeting Type IV or better. STOP signs shall be a minimum of 30"x30".
 - SPECIAL DESIGNATION signs by location and type shall adhere to City of Wilmington signage plan (i.e. downtown, historic, cross-city trail, parks, riverfront, scenic by-way, parking, etc.) and all associated policies.
 - POST MOUNTED STREET NAME SIGNS shall be fabricated with 9" extruded aluminum street name sign blanks using a standard cut-out. Minimum sign length is 18" long and increasing in 6" increments to 54" maximum as dictated by the number of letters in the name. The color scheme shall be white letters on a green background without a border. Generally, in the downtown and historic areas or as designated in the City of Wilmington signage plan the background shall be blue and contain a topper.
 - Decorative sign posts shall consist of the NEX sign support system, 2" octagonal tube, 14 gauge, powder coated glossy black and include cap, post, base and wedge.
 - All other sign posts shall be u-channel posts made of galvanized steel with 8" posts 2lb/ft or 12" posts 3lb/ft. Galvanized NEX post may be substituted with approval from the City Signs and Markings Engineer.
 - OVERHEAD STREET NAME SIGNS shall be fabricated with 0.080 inch aluminum flat sign blanks 18" in height using a standard cut-out. Sign length will be dictated by the number of letters in the name. For multi-line type traffic sign supports and other overhead support systems refer to the design plans for maximum sign length.
 - All sign lettering, colors and fonts shall adhere to the MUTCD in effect at the time of construction. Fluorescent Yellow-Green shall be used on signs. In place of Yellow, when listed as an optional color in the MUTCD. Generally, the font will be FHWA series fonts (Highway Gothic). Other font types require prior City Signs and Markings Engineer approval.
- LOCATION**
- Sign locations depend on the edge of road condition. Generally, signs shall be a minimum 2' from face of a vertical curb, 4' from front of slope face curb, and 6' from edge of pavement without curb. Signs shall not be located more than 12' from any of these locations.
 - Sign posts installed in dirt shall be buried a minimum of 36". Octagonal posts shall utilize an anti-slip device, 6" in length minimum. Sign posts installed in concrete or brick shall utilize a base cast in concrete 24" x 12" diameter.
 - Street name signs shall be installed 8'-6" from the ground to the bottom of the sign. Street name signs located with STOP signs shall be installed above the STOP sign. A 5' space shall be maintained between the STOP sign and a Street name sign that is parallel to the STOP sign face. All other signs should be mounted per MUTCD guidelines for Urban Areas.



LEGEND:

