

# WILMINGTON PREPARATORY ACADEMY - CINEMA

## CITY OF WILMINGTON

### NEW HANOVER COUNTY, NORTH CAROLINA

# DESIGN DOCUMENTS

## MARCH 2015

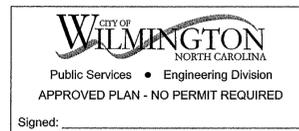
FOR:  
 134 NEWTON, LLC  
 702 OBERLIN ROAD, SUITE 400  
 RALEIGH, NC 27605

**DEVELOPER:**  
 134 NEWTON, LLC  
 702 OBERLIN ROAD, SUITE 400  
 RALEIGH, NC 27605  
 ATTN: JAMES I. ANTHONY, JR. (919) 582-3100

**ENGINEER (CIVIL):**  
 PARAMOUNTE ENGINEERING, INC.  
 5911 OLEANDER DRIVE, SUITE 201  
 WILMINGTON, NORTH CAROLINA 28403  
 ATTN: ROBERT P. BALLAND, P.E. (910) 791-6707

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan	
Name	Date
Planning	
Traffic	
Fire	



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0	GENERAL NOTES
C-2.0	SITE PLAN
C-3.0	GRADING, DRAINAGE, & EROSION CONTROL PLAN
L-1.0	LANDSCAPE PLAN

**NOTICE REQUIRED**

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTACT "CAROLINA ONE CALL" AT  
 1-800-632-4949

**CONTACT THESE UTILITIES**

NEW HANOVER COUNTY PLANNING DEPARTMENT  
 ATTN: LINDA PAINTER  
 PH: 910-798-7068

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)  
 ATTN: FRANK STYERS  
 PH: 910-332-6670

PIEDMONT NATURAL GAS  
 ATTN: CARL PAQUET  
 PH: 910-350-2242

PROGRESS ENERGY  
 ATTN: KEVIN LEATHERWOOD  
 PH: 910-602-4304

EMERGENCY DIAL 911  
 POLICE - FIRE - RESCUE

BELL SOUTH  
 ATTN: STEVE BAYVAULT  
 PH: 910-392-8712

TIME WARNER CABLE  
 PH: 910-763-4638



PREPARED BY:  
**PARAMOUNTE**  
 ENGINEERING, INC.

5911 Oleander Drive, Suite 201  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (C) (910) 791-6760 (F)  
 NC License #: C-2846  
 PROJECT # 14312.PE



COORDINATION NOTES

- 1. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
2. ALL WORK IS TO BE IN ACCORDANCE WITH THE CITY OF WILMINGTON, NEW HAMOVER COUNTY, AND THE STATE OF NORTH CAROLINA.
3. THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT.
4. ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH RE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.

GENERAL NOTES

- 1. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATION, ELECTRONIC DEVICES, HAND DIGGING, AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES.
2. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
3. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC.
4. ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
5. ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
6. CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT (811) 632-4949 AND ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.

WETLAND NOTE

- 1. NO WETLANDS EXIST ON SITE.

EXISTING UTILITY NOTES

- 1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.

SITE NOTES:

- 1. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND R.O.W.'S PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
3. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
4. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
5. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
6. THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
7. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
8. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
9. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE.
10. ALL PERMITS RELATIVE TO PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION.
11. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL CODES.
12. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
13. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.

EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES:

NOTE: THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH "PHASE" OF CONSTRUCTION. THE ORDER AND STEPS TAKEN MUST BE IMPLEMENTED AS EACH PART OF THE PROJECT IS DEVELOPED, WHETHER AS A WHOLE OR IN PHASES. ANY EROSION CONTROL DEVICES/MEASURES MUST REMAIN IN PLACE UNTIL THE ENTIRE BASIN DESIGNED TO HANDLE SEDIMENTATION AND EROSION IS STABILIZED AND ALL IMPROVEMENTS WITHIN THE BASIN ARE COMPLETE.

- 1. ESTABLISH THE LIMITS OF DISTURBANCE, INSTALL TEMPORARY SILT FENCE & TEMPORARY INLET PROTECTION.
2. CLEAR AND REMOVE FROM SITE ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN THE DESIGNATED CLEARING LIMITS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION CONTROL MEASURES.
4. PLANT GRASS OVER ALL GRADED AREAS WITHIN 15 WORKING DAYS FOR FLAT AREAS AND 21 CALENDAR DAYS FOR ALL SLOPES AT CEASE OF ANY GRADING ACTIVITY.
5. DURING GRADING AND AFTER GRADING HAS BEEN COMPLETED, THE CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL INSPECTION AND APPROVAL BY NEW HAMOVER COUNTY.
6. UPON RECEIVING FINAL INSPECTION AND APPROVAL BY NEW HAMOVER COUNTY, THE CONTRACTOR CAN REMOVE TEMPORARY EROSION CONTROL MEASURES.
7. THE CONTRACTOR SHALL CONTINUE TO WATER, FERTILIZE, MOW AND MAINTAIN SPRIGGED, SODDED, AND PLANTED AREAS UNTIL ALL CONSTRUCTION IS COMPLETE.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- 1. THE EROSION CONTROL PLAN SHALL INCLUDE PROVISIONS FOR GROUND COVER ON ALL EXPOSED PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND SLOPES STEEPER THAN 3:1 WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
2. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK.
3. THE CONTRACTOR SHALL NOTIFY PLAN APPROVING AUTHORITY ONE WEEK PRIOR TO THE PRECONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO FINAL INSPECTION.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE. THE TEMPORARY CONSTRUCTION ENTRANCE SHOULD BE THE FIRST MEASURE INSTALLED.
5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
6. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREAS, STAGING OR STORAGE AREAS), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NEW HAMOVER COUNTY FOR APPROVAL.
7. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY EITHER THE REVIEWING AGENCY OR THE ENGINEER.
8. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
9. ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SODDED OR SEEDED AS INDICATED AND STABILIZED.
10. DURING DEMATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
11. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING EVENT.
12. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY CONTRACTOR ONCE STABILIZATION OR A SUFFICIENT GROUND COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY THE ENGINEER.
13. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA.
14. WHEN CROSSING CREEK OR DRAINAGE-WAY, THE DIVISION OF WATER QUALITY SHALL BE CONTACTED PRIOR TO DISTURBING A CREEK.
15. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.

MAINTENANCE PLAN

- 1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK.
2. ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH.
3. SEDIMENT FENCE - SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES 0.5 FEET DEEP AT THE FENCE.
4. INLET PROTECTION - INSPECT ROCK PIPE INLET PROTECTION AT LEAST ONCE A WEEK AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT.
5. ALL SEED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.

PERMANENT SEEDING SCHEDULE - MIXTURE 5CP

Table with columns: Seeding Mixture, Species, Rate (lb/acre), Seeding Dates, Soil Amendments, Mulch, Maintenance.

TEMPORARY SEEDING-LATE WINTER/EARLY SPRING

Table with columns: Seeding Mixture, Species, Rate (lb/acre).

WINTER AND EARLY SPRING

Table with columns: Species, Rate (lb/acre).

SUMMER

Table with columns: Species, Rate (lb/acre).

FALL

Table with columns: Species, Rate (lb/acre).

Seeding dates

COASTAL PLAIN - DEC. 1-APR. 15 - LATE WINTER AND EARLY SPRING
APRIL 15 - AUG. 15 - SUMMER
AUG. 15 - DEC. 30 - FALL

Soil amendments

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

Mulch

APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL.

Maintenance

REFER TO IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

NC ACCESSIBILITY NOTES:

- 1. SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
2. IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS.
3. THE CONTRACTOR SHALL NOTIFY PEI IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS.
4. THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY.
5. TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES.
6. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES.
8. WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH, CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROACHING THE TURN, FORTY-EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO (42) INCHES MINIMUM LEAVING THE TURN.
9. AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALL PROVIDE PASSING SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM.
10. DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
11. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES.
12. WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE.
13. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE/ANSI A117.1 AND SHALL BE ON AN ACCESSIBLE ROUTE.

ACCESSIBLE ROUTE NOTES:

- 1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES; PUBLIC STREETS, SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE.
2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
3. WALKING SURFACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
4. ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB RAMPS.
5. TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES.
6. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESS AISLES.
8. WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH, CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROACHING THE TURN, FORTY-EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO (42) INCHES MINIMUM LEAVING THE TURN.
9. AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALL PROVIDE PASSING SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM.
10. DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
11. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES.
12. WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE.
13. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE/ANSI A117.1 AND SHALL BE ON AN ACCESSIBLE ROUTE.

NC ACCESSIBILITY NOTES (CONT.):

RAMP NOTES:

- 1. ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.
2. THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
3. THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES (NC BUILDING CODE 1104.1).
4. THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.
5. LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS.
6. RAMP RUNS WITH A RISE GREATER THAN SIX (6) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES.
7. FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
8. EDGE PROTECTION COMPLYING WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS).
9. WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS).
10. CURB RAMP NOTES:
11. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
12. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%.
13. THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (30) MINIMUM, EXCLUSIVE OF FLARED SIDES.
14. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS.
15. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
16. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.
17. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESS AISLES.
18. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
19. IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLYING WITH 406.12 A117.1, EXTENDING THE FULL WIDTH OF THE RAMP.
20. FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, 1/4 INCH WIDE BY 1/4 INCH DEEP, ONE (1) INCH CENTERS TRANSVERSE TO THE RAMP.
21. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.
22. WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.
23. WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.
24. CURB RAMP TYPE AND LOCATION ARE PER PLAN.

CURB RAMP NOTES:

- 1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
2. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%.
3. THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (30) MINIMUM, EXCLUSIVE OF FLARED SIDES.
4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS.
5. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
6. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.
7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESS AISLES.
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11. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.
12. WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.
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14. CURB RAMP TYPE AND LOCATION ARE PER PLAN.

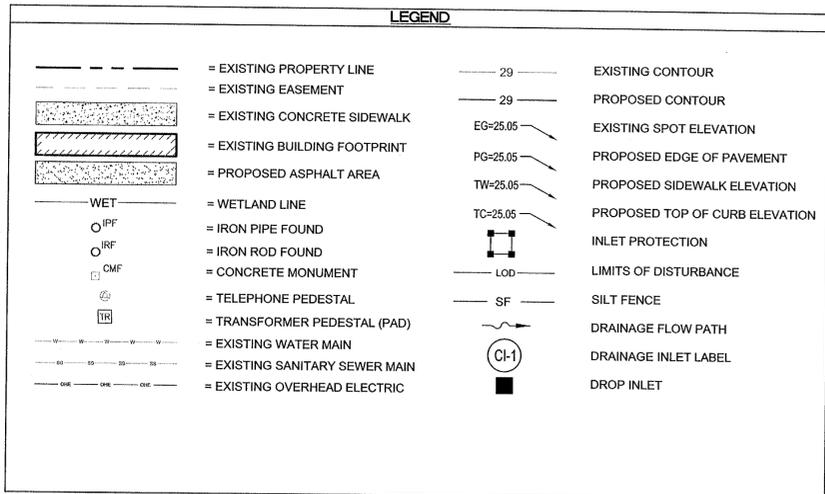


Table with columns: SITE AREA DESCRIPTION, STABILIZATION, TIMEFRAME EXCEPTIONS. Rows include perimeter dikes, high quality water, slopes steeper than 3:1, slopes 3:1 or flatter, and all other areas.

NC ACCESSIBILITY NOTES (CONT.):

PARKING SPACE NOTES:

- 1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
2. ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE.
3. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE.
4. TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.
5. ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.
6. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.
7. ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY.
8. FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.
9. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
10. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
11. PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY-EIGHT (98) INCHES MINIMUM.
12. EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
13. SIGNAGE AT ACCESSIBLE PARKING SPACES REQUIRED BY THE NC BUILDING CODE SECTION 1106.15 SHALL COMPLY WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTE 20-57 AND 136-30 AND THE MCDOT UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES.
14. ACCESSIBLE PARKING SPACE, ACCESS AISLE STRIPING, AND INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED BLUE (OR ANOTHER COLOR THAT CAN BE DISTINGUISHED FROM PAVEMENT).
15. PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM.
16. PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESS AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY SERVE.
17. ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY.
18. VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
19. FLOOR SURFACES OF VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.
20. VEHICLE PULL-UP SPACES, ACCESS AISLES SERVING THEM AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE, AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR EXIT SERVING THEM, SHALL PROVIDE A VERTICAL CLEARANCE OF ONE HUNDRED FOURTEEN (114) INCHES MINIMUM.
21. ACCESSIBLE ENTRANCE NOTES:
22. ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) AND THE NORTH CAROLINA BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.
23. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE/ANSI A117.1 AND SHALL BE ON AN ACCESSIBLE ROUTE.