REV. #	DESCRIPTION	REV. BY	DATE
2	TRC COMMENTS		4/28/15
1	TRC COMMENTS		3/25/15

REV. #	DESCRIPTION	REV. BY	DATE
REVISIONS			



Owner
Peter and Christa Sweyer
7203 Brisbane Court
Wilmington, NC 28405

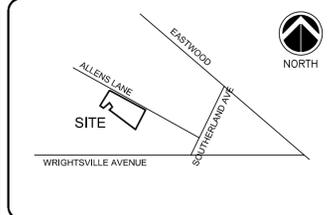
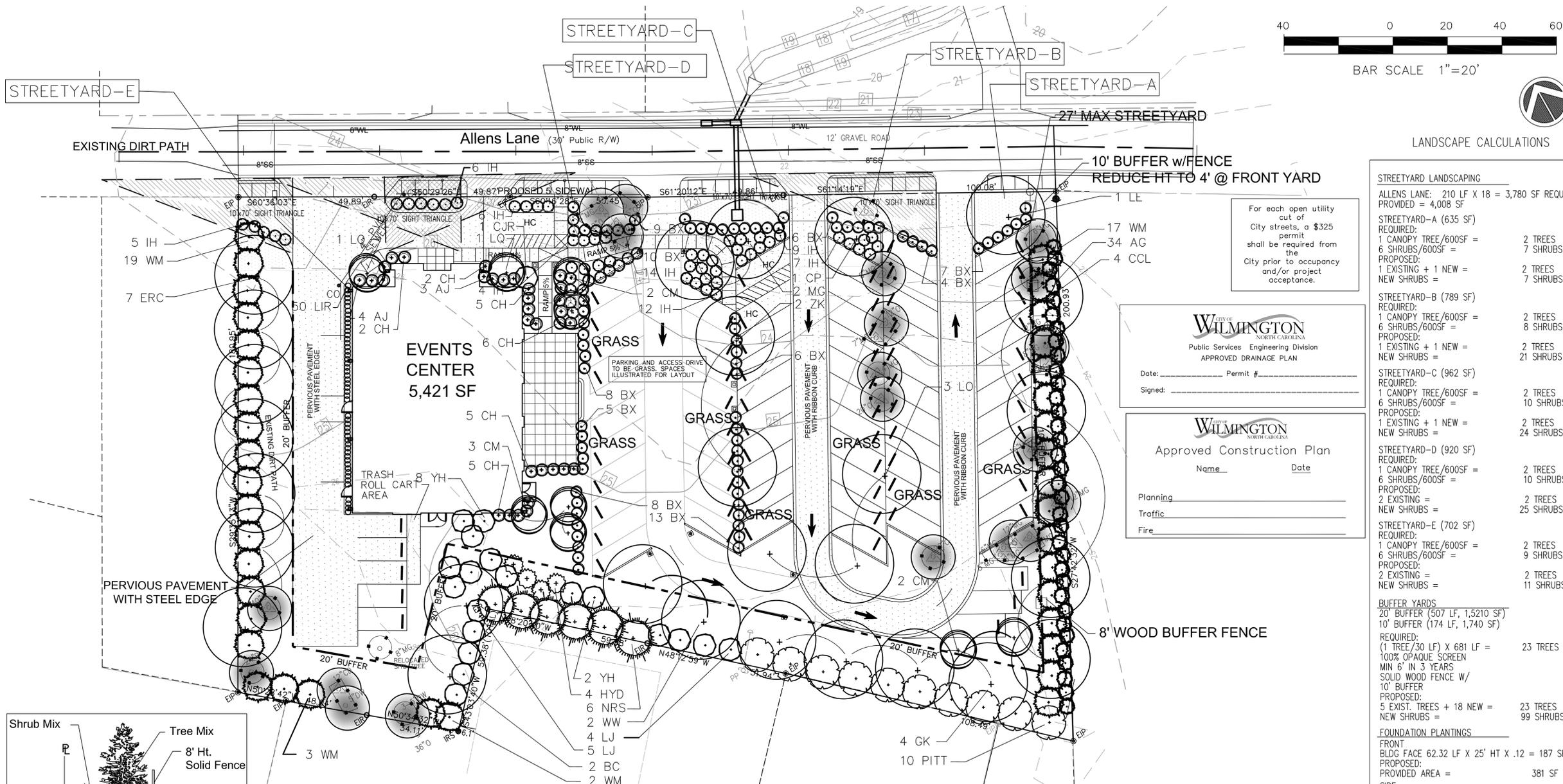
Coastal Land Design, PLLC
Civil Engineering / Landscape Architecture
Land Planning / Construction Management
P.O. Box 1172
Wilmington, NC 28402
Phone: 910-254-8333
Fax: 910-254-6502

DRAWN : F.BRAXTON	PROJECT : 435-02
DESIGN : F.BRAXTON	NUMBER : 1
CHECK : J. Petroff	SCALE : 1" = 20'
APPROVED : F.BRAXTON	DATE : 04/10/2014

Wrightsville Manor Events Center
1952 ALLENS LANE

PLAN/PROFILE AND DETAILS

JOB NUMBER 435-03	SHEET NUMBER SD-6
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LANDSCAPE CALCULATIONS

STREETYARD LANDSCAPING

ALLENS LANE: 210 LF X 18 = 3,780 SF REQUIRED
PROVIDED = 4,008 SF

STREETYARD-A (635 SF)
REQUIRED:
1 CANOPY TREE/600SF = 2 TREES
6 SHRUBS/600SF = 7 SHRUBS
PROPOSED:
1 EXISTING + 1 NEW = 2 TREES
NEW SHRUBS = 7 SHRUBS

STREETYARD-B (789 SF)
REQUIRED:
1 CANOPY TREE/600SF = 2 TREES
6 SHRUBS/600SF = 8 SHRUBS
PROPOSED:
1 EXISTING + 1 NEW = 2 TREES
NEW SHRUBS = 21 SHRUBS

STREETYARD-C (962 SF)
REQUIRED:
1 CANOPY TREE/600SF = 2 TREES
6 SHRUBS/600SF = 10 SHRUBS
PROPOSED:
1 EXISTING + 1 NEW = 2 TREES
NEW SHRUBS = 24 SHRUBS

STREETYARD-D (920 SF)
REQUIRED:
1 CANOPY TREE/600SF = 2 TREES
6 SHRUBS/600SF = 10 SHRUBS
PROPOSED:
2 EXISTING = 2 TREES
NEW SHRUBS = 25 SHRUBS

STREETYARD-E (702 SF)
REQUIRED:
1 CANOPY TREE/600SF = 2 TREES
6 SHRUBS/600SF = 9 SHRUBS
PROPOSED:
2 EXISTING = 2 TREES
NEW SHRUBS = 11 SHRUBS

BUFFER YARDS
20' BUFFER (507 LF, 1,5210 SF)
10' BUFFER (174 LF, 1,740 SF)

REQUIRED:
(1 TREE/30 LF) X 681 LF = 23 TREES
100% OPAQUE SCREEN
MIN 6" IN 3 YEARS
SOLID WOOD FENCE W/
10' BUFFER
PROPOSED:
5 EXIST. TREES + 18 NEW = 23 TREES
NEW SHRUBS = 99 SHRUBS

FOUNDATION PLANTINGS
FRONT
BLDG FACE 62.32 LF X 25' HT X .12 = 187 SF
PROPOSED:
PROVIDED AREA = 381 SF
SIDE
BLDG FACE 82.63 LF X 25' HT X .12 = 248 SF
PROPOSED:
PROVIDED AREA = 248 SF

PARKING LOT LANDSCAPING
REQUEST WAIVER PER SEC. 18-484.(a)
FOR INTERMITTENT GRASS PARKING

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
NORTH CAROLINA
Public Services Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
Signed: _____

WILMINGTON
NORTH CAROLINA
Approved Construction Plan

Name _____ Date _____

Planning _____
Traffic _____
Fire _____

LEGEND



2	TRC COMMENTS	4/28/15
1	TRC COMMENTS	3/25/15
REV. #	DESCRIPTION	REV. BY DATE
REVISIONS		



Owner

Peter and Christa Sweyer
7203 Brisbane Court
Wilmington, NC 28405

Coastal Land Design, PLLC
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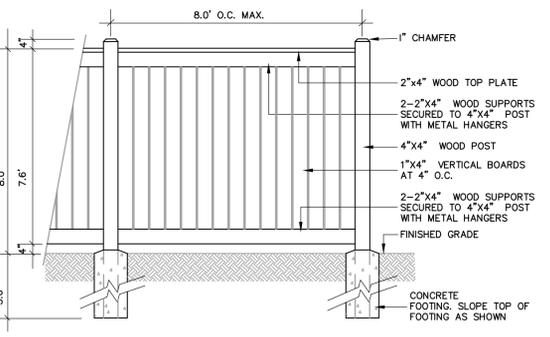
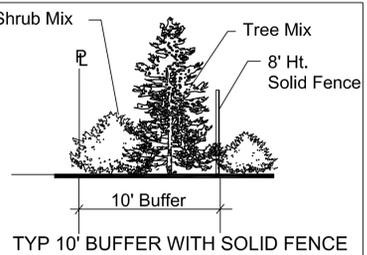
DRAWN : F.BRAXTON	PROJECT : 435-02
DESIGN : F.BRAXTON	NUMBER :
CHECK : J. Petroff	SCALE : 1" = 20'
APPROVED : F.BRAXTON	DATE : 04/10/2014
FILE NAME :	