PASSENGER LOADING ZONE NOTES:

- 1. PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM.
2. PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESS AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY SERVE.
3. ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY.
4. VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
5. FLOOR SURFACES OF VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.
6. VEHICLE PULL-UP SPACES, ACCESS AISLES SERVING THEM AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE, AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR EXIT SERVING THEM, SHALL PROVIDE A VERTICAL CLEARANCE OF ONE HUNDRED FOURTEEN (114) INCHES MINIMUM.
7. ACCESSIBLE ENTRANCE NOTES:
8. ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) AND THE NORTH CAROLINA BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.
9. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE/ANSI A117.1 AND SHALL BE ON AN ACCESSIBLE ROUTE.

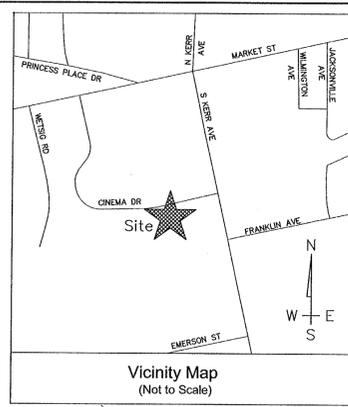
Approved Construction Plan form with fields for Name, Date, Planning, Traffic, Fire.

WILMINGTON NORTH CAROLINA Public Services Engineering Division APPROVED PLAN - NO PERMIT REQUIRED Signed: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Vertical sidebar containing: REVISIONS, CLIENT INFORMATION (134 NEWTON, LLC), GENERAL NOTES, PROJECT STATUS, DRAWING INFORMATION, SEAL, and PROJECT NUMBER C-1.0.

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



Vicinity Map  
(Not to Scale)

**SITE DATA**  
**CURRENT ZONING:** O&I-1 (CD) [CD-2-714]  
 WILMINGTON PREPARATORY ACADEMY - CINEMA  
 134 CINEMA DRIVE  
 TAX PARCEL IDENTIFICATION #: R04914-005-017-000  
 EXISTING USE: K-8 PRIMARY SCHOOL (130 STUDENTS MAXIMUM)  
 TOTAL SITE AREA: 35,576 SF  
 CAMA LAND CLASSIFICATION: URBAN

**BUILDING INFORMATION**  
 GROSS FLOOR AREA:  
 FIRST FLOOR: 6,898 SF  
 SECOND FLOOR: 1,866 SF  
 TOTAL: 8,764 SF  
 LOT COVERAGE: 19.4% (40% MAXIMUM ALLOWED)

**REQUIRED SETBACKS**  
 FRONTYARD SETBACK: 20'  
 SIDEYARD SETBACK: 10'  
 REARYARD SETBACK: 20'

PROPOSED SETBACKS: NO BUILDING EXPANSION IS PROPOSED; SETBACKS WILL REMAIN THE SAME AS CURRENTLY EXIST

**IMPERVIOUS INFORMATION**  
 EXISTING BUILDINGS: 7,412 SF  
 EXISTING PAVEMENT: 8,800 SF  
 EXISTING SIDEWALKS: 1,066 SF  
 EXISTING TOTAL: 17,278 SF (48.6%)

PROPOSED PAVEMENT: 2,072 SF  
 PROPOSED SIDEWALKS: 414 SF  
 PROPOSED TOTAL: 2,486 SF

TOTAL (EXISTING + PROPOSED): 19,764 SF (55.6%)

**PARKING INFORMATION**  
 MINIMUM REQUIRED: 1 SPACE PER TEACHER & STAFF = 18 SPACES  
 MAXIMUM ALLOWED: 150% OF MINIMUM = 27 SPACES  
 PROVIDED PARKING: 22 SPACES

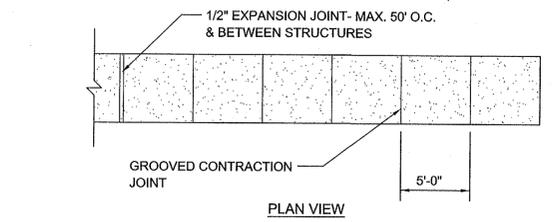
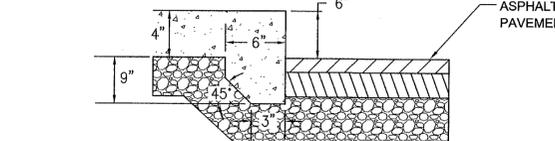
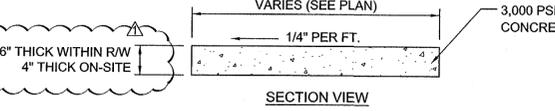
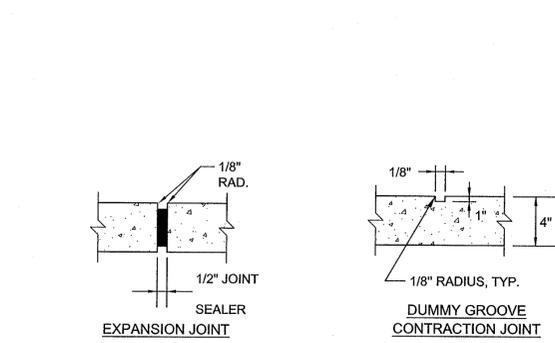
HANDICAPPED PARKING REQUIRED: 1 SPACE  
 HANDICAPPED PARKING PROVIDED: 1 SPACE

**SIGN REQUIREMENTS**  
 ANY FREESTANDING SIGNS ON THE SITE SHALL BE MONUMENT STYLE WITH LANDSCAPING AROUND THE BASE OF THE SIGN

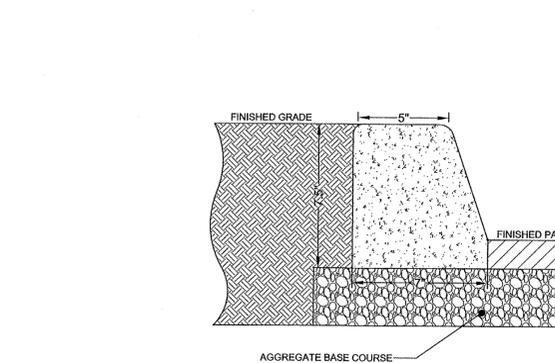
**GENERAL NOTES:**  
 1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.  
 2. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.  
 3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.  
 4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.  
 5. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-6888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.  
 6. INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.  
 7. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.  
 8. A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.  
 9. CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.

**TREE PRESERVATION NOTES:**  
 1. TREE PRESERVATION / REMOVAL PERMIT IS REQUIRED PRIOR TO CLEARING & LAND DISTURBANCE.  
 2. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.  
 3. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS AND METHODS.