Wrightsville Manor
Events Center
1952 ALLENS LANE

LANDSCAPE PLAN

JOB NUMBER 435-03	SHEET NUMBER SD-4
-----------------------------	-----------------------------

QTY	COMMON NAME	BOTANICAL NAME	CALIPER	SIZE	COMMENT	CODE
LARGE TREES						
2	ZELKOVA	ZELKOVA SERRATA "GREEN VASE"	2.5"		B-B	ZK
1	CHINESE PISTACHE	PISTACIA CHINENSIS	2.5"		B-B	CP
3	LIVE OAK	QUERCUS VIRGINIANA	2.5"		B-B	LO
2	BALD CYPRESS	TAXODIUM DISTICHUM	2.5"		B-B	BC
4	GINKGO	GINKGO BILOBA	2.5"		B-B	GK
1	LACEBARK ELM	ULMUS PARVIFOLIA	2.5"		B-B	LE
2	MAGNOLIA	MAGNOLIA GRANDIFLORA	2.5"		B-B	MG
4	CAROLINA CHERRY LAUREL	PRUNUS CAROLINIANA	2.5"		B-B	CCL
2	WEeping WILLOW	SAUX BABYLONICA	2.5"		B-B	WW
SMALL TREES						
2	LOQUAT	ERIOBOTRYA JAPONICA		25 GAL		LQ
7	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	2.5"		B-B	ERC
7	CRAPE MYRTLE NATCHEZ	LAGERSTROEMIA X "NATCHEZ"		8-10'	CM	
SHRUBS						
34	ABELIA	ABELIA GRANDIFLORA "ROSE CREEK"		3 GAL	4"OC	AG
61	INDIAN HAWTHORNE	RHAPHIOLEPIS INDICA "ELEANOR TABOR"		3 GAL	4"OC	IH
10	YEDDO HAWTHORNE	RHAPHIOLEPIS UMBELLATA		3 GAL	6"OC	YH
25	CARRISA HOLLY	ILEX CORNUJA CARISSA		3 GAL	3"OC	CH
4	HYDRANGEA	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'		7 GAL	6"OC	HYD
9	JAPANESE PRIVET	LIGUSTRUM JAPONICUM		6-8' HT	6"OC	LJ
43	WAXMYRTLE	MYRICA CERIFERA		6-8' HT	10"OC	WM
58	WINTERGEM BOXWOOD	BUXUS MICROPHYLLA 'WINTERGEM'		7 GAL	6"OC	BX
1	JAPANESE CAMELLIA	CAMELLIA JAPONICA (RED)		7 GAL	6"OC	CJR
6	NRS HOLLY	ILEX X NELLIE R. STEVENS		6-8' HT	10"OC	NRS
10	PITTIOSPORUM	PITTIOSPORUM TOBIRA		7 GAL	8"OC	PITT
7	JAPANESE ACUBA	ACUBA JAPONICA		3 GAL	5"OC	AJ
GROUND COVER						
50	LIRIOPE	LIRIOPE MUCARI ROYAL PURPLE		1 GAL	18"OC	LIR
TURF GRASS						
SOD						
MULCH						
SHREDDED HARDWOOD						
Parking Screening Plants to be 36" Ht at planting.						



WOOD PRIVACY FENCE
REDUCE HT TO 4' @ FRONT YARD

- SPECIFICATIONS:**
- ALL WOOD TO BE TREATED LUMBER AND FREE OF EXCESSIVE CHIPS, CRACKS, WARPS OR KNOTS. UNLESS NOTED OTHERWISE ON DRAWING.
 - ALL FASTENERS TO BE HOT DIPPED GALVANIZED

GENERAL UTILITY NOTE:
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS FROM THE UTILITY COMPANY AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. ANY CONFLICTS SHALL BE BROUGHT TO THE OWNERS AND ENGINEERS ATTENTION IMMEDIATELY.

LANDSCAPE NOTES

- ALL LANDSCAPE MATERIAL MUST BE INSTALLED PRIOR TO FINAL BUILDING INSPECTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR RELOCATION OF EXISTING UTILITIES IN COORDINATION WITH THE APPROPRIATE UTILITY AGENCY OR COMPANY.
- CONTRACTOR SHALL NOT SUBSTITUTE FOR ANY OF THE PLANT MATERIAL THAT IS SPECIFIED WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- MULCH UNDER ALL PROPOSED TREES AND SHRUBS WITH PINE NEEDLES AT A 3"-4" DEPTH OR APPROVED EQUAL.
- PLANT SIZES INDICATED SPECIFY MINIMUM ALLOWABLE SIZES AT PLANTING. WHERE CONTAINER AND HT. SIZES ARE INDICATED FOR A SINGLE SPECIES, BOTH SIZE REQUIREMENTS MUST BE MET.
- THERE SHALL BE AT LEAST A 3 FT. SEPARATION BETWEEN LANDSCAPED AREAS AND PARKING AREAS TO ALLOW VEHICLE OVERHANG.
- ALL PLANTINGS USED TO SCREEN THE DRIVES AND PARKING AREAS FROM ADJOINING ROADWAYS WILL NEED TO BE A MINIMUM OF 24" HIGH AT TIME OF INSTALLATION.
- ALL OTHER AREAS NOT BEING MULCHED TO BE SEEDED PER SEEDING SCHEDULE INCLUDED AS PART OF THE S&E PLANS.
 - FERTILIZATION
TREES/SHRUBS AND GRASSED AREAS
BROADCAST A SLOW RELEASE FERTILIZER OVER THE MULCHED BEDS AT THE RECOMMENDED RATES AS SHOWN ON THE BAGS, ONCE MID-FEBRUARY AND ONCE MID-SEPTEMBER.
THOROUGH WATERING IS REQUIRED UPON COMPLETION.

- PRUNING WITHIN LIMITS
PRUNING WHEN NECESSARY, WILL BE DONE TO MAINTAIN THEIR NORMAL GROWTH PATTERN AND TO REMOVE DEAD OR DISEASED PLANT MATERIAL. THERE SHALL BE NO TOPPING OF TREES.
- PEST CONTROL (OPTIONAL)
WEED CONTROL TO BE PROVIDED EARLY FEBRUARY, APRIL, JUNE, AUGUST AND OCTOBER IN THE SHRUB/TREE BEDS AND IN THE LAWN AREAS. INSECT DAMAGE SHALL BE TREATED WHEN NECESSARY TO PREVENT DAMAGE TO VEGETATION.
- MULCHING
ALL AREAS AROUND THE BUILDING FOUNDATION AND SHRUB/TREE BEDS SHALL BE RE-MULCHED SO THAT THEY CONTAIN A MIN. DEPTH OF TWO INCHES AND A MAXIMUM DEPTH OF THREE INCHES. MULCH USED SHALL EQUAL WHICH WAS SUPPLIED DURING THE INSTALLATION OF THE PLANTS.
- MOWING
MOWING SHALL BE DONE AS NECESSARY TO KEEP GRASS AT THE APPROPRIATE HEIGHT TO INSURE A HEALTHY GROWTH PATTERN.
- PROTECTION OF ROOT ZONES
TREE/SHRUB ROOT ZONES SHOULD BE PROTECTED FROM FUTURE CONSTRUCTION AND EQUIPMENT AS MUCH AS POSSIBLE TO AVOID DAMAGE OR COMPACTION TO THE ROOT AREAS.
- WATERING SCHEDULE FOR IRRIGATION SYSTEM
MAINTENANCE SHALL INCLUDE A THOROUGH INITIAL WATERING WITH WEEKLY WATERINGS THEREAFTER FOR THE FIRST 30 DAYS. WATERINGS THEREAFTER BE ON AN AS NEEDED SCHEDULE PER LOCAL CONDITIONS.
- STAKE AND WIRE REMOVAL
AT THE END OF THE FIRST YEAR ALL PLANT STAKING AND GUYING SYSTEMS SHALL BE REMOVED.
 - PROTECTED TREE REGULATION
PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