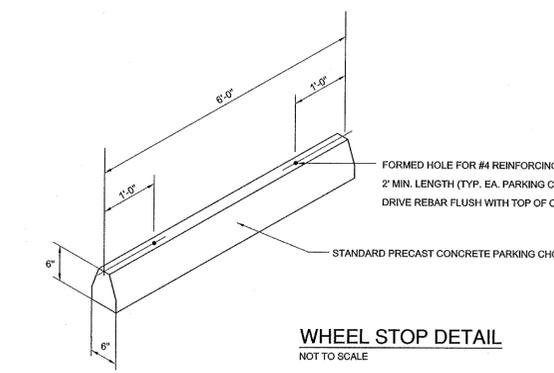
**SITE INVENTORY NOTES:**  
 1. SOILS TYPE: UR (URBAN LAND)  
 2. THIS PROPERTY IS NOT IMPACTED BY ANY AEC.  
 3. THERE ARE NO CONSERVATION OVERLAY BOUNDARIES AFFECTING THIS PROPERTY.  
 4. THIS SITE IS NOT IMPACTED BY ANY RECOGNIZED HISTORIC OR ARCHEOLOGICAL SIGNIFICANCE.  
 5. NO CEMETERIES WERE EVIDENCED ON THE SITE.  
 6. EXISTING VEGETATION WILL NOT BE DISTURBED.  
 7. THERE IS NO EVIDENCE OF JURISDICTIONAL WETLANDS ON THE SITE.  
 8. THERE IS NO EVIDENCE OF ENDANGERED SPECIES OR HABITAT ISSUES ON THE SITE.  
 9. THIS PROPERTY IS NOT WITHIN ANY FLOOD HAZARD AREA AS EVIDENCED ON N.C. FLOOD MAP 3720313700J.  
 10. THE SITE DRAINAGE FLOWS INTO THE BURNT MILL CREEK DRAINAGE BASIN, INTO SC CLASSIFIED WATERS.



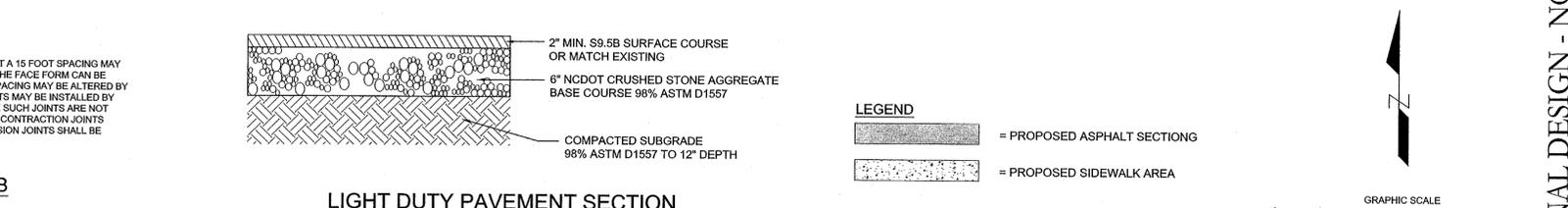
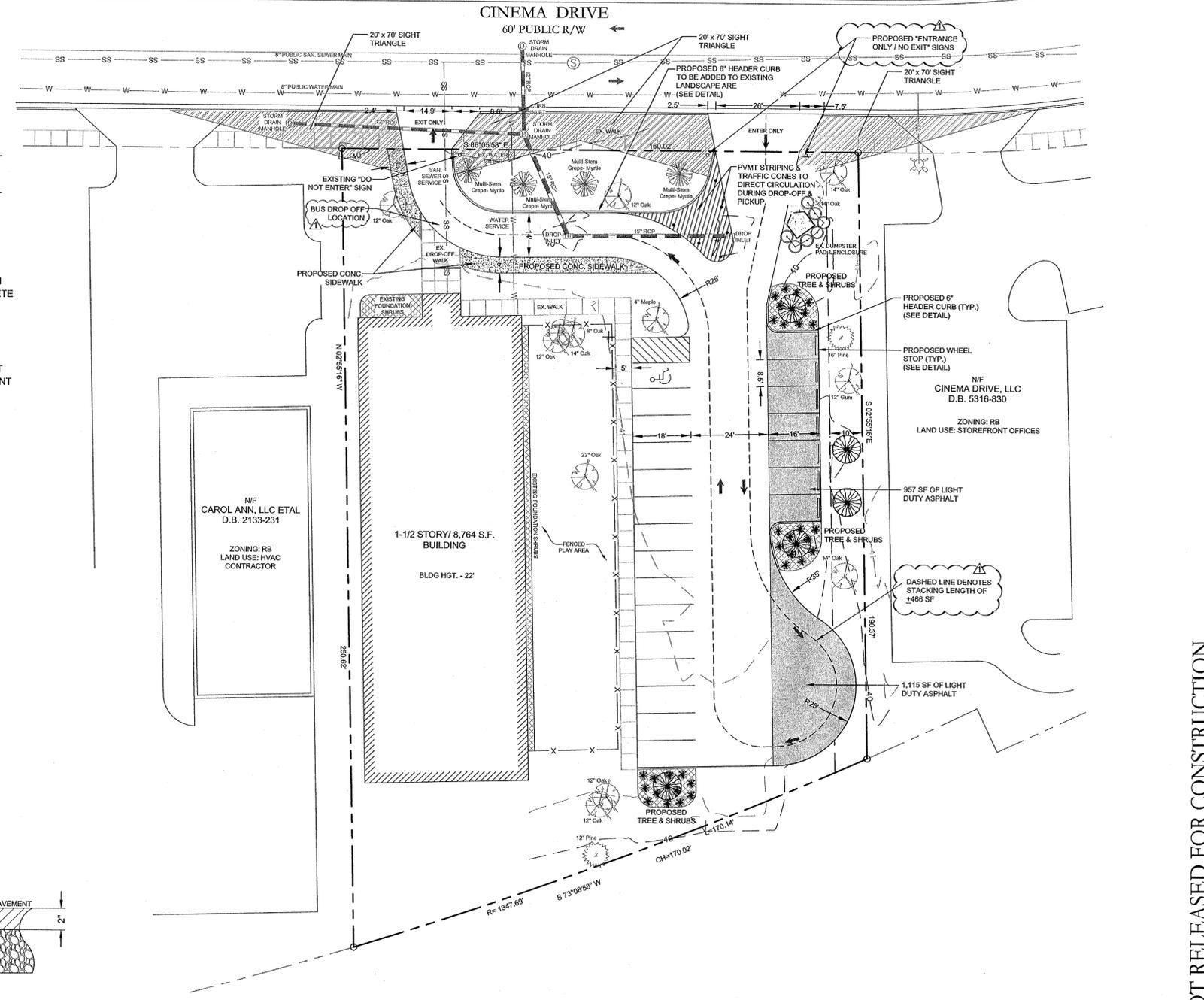
**SIDEWALK DETAIL**  
NOT TO SCALE