CONSULTANTS

PETER AND CHRISTA SWEYER

PETER AND CHRISTA SWEYER

WRIGHTSVILLE MANOR ASSEMBLY HALL
 WILMINGTON NORTH CAROLINA



SCHEMATIC DESIGN : 03.03.15

REVISIONS		
MARK	DATE	DESCRIPTION
△		
△		
△		
△		

DRAWN BY: PROJ. MGR.
SHEET CONTENT

EXTERIOR ELEVATIONS	
JOB NO. 14012	SHEET A201

ELEVATION KEYNOTES

- PRE-FIN. CONCEALED FASTENER ROOF PANEL
- GAS FIREPLACE FLUE
- EXTERIOR LIGHT FIXTURE (SEE ELECTRICAL DWG'S)
- ELECTRICAL METER CENTER (SEE ELEC. DWG'S)
- PRE-FIN. MTL GUTTER AND DOWNSPOUT
- ALUMINUM STOREFRONT DOOR/FRAME, REFER TO SHEET AGO1
- ALUMINUM WINDOW
- 4 1/2" PRE-FIN. ALUMINUM WALL COPING
- APPROX. FINISHED GRADE
- 42" H. ALUMINUM GUARDRAIL
- EXTERIOR INSULATED FLUSH ALUM. DOOR
- 3'-0" X 1 1/4" PRE-FIN. MTL WALL PANEL BY P.E.B. MANUF. (PBR OR EQUAL)
- APPROX. FINISHED GRADE
- GAS LANTERN WALL SCONCE FIXTURE (REFER TO PLUMBING)
- 3/8" BRICK CONTROL JOINT, SEALANT COLOR SHALL MATCH MORTAR.
- FACE BRICK RUNNING BOND
- FACE BRICK SOLDIER BAND, PROJECTED 3/4"
- FACE BRICK WINDOW/DOOR HEAD W/ SOLDIER COURSE (PROJECT 3/4") AND ROWLOCK (PROJECT 1 1/2")
- (3) ROWLOCK FACE BRICK BAND, TOTAL 2" PROJECTION W/ BOT. @ 12'-8" A.F.F. (SEE DETAIL 3/A203)
- (3) ROWLOCK FACE BRICK BAND, TOTAL 2" PROJECTION W/ BOT. @ 21'-1" A.F.F. (SEE DETAIL 3/A203)
- OGEE FACE BRICK PARAPET DETAIL, REFER TO DETAIL 2/A304)
- PROJECTED ROWLOCK/SOLDIER PARAPET, REFER TO DETAIL 1/A304.
- 3/4" WROUGHT IRON EXTERIOR GRILLE DECORATION, BY OWNER
- (2) ROWLOCK OVAL WINDOW SURROUND, PROJECTED 2" TOT.
- DOUBLE OGEE WATERTABLE W/ 4" OFFSET BELOW
- PRECAST CONC. DECORATIVE FINIAL, SEE DETAIL 1/AG01.
- DOUBLE FACEBRICK HEADER. STACK BOND, 1 1/2" PROJECTION (TOT.)
- FLUSH FACE BRICK SOLDIER COURSE
- FLUSH FACE BRICK ROWLOCK COURSE

EXTERIOR MATERIALS LEGEND

BRICK:
 MANUF: PINE HALL BRICK
 TYPE: FACE BRICK
 TEXTURE: TUMBLED
 SIZE: OVERSIZE
 COLOR: RUSTIC VILLAGE
 MORTAR COLOR: WHITE
 MORTAR JOINT: 7/16" (TYP.) EXTRUDED

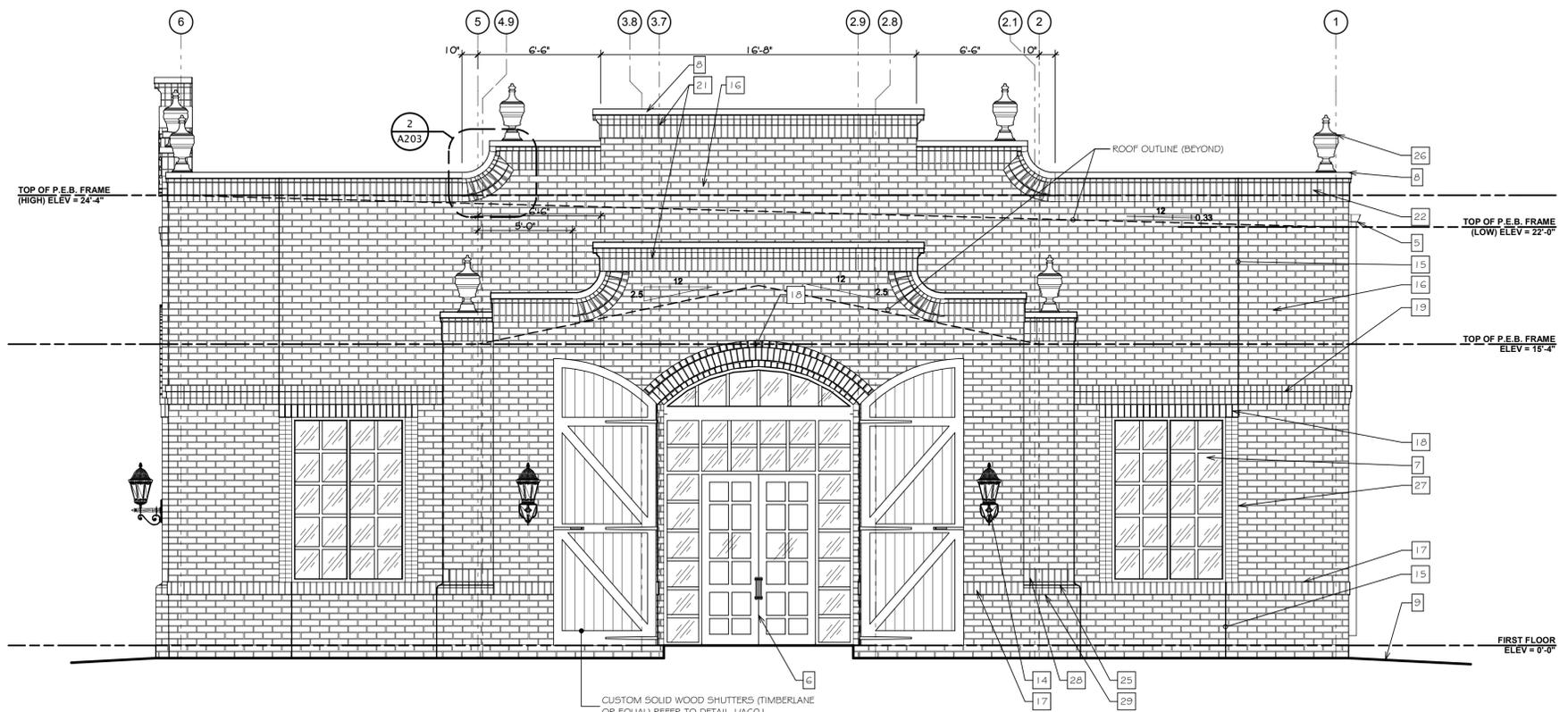
1. PROVIDE SOLID (UNCORED AND UNFROGGED) BRICK MASONRY UNITS AT ALL LOCATIONS! ROWLOCK AND SOLDIER COURSES WHERE SIDE OF BRICK IS EXPOSED TO VIEW
 2. SPECIAL SHAPES: OGEE WATERTABLE (RWT-1), DOUBLE OGEE WATERTABLE (RWT-2), SPLIT BRICK

ROOF ASSEMBLY DESCRIPTION:
 PANEL LENGTH: ONE PIECE SINGLE LENGTH PANEL
 METAL: 032 (COLOR T.B.D.)
 TRIM: 032 (COLOR T.B.D.)
 SEAMS: CONT. INTERLOCKING (CONCEALED FASTENER)
 SEAM SIZE: 3" H
 PANEL WIDTH: 18"
 FLASHINGS: MATCH GAUGE AND FINISH OF ROOF PANELS