**CONCRETE EXTRUDED CURB**  
NOT TO SCALE

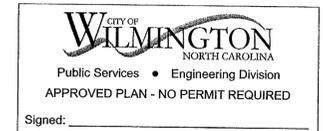


**WHEEL STOP DETAIL**  
NOT TO SCALE



**LIGHT DUTY PAVEMENT SECTION**  
NOT TO SCALE

**Approved Construction Plan**  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_

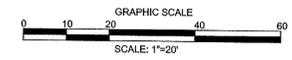


N/F  
 SPIRIT MASTER FUNDING II, LLC  
 D.B. 4938-2603  
 ZONING: RB  
 LAND USE: MOVIE THEATER

N/F  
 CAROL ANN, LLC ETAL  
 D.B. 2133-231  
 ZONING: RB  
 LAND USE: HVAC CONTRACTOR

N/F  
 CINEMA DRIVE, LLC  
 D.B. 5316-830  
 ZONING: RB  
 LAND USE: STOREFRONT OFFICES

**LEGEND**  
 [Pattern] = PROPOSED ASPHALT SECTION  
 [Pattern] = PROPOSED SIDEWALK AREA



REVISIONS:

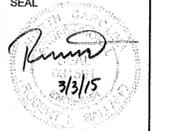
NO.	DATE	DESCRIPTION
1	3/31/15	REVISION PER TRC COMMENTS

CLIENT INFORMATION:  
 134 NEWTON, LLC  
 702 OBERLIN ROAD, SUITE 400  
 RALEIGH, NC 27605  
 (919) 582-3100

**PARAMOUNT ENGINEERING**  
 WILMINGTON, NC FAYETTEVILLE, NC  
 5911 Olander Drive, Suite 201  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (O) (910) 791-6700 (F)  
 NC License #: C-2846

**SITE PLAN**  
 WILMINGTON PREPARATORY ACADEMY - CINEMA  
 CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NC

**PROJECT STATUS**  
 PRELIMINARY LAYOUT:  
 FINAL DESIGN:  
 RELEASED FOR CONSTRUCTION:  
 DATE: 3/31/15  
 SCALE: 1\"/>



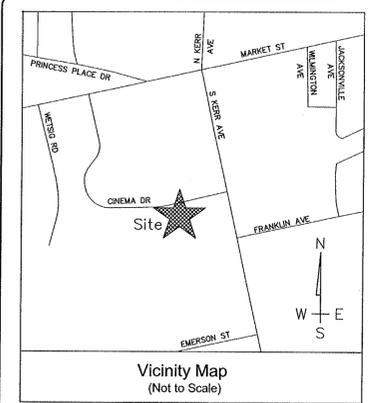
**C-2.0**  
 PEI JOB#: 14312.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

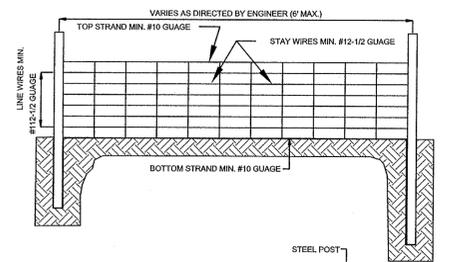
**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED PLAN - NO PERMIT REQUIRED  
 Signed: \_\_\_\_\_

**Approved Construction Plan**  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

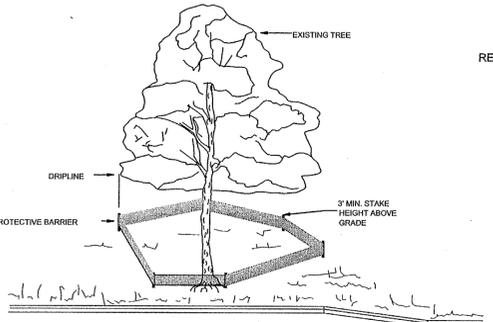


- ASPHALT AREA NOTE:**
- SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS.
- STORMWATER NOTE:**
- THIS PROJECT DRAINS TO AN EXISTING OFF-SITE STORMWATER RETENTION SYSTEM.
- GENERAL NOTES:**
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL STATE OF NC, NEW HANOVER COUNTY AND THE CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.
  - THE CONTRACTOR SHALL PLACE INLET PROTECTION AROUND ALL STORM DRAIN INLETS TO PROTECT THE SYSTEM FROM COLLECTING SEDIMENTATION DURING CONSTRUCTION. INLET PROTECTION SHALL REMAIN IN PLACE UNTIL THE PARKING LOT IS PAVED.
  - CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE WITHIN NEW ASPHALT AREAS TO MATCH PROPOSED GRADES.
  - ALL PROPOSED SPOT ELEVATIONS SHOWN IN THE PARKING LOT ARE PROPOSED EDGE OF PAVEMENT OR FACE OF CURB @ GUTTER FOR CURB SECTIONS, UNLESS NOTED OTHERWISE.
  - THE CONTRACTOR SHALL VERIFY THAT ALL ROOF DRAINS ARE CONVEYED TO THE OFF-SITE COLLECTION SYSTEM.
  - ALL SIDEWALK CROSS SLOPES HAVE BEEN GRADED TO MEET ADA REGULATIONS. CONTRACTOR SHALL CONFIRM GRADES BEFORE PLACING PAVEMENT OR SIDEWALKS AND REPORT ANY DISCREPANCIES TO OWNER AND/OR ENGINEER.

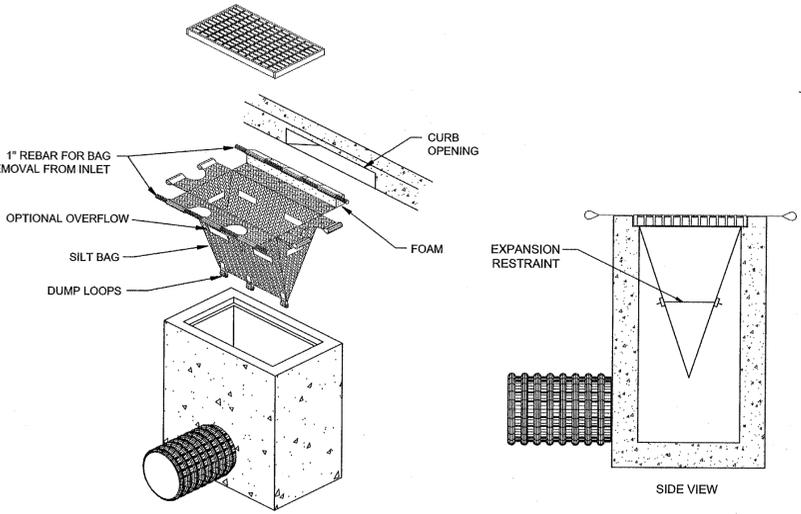


- NOTES:**
- WIRE SHALL BE A MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH STAY SPACING
  - FILTER FABRIC SHALL BE A MINIMUM OF 36" IN WIDTH AND SHALL BE FASTENED ADEQUATELY TO THE WIRE AS DIRECTED BY THE ENGINEER
  - STEEL POST SHALL BE 8" IN HEIGHT AND BE OF SELF-FASTENER ANGLE STEEL TYPE

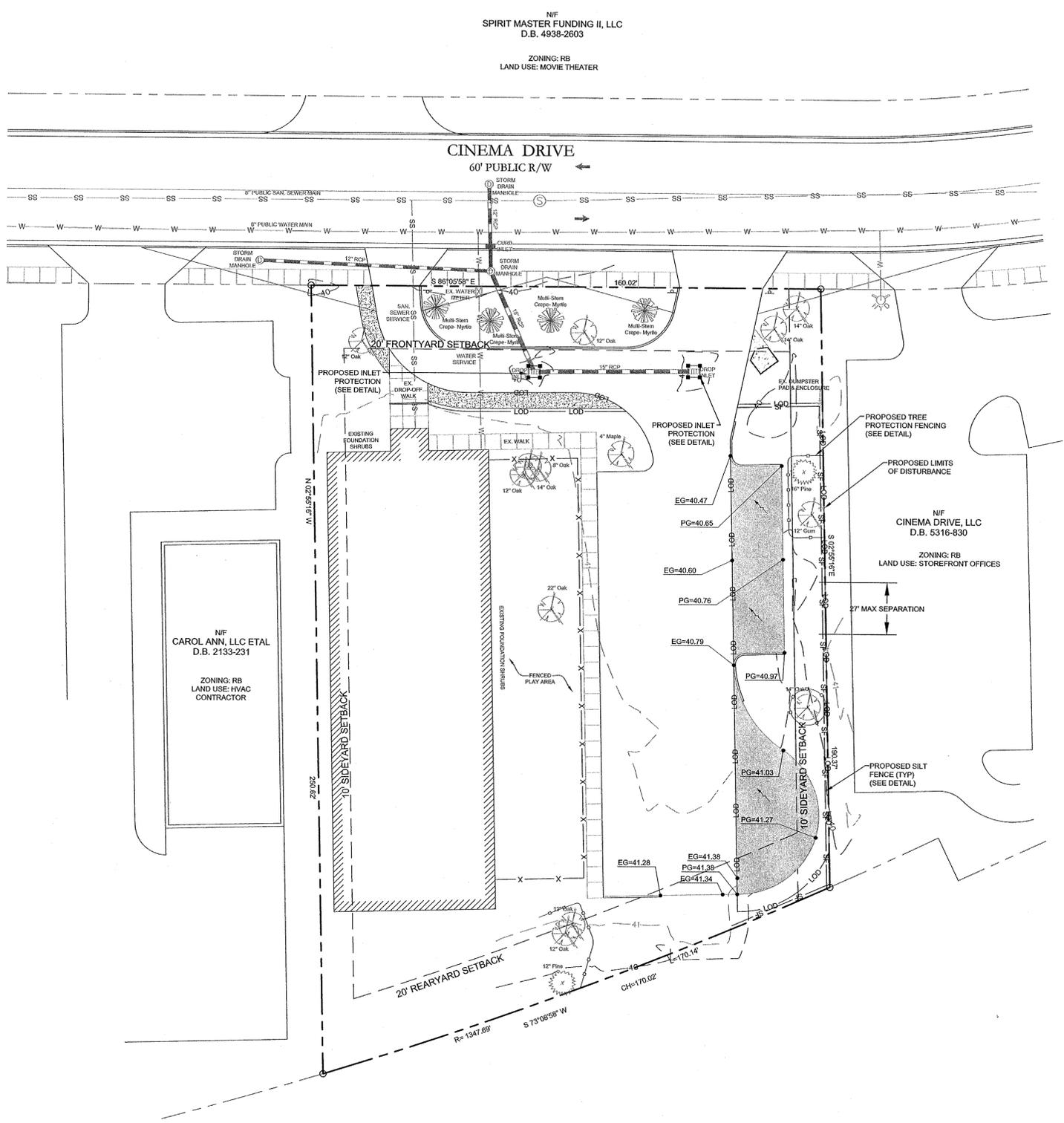
**TEMPORARY SILT FENCE**  
 NOT TO SCALE



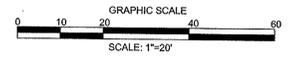
**METHOD OF TREE PROTECTION DURING CONSTRUCTION**  
 NOT TO SCALE



**SILT BAG DETAIL**  
 NOT TO SCALE



- LEGEND:**
- 16 --- EXISTING CONTOUR
  - EG=25.05 EXISTING SPOT ELEVATION
  - PG=25.05 PROPOSED EDGE OF PAVEMENT
  - PROPOSED TREE PROTECTION FENCE
  - LIMITS OF DISTURBANCE
  - SILT FENCE
  - DRAINAGE FLOW PATH



**REVISIONS:**

3/3/15	1. REVISED PER TRC COMMENTS
--------	-----------------------------

**CLIENT INFORMATION:**  
 134 NEWTON, LLC  
 702 OBERLIN ROAD, SUITE 400  
 RALEIGH, NC 27605  
 (919) 582-3100

**PARAMOUNT ENGINEERING**  
 WILMINGTON, NC FAYETTEVILLE, NC  
 5911 Oberlin Drive, Suite 201  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (O) (910) 791-6760 (F)  
 NC License #: C-2846