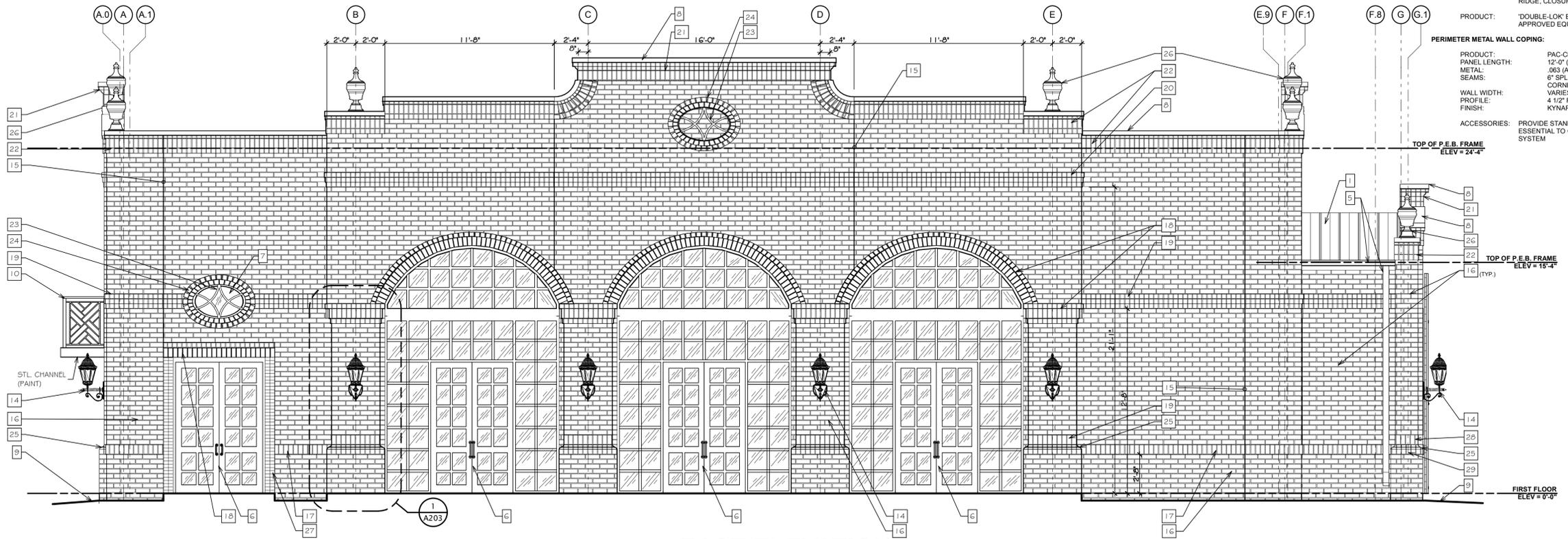
ACCESSORIES: PROVIDE STANDARD ACCESSORIES AND ITEMS ESSENTIAL TO COMPLETION OF A STANDING SEAM ROOF INSTALLATION INCLUDING ANCHOR CLIPS, TRIM, RIDGE, CLOSURES, FLASHING AND FASCIA
PRODUCT: 'DOUBLE-LOK' BY GECO BUILDING SYSTEMS, INC. (OR APPROVED EQUAL)

PERIMETER METAL WALL COPING:
PRODUCT: PAC-CLAD 'ANCHOR-TITE COPING' OR EQUAL
 PANEL LENGTH: 12'-0" (STANDARD)
 METAL: .063 (ALUM.)
 SEAMS: 6" SPLICE PLATE W/ NEOPRENE STRIPS, WELDED CORNERS
 WALL WIDTH: VARIES
 PROFILE: 4 1/2" FASCIA
 FINISH: KYNAR (COLOR T.B.D.)

ACCESSORIES: PROVIDE STANDARD ACCESSORIES AND ITEMS ESSENTIAL TO COMPLETION OF A PERIMETER COPING SYSTEM



A NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



B EAST ELEVATION
 SCALE: 1/4" = 1'-0"