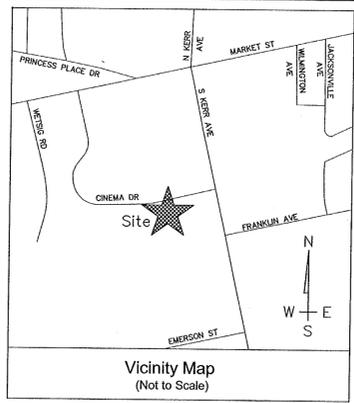
**GRADING, DRAINAGE, & EROSION CONTROL PLAN**  
 WILMINGTON PREPARATORY ACADEMY - CINEMA  
 CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NC

**PROJECT STATUS:**  
 CONCEPTUAL LAYOUT:  
 PRELIMINARY LAYOUT:  
 RELEASED FOR CONST.  
**DRAWING INFORMATION:**  
 DATE: 3/3/15  
 DESIGNED: [Signature]  
 DRAWN: [Signature]  
 CHECKED: [Signature]

**SEAL**  
 [Signature]  
 3/3/15

**C-3.0**  
 PEI JOB#: 14312.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



Vicinity Map  
(Not to Scale)

**SITE DATA**

**CURRENT ZONING:** O&1 (CD) [CD-2-714]  
**WILMINGTON PREPARATORY ACADEMY - CINEMA**  
 134 CINEMA DRIVE  
 TAX PARCEL IDENTIFICATION #: R04914-005-017-000  
 EXISTING USE: K-8 PRIMARY SCHOOL (130 STUDENTS MAXIMUM)  
 TOTAL SITE AREA: 35,576 SF  
 CAMA LAND CLASSIFICATION: URBAN

**BUILDING INFORMATION**  
 GROSS FLOOR AREA: 6,898 SF  
 FIRST FLOOR: 1,866 SF  
 SECOND FLOOR: 8,764 SF  
 TOTAL: 8,764 SF  
 LOT COVERAGE: 19.4% (40% MAXIMUM ALLOWED)

**REQUIRED SETBACKS**  
 FRONTYARD SETBACK: 20'  
 SIDEYARD SETBACK: 10'  
 REARYARD SETBACK: 20'

**PROPOSED SETBACKS:** NO BUILDING EXPANSION IS PROPOSED; SETBACKS WILL REMAIN THE SAME AS CURRENTLY EXIST

**IMPERVIOUS INFORMATION**  
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 EXISTING PAVEMENT: 8,800 SF  
 EXISTING SIDEWALKS: 1,086 SF  
 EXISTING TOTAL: 17,278 SF (48.6%)  
 PROPOSED PAVEMENT: 2,072 SF  
 PROPOSED SIDEWALKS: 414 SF  
 PROPOSED TOTAL: 2,486 SF

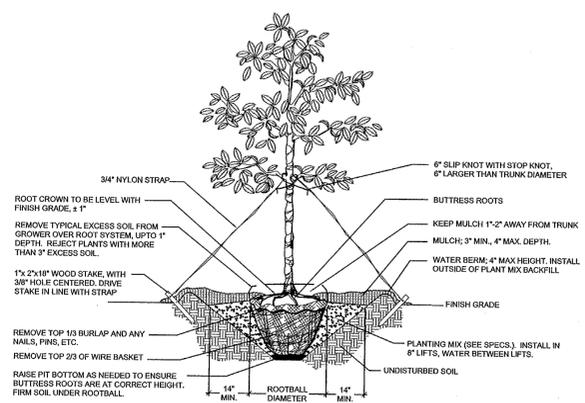
**TOTAL (EXISTING + PROPOSED):** 19,764 SF (56.6%)  
**PREVIOUSLY PERMITTED (SWB 050612):** 32,025 SF

**PARKING INFORMATION**  
 MINIMUM REQUIRED: 1 SPACE PER TEACHER & STAFF = 18 SPACES  
 MAXIMUM ALLOWED: 150% OF MINIMUM = 27 SPACES  
 PROVIDED PARKING: 22 SPACES  
 HANDICAPPED PARKING REQUIRED: 1 SPACE  
 HANDICAPPED PARKING PROVIDED: 1 SPACE

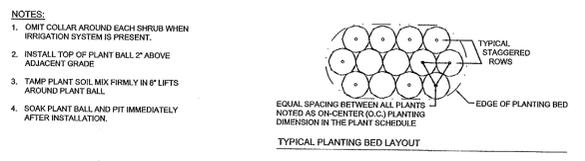
**SIGN REQUIREMENTS**  
 ANY FREESTANDING SIGNS ON THE SITE SHALL BE MONUMENT STYLE WITH LANDSCAPING AROUND THE BASE OF THE SIGN

**TREE PRESERVATION NOTES:**  
 1. TREE PRESERVATION / REMOVAL PERMIT IS REQUIRED PRIOR TO CLEARING & LAND DISTURBANCE.  
 2. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.  
 3. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS AND METHODS.

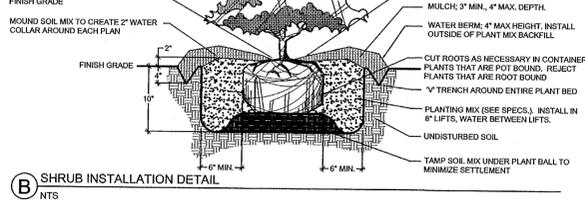
**LANDSCAPE NOTES:**  
 1. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.  
 2. TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.  
 3. ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.  
 4. NO EXISTING TREES SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.  
 5. ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING TURF AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.  
 6. ALL PLANTS, 4 FEET OR LESS APART, WILL BE CONNECTED IN ONE PLANTING BED. ALL GROUPS OF PLANTS SHOULD BE WITHIN ONE PLANTING BED WITH THE EDGE OF MULCH EXTENDING 2 FEET BEYOND THE EDGE OF PLANT MASS. SINGLE TREES SHOULD HAVE A CIRCLE OF MULCH NOT LESS THAN 5 FEET DIAMETER.  
 7. PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.  
 8. ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.  
 9. THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.  
 10. IF IRRIGATION IS NEEDED, IT SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.  
 11. THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 6 MONTHS FROM THE ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE IF IRRIGATION HAS NOT BEEN INSTALLED. ALL MATERIAL INCLUDING SOD AND SEEDED AREAS SHALL BE HAND WATERED ONCE WEEKLY OR AS NEEDED TO ENSURE SURVIVAL OF PLANTS.  
 12. CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.  
 13. ALL DISTURBED AREAS SHALL BE SEEDED.



**A SINGLE STEM TREE INSTALLATION DETAIL**  
NTS



**B SHRUB INSTALLATION DETAIL**  
NTS



**TYPICAL PLANTING BED LAYOUT**

**Wilmington Preparatory Plant Schedule**

Trees Shrubs & Groundcover			
Key	Qty	Common Name	Size & Specs.
<b>Trees</b>			
DO	5	DARLINGTON OAK	specimen, 2.5" cal.
<b>Shrubs</b>			
WM	7	WAX MYRTLE	6' hgt., full to ground
DYH	32	DWARF YAUPON HOLLY	18" hgt.
<b>Seed &amp; Mulch</b>			
		CENTAUPEDE SEED	Seed all disturbed areas.
		PINE STRAW MULCH 3" DEPTH MIN.	All plant beds.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**Approved Construction Plan**

Name: \_\_\_\_\_ Date: \_\_\_\_\_

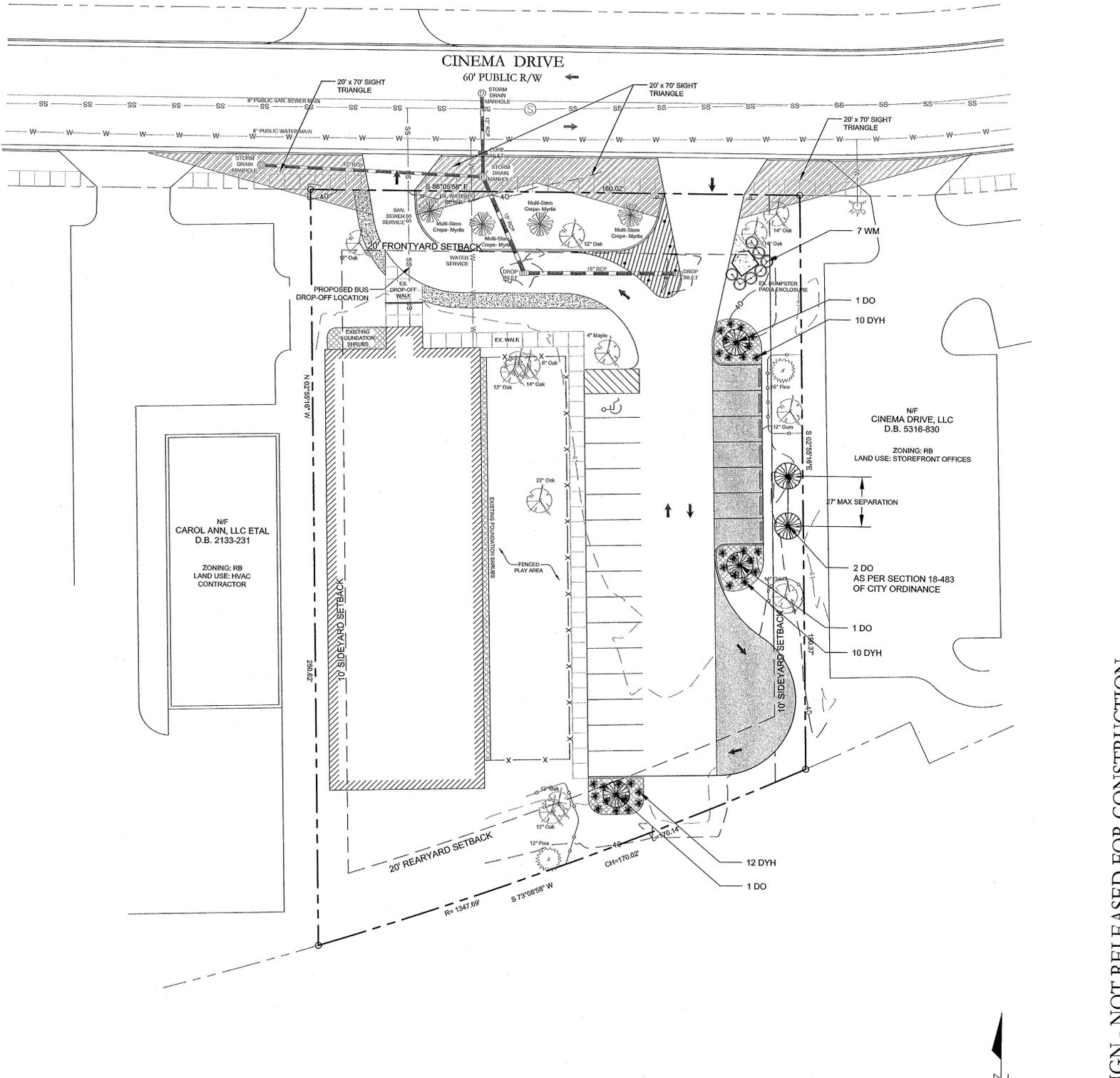
Planning: \_\_\_\_\_

Traffic: \_\_\_\_\_

Fire: \_\_\_\_\_

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED PLAN - NO PERMIT REQUIRED  
 Signed: \_\_\_\_\_

N/F  
 SPIRIT MASTER FUNDING II, LLC  
 D.B. 4938-2603  
 ZONING: RB  
 LAND USE: MOVIE THEATER



**LEGEND**

- [Hatched Pattern] = PROPOSED ASPHALT SECTION
- [Dotted Pattern] = PROPOSED SIDEWALK AREA
- [Dashed Line] = TREE PROTECTION FENCING

**SCALE:** 1"=20'

**GRAPHIC SCALE:** 0 10 20 40 60

**SEAL:** NORTH CAROLINA PROFESSIONAL LANDSCAPE ARCHITECTURE BOARD  
 3/3/15

**REVISIONS:**

NO.	DATE	DESCRIPTION

**CLIENT INFORMATION:**  
 134 NEWTON, LLC  
 702 OBERLIN ROAD, SUITE 400  
 RALEIGH, NC 27605  
 (919) 582-3100

**PARAMOUNT ENGINEERING, INC.**  
 WILMINGTON, NC  
 5911 Oleander Drive, Suite 201  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (O) (910) 791-6700 (F)  
 NC License #: C-2846

**LANDSCAPE PLAN**  
 WILMINGTON PREPARATORY ACADEMY - CINEMA  
 CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NC

**PROJECT STATUS:**  
 CONCEPTUAL LAYOUT: \_\_\_\_\_  
 PRELIMINARY LAYOUT: \_\_\_\_\_  
 RELEASED FOR CONST: \_\_\_\_\_

**DRAWING INFORMATION:**  
 DATE: 3/3/15  
 STATE: NC  
 DESIGNER: [Signature]  
 CHECKER: [Signature]  
 CREDITS: [Signature]

**SEAL:** NORTH CAROLINA PROFESSIONAL LANDSCAPE ARCHITECTURE BOARD  
 3/3/15

**L-1.0**

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION