

# WILLIAMSON MEDICAL OFFICES

## MINOR SITE PLAN SUBMITTAL

CITY OF WILMINGTON  
NEW HANOVER COUNTY, NORTH CAROLINA

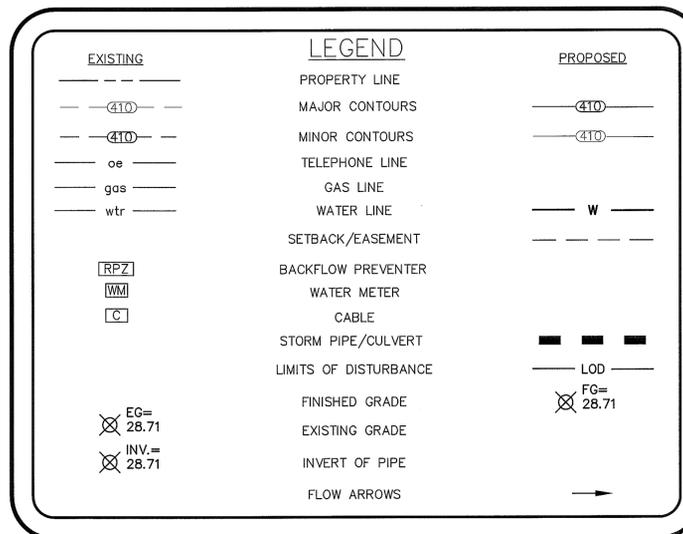
### OWNER

JUDI C. WILLIAMSON  
P.O. BOX 332  
LINCOLNDALE, NEW YORK 10540  
PHONE: (914) 525-5468  
EMAIL: JCWILLIES@OPTONLINE.NET

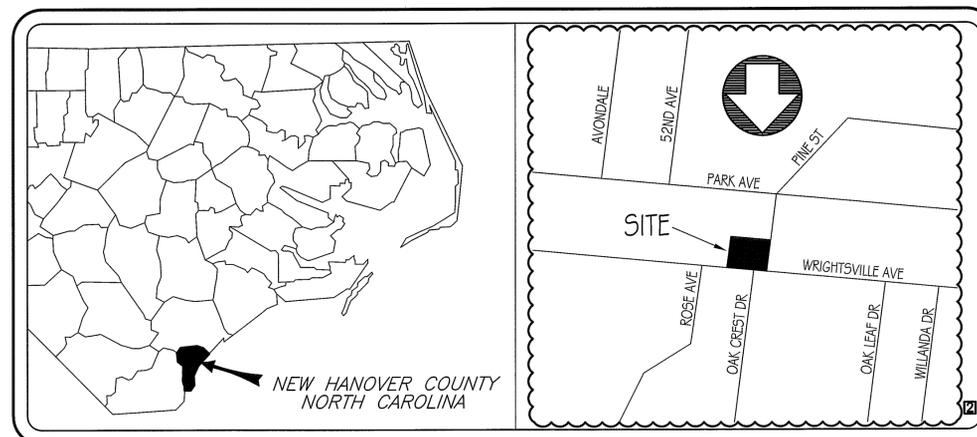
### ARCHITECT

PGH ARCHITECTURE  
4006 PARK AVENUE  
WILMINGTON, NORTH CAROLINA 28403  
PHONE: (910) 297-9570  
EMAIL: PGHARCHITECTURE@GMAIL.COM

### LANDSCAPE ARCHITECT



LEGEND



VICINITY MAP  
NOT TO SCALE

SUMMARY OF PERMITS	
AGENCY	PERMIT NUMBER
NEW HANOVER COUNTY EROSION CONTROL	N/A (EXEMPT)
NC DENR GRAVITY SEWER COLLECTION SYSTEM	N/A (EXISTING SERVICE)
NC DENR PUBLIC WATER SUPPLY	N/A (EXISTING SERVICE)
NC DENR STORMWATER MANAGEMENT	N/A (EXEMPT)
CAPE FEAR PUBLIC UTILITY AUTHORITY FILE #	N/A (EXISTING SERVICE)

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

**Approved Construction Plan**

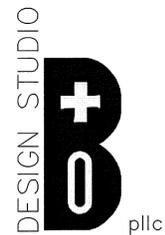
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning \_\_\_\_\_

Public Utilities \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_



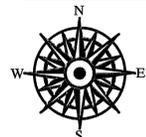
1319-CC Military Cutoff Road  
Wilmington, NC 28405  
tel. 910.821.0084  
www.b-and-o.net

### CIVIL ENGINEER



Engineering, P.C.  
(C-3075)  
3305-109 DURHAM DRIVE  
RALEIGH, NORTH CAROLINA 27603  
PHONE: (919) 779-6851  
FAX: (919) 779-0826

### SURVEYOR



**PATRICK C. BRISTOW**  
LAND SURVEYING, PC  
4113-A OLEANDER DRIVE  
WILMINGTON, N.C. 28403  
PHONE: (910) 791-1500 FAX: (910) 791-1504  
E-MAIL: pat@bristowsurveying.com  
FIRM LICENSURE NO. C-3071

### SHEET INDEX

- |    |                                       |
|----|---------------------------------------|
| C1 | COVER SHEET                           |
| C2 | EXISTING CONDITIONS & DEMOLITION PLAN |
| C3 | PROPOSED SITE IMPROVEMENTS            |
| C4 | PROPOSED GRADING & DRAINAGE PLAN      |
| C5 | DETAILS SHEET                         |
| L1 | TREE PROTECTION PLAN                  |
| L2 | LANDSCAPE PLAN                        |

FINAL DRAWING  
NOT RELEASED  
FOR CONSTRUCTION



REVISION  : JANUARY 28, 2013

REVISION  : DECEMBER 19, 2012

DATE: NOVEMBER 13, 2012



Know what's below.  
Call before you dig.

PROJ. NO.: 12-016

SHEET C1



**SURVEY NOTES:**

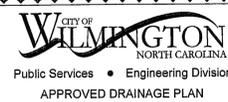
- 1) ALL ELEVATIONS SHOWN ARE ASSUMED WITH SITE BENCHMARK BEING THE FINISHED FLOOR OF THE WESTERN BUILDING (30.00').
- 2) TREES ARE AS IDENTIFIED, SIZE IS DIAMETER IN INCHES MEASURED AT BREAST HEIGHT.
- 3) THIS LOT IS SUBJECT TO ALL UTILITY EASEMENTS, RESTRICTIONS, OR COVENANTS OF RECORD.
- 4) WATER AND SEWER PROVIDED BY CFPWA. WATER METER IS LOCATED AND PLOTTED. SEWER PUMP STATION LOCATED AND PLOTTED IN BACK YARD. STATUS OF CONNECTION TO GRAVITY SEWER IS UNKNOWN.
- 5) CONTOUR INTERVAL IS ONE FOOT.
- 6) ADJOINER INFORMATION IS FROM NEW HANOVER COUNTY ONLINE G.I.S.
- 7) THERE APPEARS TO BE NO VEHICULAR ACCESS TO PARK AVENUE. THE STATUS AND RIGHT OF ACCESS TO THE UNNAMED PUBLIC RIGHT OF WAY ALONG THE WESTERN BOUNDARY IS UNKNOWN.

EXISTING BIKE TRAIL (APPROX.)

PARK AVENUE  
(PUBLIC R/W - WIDTH VARIES)

WETLANDS NOTE: NO JURISDICTIONAL WETLANDS OR SURFACE WATER FEATURES HAVE BEEN FOUND ON THIS SITE.

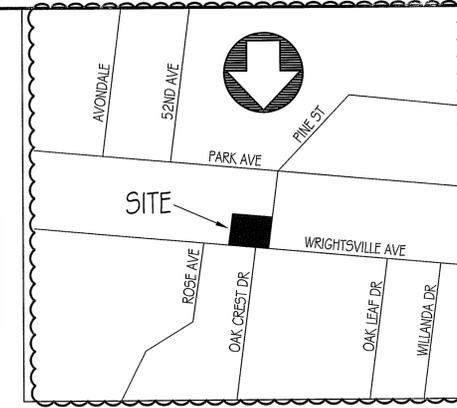
EXISTING BIKE TRAIL (APPROX.)



Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

Approved Construction Plan

Name	Date
Planning	
Public Utilities	
Traffic	
Fire	



VICINITY MAP  
NOT TO SCALE

**SITE PLAN INFORMATION:**

- |                                      |   |
|--------------------------------------|---|
| 1. DEVELOPMENT NAME:                 | WILLIAMSON MEDICAL OFFICES                                      |
| 2. STREET ADDRESS:                   | 5114 WRIGHTSVILLE AVENUE<br>WILMINGTON, NORTH CAROLINA 28403    |
| 3. NHC PARCEL NUMBER:                | R05617-004-001-000  |
| 4. TOTAL NUMBER OF LOTS:             | 1   |
| 5. TOTAL AREA:                       | 35,964 SF / 0.826 ACRES   |
| 6. PROPOSED LAND DISTURBANCE:        | 15,000 SF / 0.34 ACRES  |
| REQUIRED TREES PER LAND DISTURBANCE: | 0.34 AC. X 15 TREES/AC<br>5 REQUIRED TREES PER LAND DISTURBANCE |
| 7. CURRENT LAND USE:                 | MEDICAL OFFICE & RESIDENTIAL                                    |
| 8. PROPOSED LAND USE:                | MEDICAL OFFICES   |
| 9. CURRENT ZONING:                   | O&I-1 (OFFICE & INSTITUTIONAL-1)                                |
| 10. CAMA LAND USE CLASSIFICATION:    | URBAN   |
| 11. BUILDING SQUARE FOOTAGE & USE:   | EXISTING BLDG. 3,524 SF (EXTERIOR)                              |

**12. PARKING SUMMARY:**

- PARKING REQUIREMENTS:  
OFFICES (MEDICAL):
- 1 SPACE PER 250 GSF
  - X 3,240 GSF (USABLE)
  - 13 SPACES (MINIMUM)
- 1 SPACE PER 170 GSF
- X 3,240 GSF (USABLE)
  - 19 SPACES (MAXIMUM)
- 14 SPACES (13 REGULAR + 1 H.C.)

**13. BUILDING SETBACKS:**

- FRONT - 20 FT.  
SIDE - 10 FT.  
CORNER SIDE - 20 FT.  
REAR - 20 FT.

**14. IMPERVIOUS SURFACES SUMMARY:**

- ONSITE IMPERVIOUS:**
- EXISTING IMPERVIOUS AREA: 7,222 SF / 0.17 ACRES (20%)
  - EXISTING IMPERVIOUS TO BE REMOVED: 3,617 SF / 0.08 ACRES
  - EXISTING IMPERVIOUS TO REMAIN: 3,605 SF / 0.08 ACRES
- PROPOSED NEW IMPERVIOUS PARKING:**
- PROPOSED NEW IMPERVIOUS PARKING: 5,592 SF / 0.13 ACRES
  - PROPOSED NEW IMPERVIOUS SIDEWALKS: 919 SF / 0.02 ACRES
  - TOTAL NEWLY CONSTRUCTED ONSITE IMPERVIOUS AREA: 6,511 SF / 0.15 ACRES
- TOTAL ONSITE IMPERVIOUS AREA:** 10,116 SF / 0.23 ACRES (28%)
- OFFSITE IMPERVIOUS:**
- PROPOSED NEW IMPERVIOUS PAVEMENT: 612 SF / 0.01 ACRES
  - PROPOSED NEW IMPERVIOUS SIDEWALKS: 761 SF / 0.02 ACRES
  - TOTAL NEW OFFSITE IMPERVIOUS AREA: 1,373 SF / 0.03 ACRES
- TOTAL NEWLY CONSTRUCTED IMPERVIOUS AREA:** 7,884 SF / 0.18 ACRES

**15. INSIDE CITY LIMITS:**

YES

**16. INSIDE FLOOD HAZARD BOUNDARY:**

NO (PER FEMA PANELS #3720314600J & 3720314700J, EFFECTIVE DATE: APRIL 3, 2006)

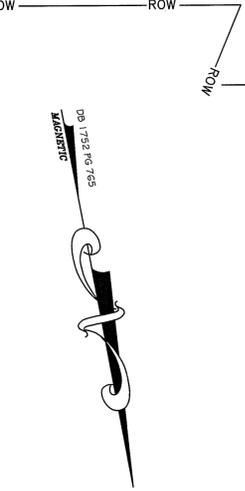
**17. BUILDING LOT COVERAGE:**

9.80%

**18. OWNER/DEVELOPER:**

JUDI C. WILLIAMSON  
P.O. BOX 332  
LINCOLNDALE, NY 10540

60' UNNAMED PUBLIC R/W (NOT IMPROVED)



N/F CHRISTMAS  
PART OF LOT 1 BLOCK F PINEY ACRES SUBDIVISION &  
A PORTION OF THE OLEANDER COMPANY'S HARRIS TRACT  
DB 1646 PG 717

ZONING: O&I-1  
USE: MULTI-FAMILY RESIDENTIAL

INSTALL 4" CONC. CURBING  
ON INTERIOR OF RAMPS  
ANCHOR HAND RAILS IN CURB

INSTALL RAISED PLANTERS  
PER ARCHITECTURAL AND  
LANDSCAPE PLANS

INSTALL 6'X6' SECTION OF CONC.  
SIDEWALK FLUSH WITH H.C. STALL

INSTALL SIGN PER CITY OF WILMINGTON  
STANDARDS, DETAILS & SPECIFICATIONS  
(REQUIRES SIGN PERMIT)

REQUIRED 20'X70'  
SITE DISTANCE TRIANGLES

INSTALL NEW CONCRETE SIDEWALK ALONG FRONT  
OF PROPERTY PER CITY OF WILMINGTON  
STANDARD DETAIL SD 8-15 ON SHEET C5.

INSTALL NEW BRICK HEADWALLS  
FOR 15" RCP DRIVEWAY CULVERT

NOTE: EXISTING 15" RCP  
CULVERT MAY BE REUSED  
IF IN GOOD CONDITION

SIDEWALK SHALL CROSS DRIVEWAY APRON  
FLUSH WITH PROPOSED DRIVEWAY

N/F DAVIS FAMILY HOLDINGS, LLC  
DB 4015 PG 660  
ZONING: R-10  
USE: SINGLE FAMILY RESIDENTIAL

N/F MITCHELL SCOTT MEMORY  
DB 2152 PG 007  
ZONING: R-10  
USE: SINGLE FAMILY RESIDENTIAL

SITE DISTANCE NOTE: NO OBSTRUCTIONS SHALL BE PERMITTED IN  
THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET  
ABOVE THE GROUND LEVEL WITHIN THE TRIANGULAR SITE DISTANCE.

**TRANSPORTATION NOTES:**

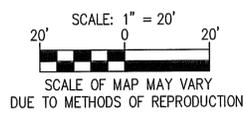
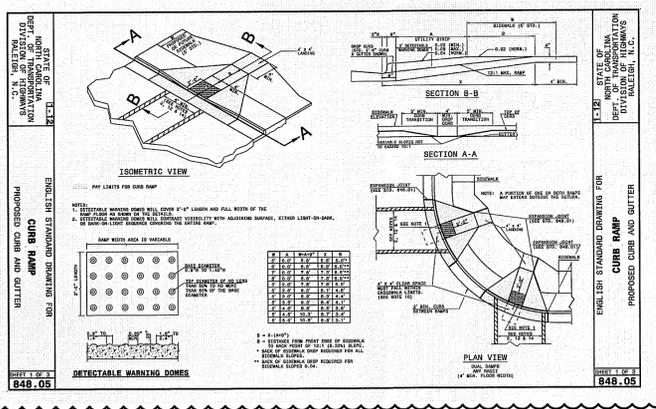
- All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City standards. [Detail SD-13 CoW Tech Stds]
- All signs and pavement markings in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards. [Detail SD 15-13 CoW Tech Stds]
- All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
- All parking stall markings and lane arrows within the parking areas shall be white.
- A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plat. [SD 15-14 CoW Tech Stds]
- Any broken or missing sidewalk panels will be replaced.
- Contact Traffic Engineering at 341-7888 forty-eight hours prior to any excavation in the right of way.

ALL PROPOSED SIDEWALK H/C WHEELCHAIR RAMPS SHALL BE IN  
ACCORDANCE TO NCDOT STANDARD DRAWINGS 848.05 & 848.06

NOTE: ALL EXISTING UTILITIES AND ELEVATIONS OF UTILITIES  
ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD  
VERIFY LOCATION, SIZE AND ELEVATION/DEPTH OF ALL UTILITIES  
PRIOR TO COMMENCING CONSTRUCTION OR DEMOLITION.

NOTE: CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER  
IMMEDIATELY IF ANY CONFLICTS, INCONSISTENCIES OR  
AMBIGUITIES EXIST BETWEEN ARCHITECTURAL, P.M.E.,  
STRUCTURAL & CIVIL DRAWINGS & SPECIFICATIONS. IF HIDDEN  
SITE CONDITIONS ARE DISCOVERED DURING  
CONSTRUCTION/DEMOLITION, CONTRACTOR SHALL OBTAIN WRITTEN  
RESOLUTION PRIOR TO PROCEEDING WITH CONSTRUCTION.  
OTHERWISE, CONTRACTOR PROCEEDS AT HIS/HER OWN RISK.

NOTE: ALL CONSTRUCTION SHALL BE PERFORMED IN  
ACCORDANCE WITH CITY OF WILMINGTON, NEW HANOVER COUNTY,  
CFPUA, & NCDOT STANDARDS, DETAILS AND SPECIFICATIONS



FINAL DRAWING  
NOT RELEASED  
FOR CONSTRUCTION

THIS ORIGINAL SHEET IS 24"X36". OTHER DIMENSIONS  
INDICATE IT HAS BEEN ALTERED.  
ALL INFORMATION REPRESENTED ON THIS SHEET IS  
THE PROPERTY OF RED LINE ENGINEERING, P.C. AND  
MAY NOT BE REPRODUCED, COPIED, OR IN ANY MANNER  
WITHOUT WRITTEN AUTHORIZATION FROM  
RED LINE ENGINEERING, P.C. 2012-P

Red Line  
Engineering, P.C.  
(C-3075)  
3305-109 DURHAM DRIVE  
RALEIGH, NORTH CAROLINA 27603  
PHONE - (919) 779-6851  
FAX - (919) 779-0826



WILLIAMSON MEDICAL OFFICES  
5114 WRIGHTSVILLE AVENUE  
WILMINGTON, NORTH CAROLINA 28403

PROPOSED SITE IMPROVEMENTS

REVISIONS:	DATE:
1 PER C.O.W.	12/19/12
2 PER C.O.W.	1/28/13

ISSUED FOR:	DATE:
REVIEW/PERMITS	11/14/12

PROJECT NO.: 12-016  
DRAWN BY: GJM  
REVIEWED BY: GJM

SHEET NUMBER:  
**C3**  
OF 7 SHEETS

**SURVEY NOTES:**

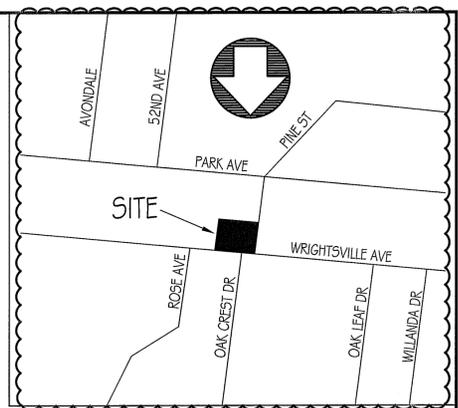
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- 5) CONTOUR INTERVAL IS ONE FOOT.
- 6) ADJOINER INFORMATION IS FROM NEW HANOVER COUNTY ONLINE G.I.S.
- 7) THERE APPEARS TO BE NO VEHICULAR ACCESS TO PARK AVENUE. THE STATUS AND RIGHT OF ACCESS TO THE UNNAMED PUBLIC RIGHT OF WAY ALONG THE WESTERN BOUNDARY IS UNKNOWN.

EXISTING BIKE TRAIL (APPROX.)

**PARK AVENUE**  
(PUBLIC R/W - WIDTH VARIES)

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_



**Professional Engineer Seal**  
SEAL 032614  
12/21/13  
FINAL DRAWING NOT RELEASED FOR CONSTRUCTION

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**Approved Construction Plan**

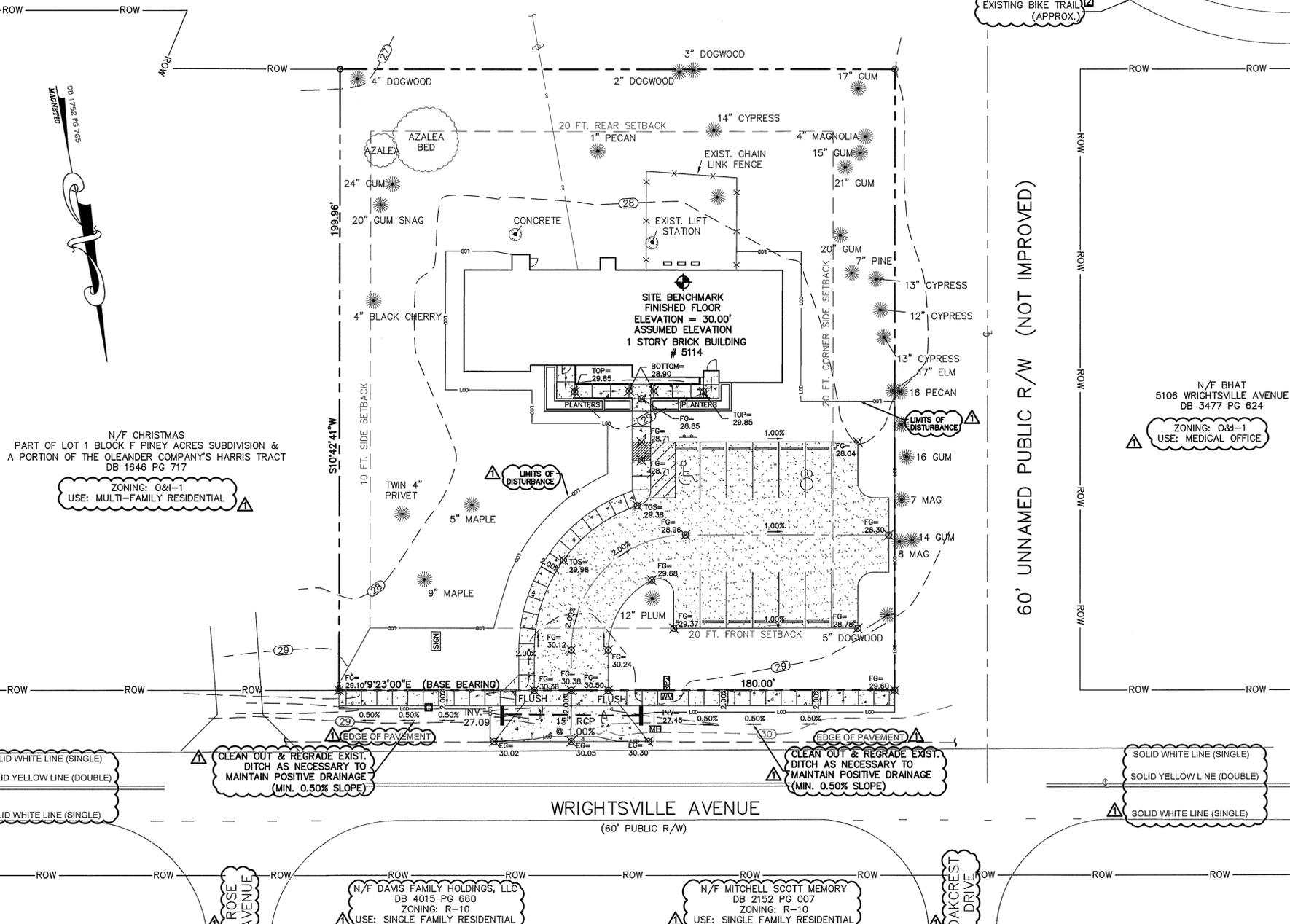
Name	Date
Planning	
Public Utilities	
Traffic	
Fire	

VICINITY MAP  
NOT TO SCALE

**GRADING & EROSION CONTROL NOTES:**

- (1) PROPOSED DENUDED AREA: 0.34 ACRES
- (2) IMPERVIOUS SURFACES SUMMARY:
 

ONSITE IMPERVIOUS:	7,222 SF / 0.17 ACRES (20%)
EXISTING IMPERVIOUS TO BE REMOVED:	3,617 SF / 0.08 ACRES
EXISTING IMPERVIOUS TO REMAIN:	3,605 SF / 0.08 ACRES
PROPOSED NEW IMPERVIOUS PARKING:	5,592 SF / 0.13 ACRES
PROPOSED NEW IMPERVIOUS SIDEWALKS:	919 SF / 0.02 ACRES
TOTAL NEWLY CONSTRUCTED ONSITE IMPERVIOUS AREA:	6,511 SF / 0.15 ACRES
TOTAL ONSITE IMPERVIOUS AREA:	10,116 SF / 0.24 ACRES (28%)
OFFSITE IMPERVIOUS:	
PROPOSED NEW IMPERVIOUS PAVEMENT:	612 SF / 0.01 ACRES
PROPOSED NEW IMPERVIOUS SIDEWALKS:	761 SF / 0.02 ACRES
TOTAL NEW OFFSITE IMPERVIOUS AREA:	1,373 SF / 0.03 ACRES
TOTAL NEWLY CONSTRUCTED IMPERVIOUS AREA:	7,884 SF / 0.18 ACRES
- (3) TOTAL PERCENT IMPERVIOUS: 28%
- (4) THE PROPOSED SITE IMPROVEMENTS DISTURB LESS THAN ONE (1) ACRE AND CREATES MORE THAN 2,500 SF BUT LESS THAN 10,000 SF OF NEW IMPERVIOUS SURFACE. THEREFORE SITE MUST OBTAIN AN APPROVED DRAINAGE PLAN FROM THE CITY OF WILMINGTON.
- (5) EVEN THOUGH THIS PROJECT IS NOT REQUIRED TO OBTAIN AN APPROVED EROSION CONTROL PLAN/PERMIT, THE CONTRACTOR SHALL MAINTAIN THE SITE WITH THE NECESSARY EROSION CONTROL MEASURES. THE CONTRACTOR SHALL SEED & STABILIZE THE SITE WITHIN 15 CALENDAR DAYS OF ANY LAND DISTURBING ACTIVITY. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT NO SEDIMENT LEAVES THE PROJECT SITE OR ENTERS THE PUBLIC RIGHT OF WAY.



N/F CHRISTMAS  
PART OF LOT 1 BLOCK F PINEY ACRES SUBDIVISION &  
A PORTION OF THE OLEANDER COMPANY'S HARRIS TRACT  
DB 1646 PG 717

ZONING: O&I-1  
USE: MULTI-FAMILY RESIDENTIAL

N/F BHAT  
5106 WRIGHTSVILLE AVENUE  
DB 3477 PG 624

ZONING: O&I-1  
USE: MEDICAL OFFICE

N/F DAVIS FAMILY HOLDINGS, LLC  
DB 4015 PG 860  
ZONING: R-10  
USE: SINGLE FAMILY RESIDENTIAL

N/F MITCHELL SCOTT MEMORY  
DB 2152 PG 007  
ZONING: R-10  
USE: SINGLE FAMILY RESIDENTIAL

**DRIVEWAY CULVERTS**

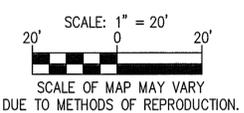
CULVERT #	PIPE SIZE (INCHES)	INVERT IN	INVERT OUT	SLOPE (%)	COVER (FT.)
1	15" RCP	27.45	27.09	1.00%	1.45

ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED & MULCHED IN ACCORDANCE WITH DETAIL 10/C5. (SOD MAY BE SUBSTITUTED FOR SEED) ALL DISTURBED AREAS OF THE ROADSIDE DITCHES SHALL BE EQUIPPED WITH EXCELSIOR MATTING (NORTH AMERICAN GREEN S150BN OR APPROVED EQUAL) FOR EROSION CONTROL. AN EMERGENT, STABLE STAND OF GRASS MUST BE PRESENT IN THE ROADSIDE DITCHES AT THE TIME OF FINAL INSPECTION AND PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

NOTE: ALL EXISTING UTILITIES AND ELEVATIONS OF UTILITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE AND ELEVATION/DEPTH OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION OR DEMOLITION.

NOTE: CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER IMMEDIATELY IF ANY CONFLICTS, INCONSISTENCIES OR AMBIGUITIES EXIST BETWEEN ARCHITECTURAL, P.E., STRUCTURAL & CIVIL DRAWINGS & SPECIFICATIONS. IF HIDDEN SITE CONDITIONS ARE DISCOVERED DURING CONSTRUCTION/DEMOLITION, CONTRACTOR SHALL OBTAIN WRITTEN RESOLUTION PRIOR TO PROCEEDING WITH CONSTRUCTION. OTHERWISE, CONTRACTOR PROCEEDS AT HIS/HER OWN RISK.

NOTE: ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF WILMINGTON, NEW HANOVER COUNTY, CFPUA, & NCDOT STANDARDS, DETAILS AND SPECIFICATIONS



**GENERAL NOTES**

- (1) BOUNDARY & TOPOGRAPHIC SURVEY WAS CONDUCTED BY PATRICK C. BRISTOW, P.L.S. (L-4148) OF PATRICK C. BRISTOW LAND SURVEYING, P.C. (C-3071), DATED OCTOBER 10, 2012. INFORMATION PROVIDED FOR ENGINEERING DESIGN PURPOSES ONLY. NOT FOR SALE OR RECORDATION.
- (2) CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE, MATERIAL AND DEPTH OF ALL EXISTING UTILITIES (ESPECIALLY WATER, SEWER, ELECTRICAL, CABLE, TELE, ETC.) AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. ELEVATIONS INDICATED ON PLANS SHOWN AS APPROXIMATE, CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS PRIOR TO COMMENCING CONSTRUCTION.
- (3) ACCORDING TO FEMA FLOOD PANELS #3720314600J & 3720314700J, EFFECTIVE DATE APRIL 3, 2006, THE PROPOSED SITE IS NOT LOCATED WITHIN A FLOOD PLAIN.
- (4) CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIALS GENERATED THROUGH ALL CONSTRUCTION RELATED ACTIVITIES.
- (5) ALL DISTURBED AREAS TO BE SEEDED, FERTILIZED, AND MULCHED IN ACCORDANCE W/NPDES STABILIZATION TABLE. SEE DETAIL 10/C5.
- (6) WATER, SEWER, AND STORMWATER PIPES TO BE INSTALLED IN TRENCHES ACCORDING TO THE CAPE FEAR PUBLIC UTILITY AUTHORITY AND CITY OF WILMINGTON STANDARD SPECIFICATIONS AND DETAILS.
- (7) ACCORDING TO THE SEDIMENTATION POLLUTION CONTROL ACT OF 1973 (NORTH CAROLINA GENERAL STATUTE 113A 51-66) THIS PROJECT IS NOT SUBJECT TO AN APPROVED SEDIMENTATION AND EROSION CONTROL PLAN.
- (8) ALL WORK MUST COMPLY WITH APPLICABLE NORTH CAROLINA BUILDING CODES, CITY OF WILMINGTON, NEW HANOVER COUNTY AND

CAPE FEAR PUBLIC UTILITIES AUTHORITY STANDARDS, DETAILS AND SPECIFICATIONS AND WITH HANDICAPPED ACCESSIBILITY CODE VOL. 1C.

- (9) ANY CONFLICT(S) BETWEEN ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL AND CIVIL SHEETS SHALL BE SUBMITTED BY CONTRACTOR, IN WRITING, TO BOTH ARCHITECT AND ENGINEER. WRITTEN CLARIFICATION/RESOLUTION MUST BE RECEIVED BY CONTRACTOR FROM ARCHITECT AND ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
- (10) LATERAL SEPARATION OF SEWERS OR WATER MAINS. WATER MAINS SHALL BE LAID AT LEAST TEN (10) FEET LATERALLY FROM EXISTING OR PROPOSED SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A TEN (10) FOOT LATERAL SEPARATION -- IN WHICH CASE:
  - (A) THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION ON THE BOTTOM OF THE WATER MAIN AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF SEWER; OR
  - (B) THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF SEWER.
- (11) CROSSING A WATER MAIN OVER A SEWER. WHENEVER NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN EIGHTEEN (18) INCH SEPARATION -- IN WHICH CASE, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE CROSSING.
- (12) CROSSING A WATER MAIN UNDER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE POINT(S) OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.

**WILLIAMSON MEDICAL OFFICES**  
5114 WRIGHTSVILLE AVENUE  
WILMINGTON, NORTH CAROLINA 28403

**PROPOSED GRADING & DRAINAGE PLAN**

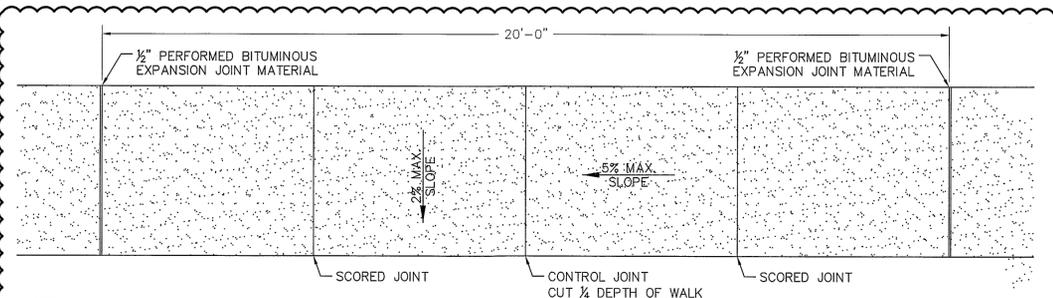
REVISIONS:	DATE:
1 PER C.O.W.	12/19/12
2 PER C.O.W.	1/28/13

ISSUED FOR:	DATE:
REVIEW/PERMITS	11/14/12

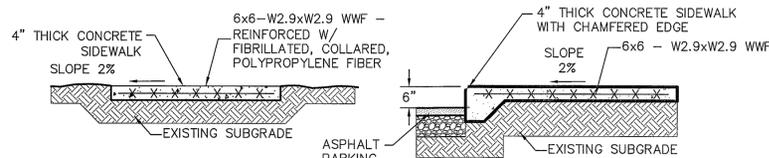
PROJECT NO.: 12-016  
DRAWN BY: GJM  
REVIEWED BY: GJM

SHEET NUMBER:  
**C4**  
OF 2 SHEETS





- NOTES:
1. WALKS SHALL BE PLACED ON COMPACTED STONE BASE COURSE.
  2. CROSS SLOPE OF ALL WALKS SHALL BE 1/4" PER FOOT MAX. (2% MAX.).
  3. THICKNESS OF CONCRETE WALKS SHALL BE 4" UNLESS OTHERWISE NOTED.
  4. SURFACE FINISH OF WALK SHALL BE LIGHT/MEDIUM BROOM FINISH PERPENDICULAR TO RUN OF WALK.
  5. DIFFERENCE BETWEEN TOP OF WALKWAY AND ADJACENT FINISHED GRADE SHALL BE 6" MAX.

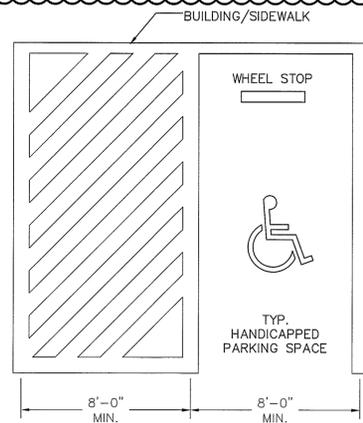


- NOTES:
1. A GROOVE JOINT 1" DEEP WITH A 1/8" RADIUS SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 45' INTERVALS NOT TO EXCEED 50' AND MATCHING EXPANSION/CONSTRUCTION JOINT IN ADJACENT CURB. A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
  2. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3,000 PSI IN 28 DAYS.

**CONCRETE WALKWAYS (NOT IN R/W)**

**DETAIL 1**

SCALE: NOT TO SCALE

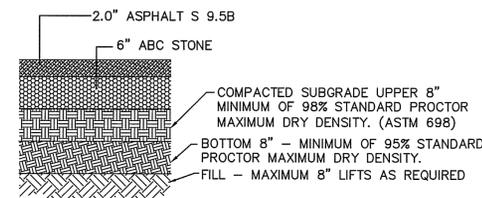


- NOTES:
1. SEE SITE DEVELOPMENT PLAN FOR DIMENSIONS AND LAYOUT DIMENSIONS SHOWN ARE MINIMUMS.
  2. WHEEL STOPS 3' FROM FACE OF CURB/BUILDING TO FRONT OF WHEEL STOP.

**HANDICAP PAVEMENT STRIPING**

**DETAIL 4**

SCALE: NOT TO SCALE



NOTE: ASPHALT SECTION SHALL BE USED FOR SITE PAVEMENT ONLY (I.E. INTERIOR PARKING).

**LIGHT DUTY ASPHALT PAVEMENT**

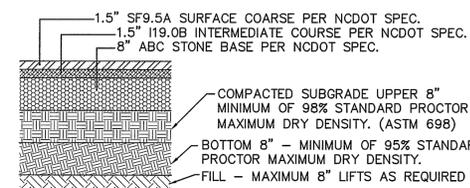
**DETAIL 8**

SCALE: NOT TO SCALE

**POST AND PANEL SIGN DETAILS**

**DETAIL 5**

SCALE: NOT TO SCALE



NOTE: HEAVY DUTY ASPHALT SHALL BE INSTALLED IN ALL DRIVE AISLES, LOADING AREAS AND THE ENTIRE DRIVEWAY ENTRANCE. MATERIALS SHALL MEET THE REQUIRED SECTIONS OF THE N.C.D.O.T. STANDARD SPECIFICATION FOR ROADS AND STRUCTURES.

**HEAVY DUTY ASPHALT PAVEMENT**

**DETAIL 9**

SCALE: NOT TO SCALE

**HANDICAP PAVEMENT SYMBOL**

**DETAIL 2**

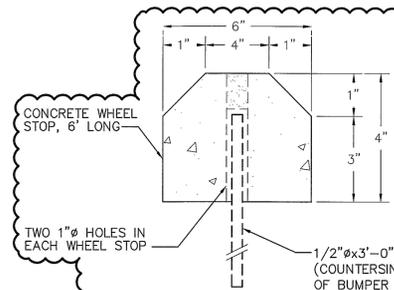
SCALE: NOT TO SCALE

SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1 - 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	7 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	7 DAYS	NONE EXCEPT FOR PERIMETERS AND HQW ZONES

**STABILIZATION TIME FRAMES**

**DETAIL 10**

SCALE: NOT TO SCALE

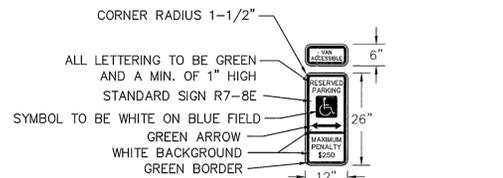


- WHEEL STOP NOTES:
1. ALL WHEELSTOPS SHALL BE INSTALLED 2.5' FROM EDGE OF PAVEMENT
  2. WHEELSTOPS SHALL HAVE A MAXIMUM HEIGHT OF 4"

**TYPICAL WHEEL STOP SECTION**

**DETAIL 6**

SCALE: NOT TO SCALE

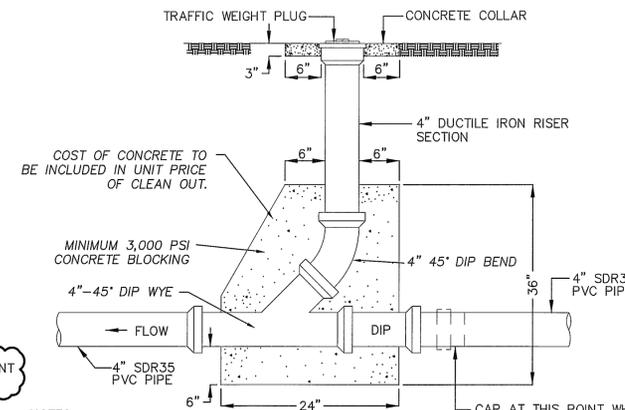


- SIGN NOTES:
1. ALL SIGNS TO BE 0.080" THICK ALUMINUM.
  2. ALL SIGNS SHALL CONFORM WITH ALL CURRENT A.D.A. FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS.
  3. PLACE "VAN ACCESSIBLE" SIGN IN FRONT OF VAN ACCESSIBLE SPACES ONLY.

**ACCESSIBILITY PARKING DETAILS**

**DETAIL 3**

SCALE: NOT TO SCALE



- NOTES:
1. CONCRETE COLLAR NOT NEEDED WHEN CLEANOUT OCCURS IN CONCRETE PAVEMENT.
  2. DUCTILE IRON PIPE AND FITTINGS TO BE USED IN CONCRETE BLOCKING.

**TYPICAL SEWER CLEANOUT**

**DETAIL 7**

SCALE: NOT TO SCALE

TEMPORARY			PERMANENT		
SPECIES	RATE (LB/AC)	DATES	SPECIES	RATE (LB/AC)	DATES
RYE (GRAIN)	120	DEC 1 - APR. 15	CENTPEDEGRASS	10-20	MAR. - JUNE
KOBE LESPEDEZA	50	DEC. 1 - APR. 15	SERICEA LESPEDEZA	30	APR. 1 - JULY 15
GERMAN MILLET	40	APR. 15 - AUG. 15	COMMON BERMUDAGRASS	10	APR. 1 - JULY 15
RYE (GRAIN)	120	AUG. 15 - DEC. 30	GERMAN MILLET	10	APR. 1 - JULY 15

SOIL AMENDMENTS		SOIL AMENDMENTS	
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER	FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 3,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 500 LB/ACRE 10-10-10 FERTILIZER	MULCH	MULCH
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.	APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.	MAINTENANCE	MAINTENANCE
IF GROWTH IS LESS THAN FULLY ADEQUATE, REFERTILIZE IN THE SECOND YEAR ACCORDING TO SOIL TESTS OR TOPDRESS WITH 500 LB/ACRE 10-10-10 FERTILIZER. RESEED, REFERTILIZE, AND MULCH AREA IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE. IF SEEDING IN FALL, TOPDRESS WITH 50 LB/ACRE OF NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LB/ACRE KOBE LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.	REFERTILIZE THE FOLLOWING APR. WITH 50 LB/ACRE NITROGEN. REPEAT AS GROWTH REQUIRES. MAY BE MOWED ONLY ONCE A YEAR, WHERE A NEAT APPEARANCE IS DESIRED. OMIT SERICEA AND MOW AS OFTEN AS NEEDED.		

**SEEDING SCHEDULE**

**DETAIL 10**

SCALE: NOT TO SCALE

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

**Approved Construction Plan**

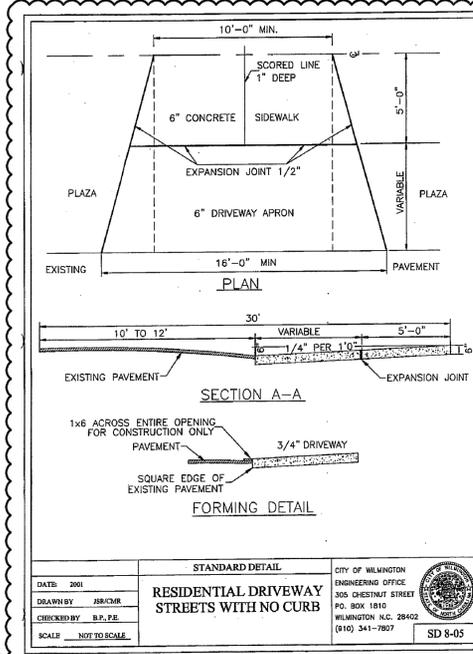
Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Public Utilities \_\_\_\_\_

Traffic \_\_\_\_\_

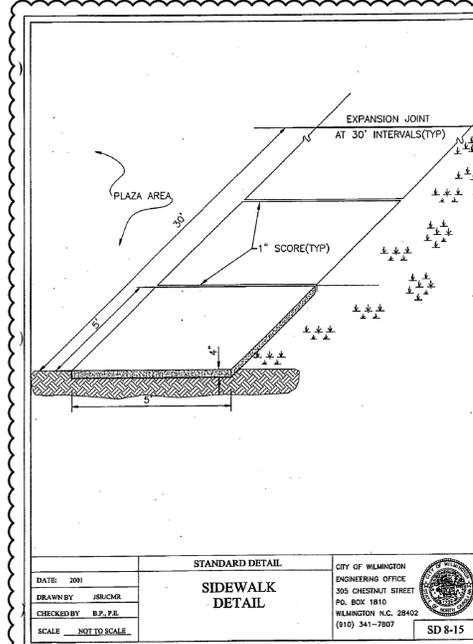
Fire \_\_\_\_\_



STANDARD DETAIL  
**RESIDENTIAL DRIVEWAY**  
STREETS WITH NO CURB

DATE: 2001  
DRAWN BY: JBC/CHR  
CHECKED BY: B.P./P.E.  
SCALE: NOT TO SCALE

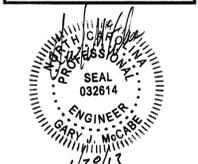
CITY OF WILMINGTON  
ENGINEERING OFFICE  
305 CHESTNUT STREET  
PO. BOX 1810  
WILMINGTON, N.C. 28402  
(910) 341-7807  
SD 8-05



STANDARD DETAIL  
**SIDEWALK**  
DETAIL

DATE: 2001  
DRAWN BY: JBC/CHR  
CHECKED BY: B.P./P.E.  
SCALE: NOT TO SCALE

CITY OF WILMINGTON  
ENGINEERING OFFICE  
305 CHESTNUT STREET  
PO. BOX 1810  
WILMINGTON, N.C. 28402  
(910) 341-7807  
SD 8-15



FINAL DRAWING  
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FOR CONSTRUCTION

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(C-3075)  
3305-109 DURHAM DRIVE  
RALEIGH, NORTH CAROLINA 27603  
PHONE - (919) 779-6851  
FAX - (919) 779-0826



**WILLIAMSON MEDICAL OFFICES**  
5114 WRIGHTSVILLE AVENUE  
WILMINGTON, NORTH CAROLINA 28403  
**DETAILS SHEET**

REVISIONS:	DATE:
1. PER C.O.W.	12/19/12
2. PER C.O.W.	1/28/13

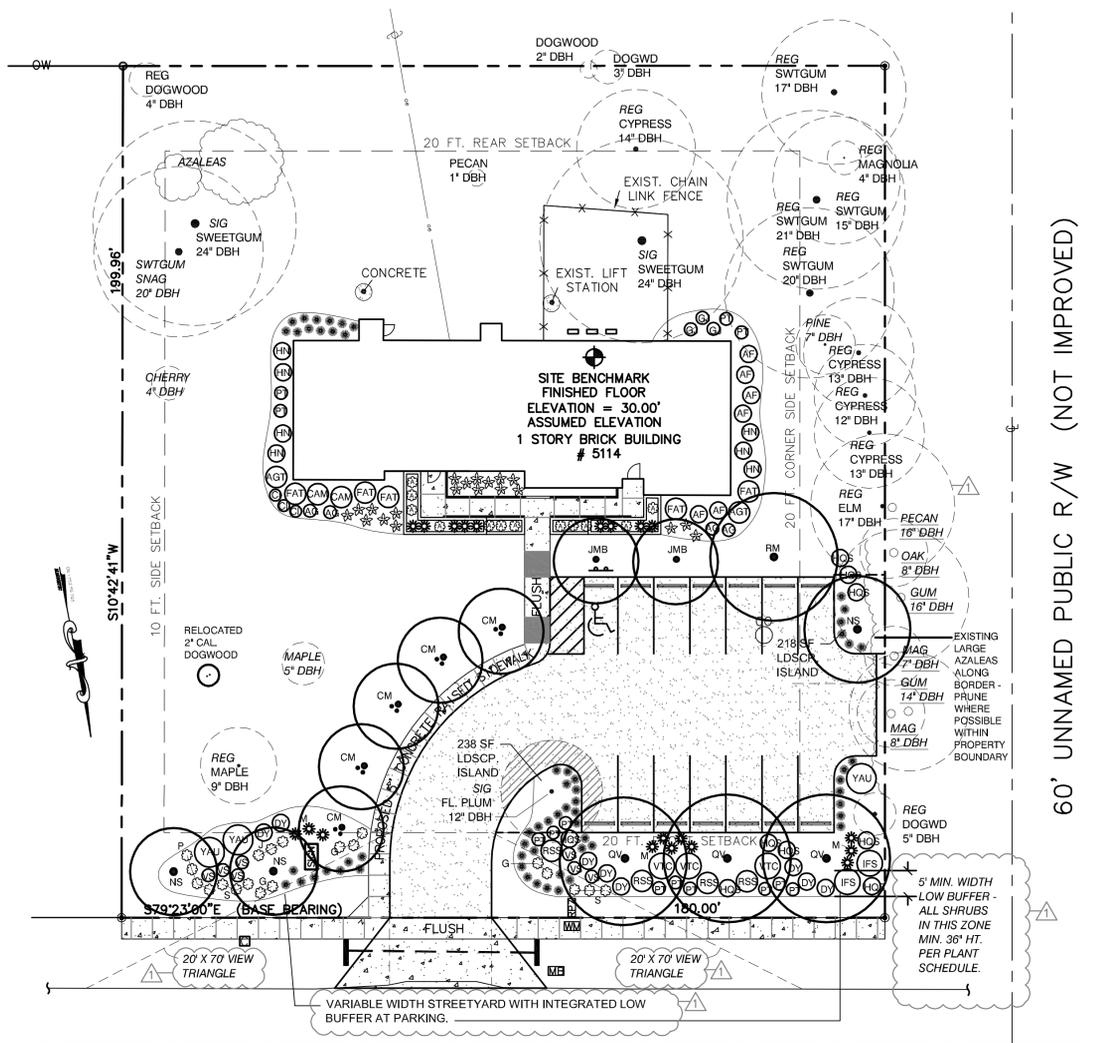
ISSUED FOR:	DATE:
REVIEW/PERMITS	11/14/12

PROJECT NO.: 12-016  
DRAWN BY: GJM  
REVIEWED BY: GJM

SHEET NUMBER:  
**C5**  
OF 7 SHEETS







1 LANDSCAPE PLAN

**LANDSCAPE CALCULATIONS**

STREET YARD ALONG WRIGHTSVILLE AVENUE  
 REQUIRED: 180.00 LF ROW (-24.00 LF DRIVE) = 156.00 LF STREET YARD  
 156 LF (x 18' O & 1' MULTIPLIER) = 2,808 SF STREET YARD  
 MIN WIDTH = 9'  
 MAX WIDTH = 27'  
 PROPOSED: 3,025 SF STREET YARD

TREES  
 REQUIRED: 1 CANOPY TREE/600 SF = 5 CANOPY TREES (MIN 2" CAL., 8'-10' MIN. HT AT PLTG)  
 PROPOSED: 5 NEW TREES

SHRUBS  
 REQUIRED: 6 SHRUBS/600 SF = 29 SHRUBS (12' MIN. HEIGHT AT PLANTING)  
 PROPOSED: 41 NEW SHRUBS

PARKING LOT LANDSCAPING  
 INTERIOR AREA LANDSCAPING  
 FOR 5,592 SF PROPOSED IMPERVIOUS PARKING (W/O PERVIOUS PAVING)  
 SHADING REQUIRED: (0 & 1 - 1 REQUIRED SHADING @ 20%) = 1,119 SF  
 SHADING PROVIDED: CANOPY TREES AT PARKING LOT PROVIDE 314 SF SHADED AREA EACH  
 13 SHADE TREES X 314 SF = 4,082 SF  
 TOTAL SHADED AREA PROVIDED = 4,082 SF

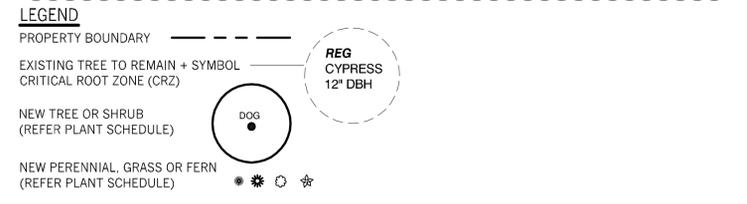
PERIMETER LANDSCAPING  
 N/A

PARKING AREA SCREENING AT WRIGHTSVILLE AVENUE:  
 (LOW BUFFER PER 18-483) INCORPORATED IN 15' WIDE STREETYARD  
 REQUIRED VEGETATION MIN. 3' HT., 5' WIDE

FOUNDATION PLANTINGS  
 1248 SF AREA OF FRONT BUILDING FACE X 12% = 150 SF FOUNDATION PLANTINGS REQUIRED  
 (12' BLDG. HT. X 104' FACADE LENGTH) 540 SF FOUNDATION PLANTINGS PROVIDED

ALL PLANTED AND RETAINED LIVING MATERIAL, REQUIRED TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE, SHALL BE PERPETUALLY PROTECTED AND MAINTAINED TO PROFESSIONALLY ACCEPTED STANDARDS BY JOINT AND SEVERAL RESPONSIBILITY OF THE OWNER, OCCUPANT, TENANT, AND RESPECTIVE AGENTS OF THE PROPERTY ON WHICH THE MATERIAL IS LOCATED.

- GENERAL LANDSCAPE NOTES:**
- ALL EXISTING INFORMATION BASED ON SURVEY PREPARED BY PATRICK C. BRISTOW LAND SURVEYING, P.C., OCTOBER 10, 2012. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FIELD-VERIFY ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO ANY SITE DISTURBANCE, EXCAVATION, OR PLANTING.
  - TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETE. THE TREE PROTECTION FENCE SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTION FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - THE PLANT SCHEDULE IS PRESENTED FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT KEY, THE PLAN SHALL PREVAIL.
  - PLANTS SHALL BE BID AS SPECIFIED UNLESS UNAVAILABLE, AT WHICH TIME THE LANDSCAPE CONTRACTOR WILL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT BY TELEPHONE AND IN WRITING OF INTENDED CHANGES. THERE SHALL BE NO ADDITIONS, DELETIONS, OR SUBSTITUTIONS WITHOUT THE WRITTEN APPROVAL OF THE OWNER.
  - TOPSOIL AND DRAINAGE MEDIA SHALL BE INSTALLED IN NEW PLANTERS PER DETAIL, REFER A-SERIES DRAWINGS..
  - REPAIR ALL DISTURBED AREAS NOT IN PLANTING BEDS TO MATCH EXISTING SOD.
  - ALL NEW PLANTING BEDS SHALL BE MULCHED WITH 3" LAYER OF TRIPLE-SHREDDED HARDWOOD BARK MULCH, NATURAL COLOR.
  - THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR THE COLLECTION, REMOVAL, AND PROPER DISPOSAL OF ANY AND ALL DEBRIS GENERATED DURING THE INSTALLATION OF THE PROJECT.
  - THE LANDSCAPE CONTRACTOR SHALL GUARANTEE, IN WRITING, PLANT SURVIVABILITY FOR A PERIOD OF TWELVE (12) MONTHS FROM FINAL ACCEPTANCE BY OWNER.
  - NO OBSTRUCTIONS SHALL BE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE GROUND LEVEL WITHIN THE TRIANGULAR SIGHT DISTANCE.
  - A RAIN/FREEZE SENSOR SHALL BE INSTALLED AS A PART OF ANY IRRIGATION SYSTEM USED ON THIS SITE.



PLANT SCHEDULE					
TYPE	SCIENTIFIC NAME	COMMON NAME	QTY.	SIZE	NOTES
<b>TREES</b>					
JMB	ACER JAPONICUM 'BLOODGOOD'	BLOODGOOD JAPANESE MAPLE	2	2" CAL.	
RM	ACER RUBRUM	RED MAPLE	1	2" CAL.	
CM	LAGERSTROEMIA INDICA 'MUSKOGEE'	CREPE MYTLE	5	2" CAL.	MULTI-TRUNK
NS	NYSSA SYLVATICA	BLACKGUM	3	2.5" CAL.	STREETYARD, PKG ISLD.
QV	QUERCUS VIRGINIANA	LIVE OAK	3	2.5" CAL.	STREETYARD
<b>SHRUBS</b>					
CAM	CAMELLIA JAPONICA	CAMELLIA	2	MIN 24" HT.	
FAT	FATSIA JAPONICA	FATSIA	5	MIN 24" HT.	
GJ	GARDENIA JASMINOIDES 'RADICANS'	DWARF JASMINE	3	MIN 18" HT.	
HN	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	HYDRANGEA	7	MIN 24" HT.	
HQS	HYDRANGEA QUERCIFOLIA 'SIKES DWARF'	DWARF OAKLEAF HYDRANGEA	9	MIN 36" HT.	
DY	ILEX VOMITORIA 'SCHILLINGS'	DWARF YAUPON	8	MIN 36" HT.	
YAU	ILEX VOMITORIA 'PRIDE OF HOUSTON'	YAUPON (FEMALE)	3	MIN 48" HT.	
IFS	ILICUM FLORIDANUM 'SEMME'S'	FLORIDA ANISE	2	MIN 36" HT.	
VS	ITEA VIRGINICA 'LITTLE HENRY'	VRGINIA SWEETSPIRE	7	MIN 36" HT.	
PT	PITTOSPORUM TOBIRA 'MCJO'	DWARF PITTOSPORUM	13	MIN 36" HT.	
RSS	RAPHOLEPIS UMBELLATA 'SPRING SONATA'	INDIAN HAWTHORN	4	MIN 36" HT.	
AGT	RHODODENDRON 'GEORGE TABOR'	GEORGE TABOR AZALEA	2	MIN 36" HT.	
AG	RHODODENDRON 'WHITE GUMPO'	WHITE GUMPO AZALEA	4	MIN 18" HT.	
AF	RHODODENDRON 'FASHION'	FASHION AZALEA	6	MIN 24" HT.	
VTC	VBURNUM TINUS 'COMPACTUM'	LAURUSTINUS	3	MIN 36" HT.	
<b>GROUNDCOVERS - PERENNIALS</b>					
A	AGAPANTHUS AFRICANUS 'STORM CLOUD'	LILY OF THE NILE	12	MIN 12" HT.	IN PLANTER
C	ASPIDISTRA ELATOR	CAST IRON PLANT	3	MIN 12" HT.	FOUNDATION
J	EUPATORIUM DUBIUM 'BABY JOE'	DWARF JOE-PYEWEED	3	MIN 12" HT.	STREETYARD
G	GAURA LINDHEMERI	WHIRLING BUTTERFLIES	7	MIN 12" HT.	STREETYARD
M	LIRIOPE SPICATA 'EVERGREEN GIANT'	EVERGREEN GIANT LIRIOPE	60	MIN 12" HT.	STREETYARD & FOUNDATION
M	MUHLBERGIA CAPILLARIS	MUHLY GRASS	11	MIN 12" HT.	STREETYARD
M	FARGESIA RUFA	CLUMPING BAMBOO	9	3 GAL.	IN PLANTER (WILL NEED CAGE TO PREVENT FLOP) PLEASE CONSIDER ANOTHER GRASS OR LIVING VINE SCREEN PANEL
P	PENSTEMON LAEVIGATUS 'MAPLE HILL'	EASTERN BEARDTONGUE	4	MIN 12" HT.	STREETYARD
S	SALVIA LYRATA	LYRELEAF SAGE	6	MIN 12" HT.	STREETYARD
<b>FERNS</b>					
	DRYOPTERIS ERYTHROSA	AUTUMN FERN	10	MIN 18" HT.	FOUNDATION - GROUPS OF >3
	POLYSTICHUM ACROSTICHOIDES	CHRISTMAS FERN	10	MIN 18" HT.	FOUNDATION - GROUPS OF >3

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

**Approved Construction Plan**

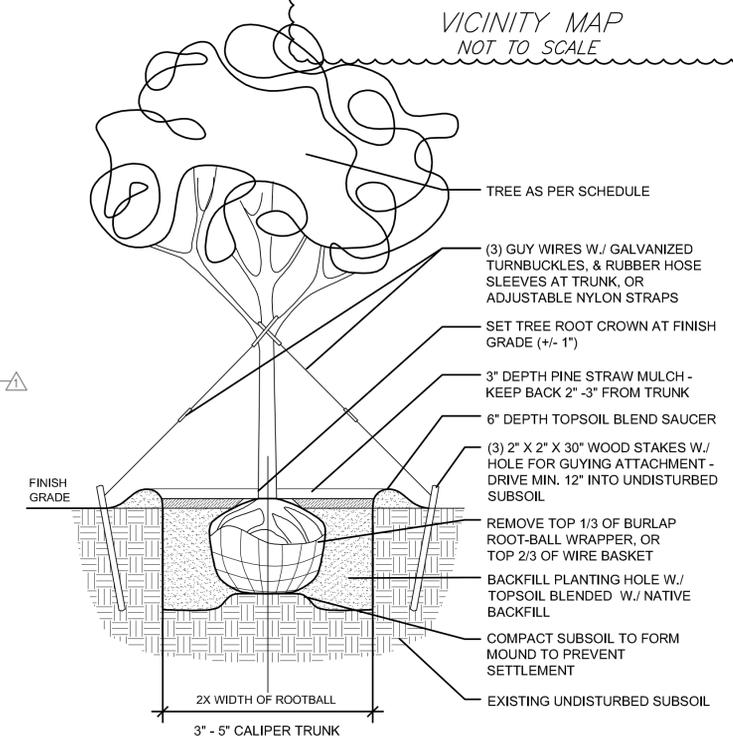
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning: \_\_\_\_\_

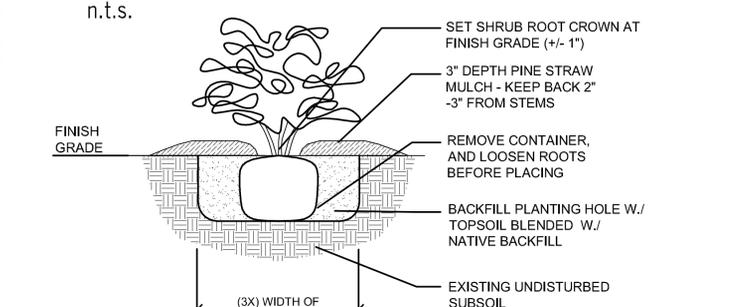
Public Utilities: \_\_\_\_\_

Traffic: \_\_\_\_\_

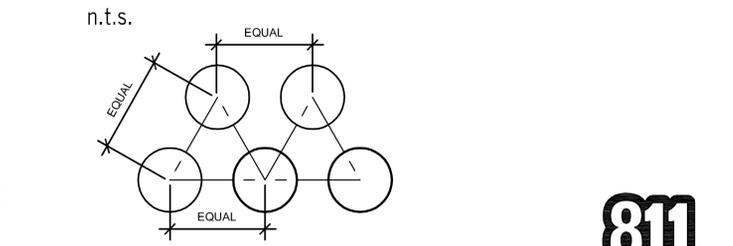
Fire: \_\_\_\_\_



2 TREE PLANTING DETAIL



3 SHRUB PLANTING DETAIL



4 SHRUB / GROUNDCOVER LAYOUT

**WILMINGTON**  
 1448  
 1/28/13

FINAL DRAWING  
 NOT RELEASED  
 FOR CONSTRUCTION

**Red Line Engineering, P.C.**  
 (C-3075)  
 3305-109 DURHAM DRIVE  
 RALEIGH, NORTH CAROLINA 27603  
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 FAX - (919) 779-0826

**B+O design studio, pllc**  
 1319-CC Military Cutoff Rd.  
 PMB 221  
 Wilmington, NC 28405  
 www.b-and-o.net

**WILLIAMSON MEDICAL OFFICES**  
 5114 WRIGHTSVILLE AVENUE  
 WILMINGTON, NORTH CAROLINA 28403

LANDSCAPE PLAN

REVISIONS:	DATE:
1	PER C.O.W. 12/19/12
2	PER C.O.W. 1/28/13

ISSUED FOR:	DATE:
REVIEW/PERMITS	11/14/12

PROJECT NO.: 1209  
 DRAWN BY: LDB  
 REVIEWED BY: LDB

SHEET NUMBER:  
**L2**  
 OF 7 SHEETS



I, PATRICK C. BRISTOW, CERTIFY THAT THIS PROPERTY WAS SURVEYED AND MAP DRAWN UNDER MY SUPERVISION; DESCRIPTION AS SHOWN ON THE FACE OF THIS PLAT, RATIO OF PRECISION AS CALCULATED BY COMPUTER IS 1:10,000+; THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN BY BROKEN LINES PLOTTED FROM INFORMATION REFERENCED; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1604); WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 10TH DAY OF OCTOBER, A.D. 2012.

*Paul C. Bristow*  
 PATRICK C. BRISTOW  
 N.C. PLS No. L-4148

- NOTES**
- 1) ALL ELEVATIONS SHOWN ARE ASSUMED WITH SITE BENCHMARK BEING THE FINISHED FLOOR OF THE WESTERN BUILDING (30.00).
  - 2) TREES ARE AS IDENTIFIED, SIZE IS DIAMETER IN INCHES MEASURED AT BREAST HEIGHT.
  - 3) THIS LOT IS SUBJECT TO ALL UTILITY EASEMENTS, RESTRICTIONS, OR COVENANTS OF RECORD.
  - 4) WATER AND SEWER PROVIDED BY CFPWA. WATER METER IS LOCATED AND PLOTTED. SEWER PUMP STATION LOCATED AND PLOTTED IN BACK YARD. STATUS OF CONNECTION TO GRAVITY SEWER IS UNKNOWN.
  - 5) CONTOUR INTERVAL IS ONE FOOT.
  - 6) ADJOINER INFORMATION IS FROM NEW HANOVER COUNTY ONLINE G.I.S.
  - 7) THERE APPEARS TO BE NO VEHICULAR ACCESS TO PARK AVENUE. THE STATUS AND RIGHT OF ACCESS TO THE UNNAMED PUBLIC RIGHT OF WAY ALONG THE WESTERN BOUNDARY IS UNKNOWN.

PARK AVENUE

PUBLIC RW - WIDTH VARIES



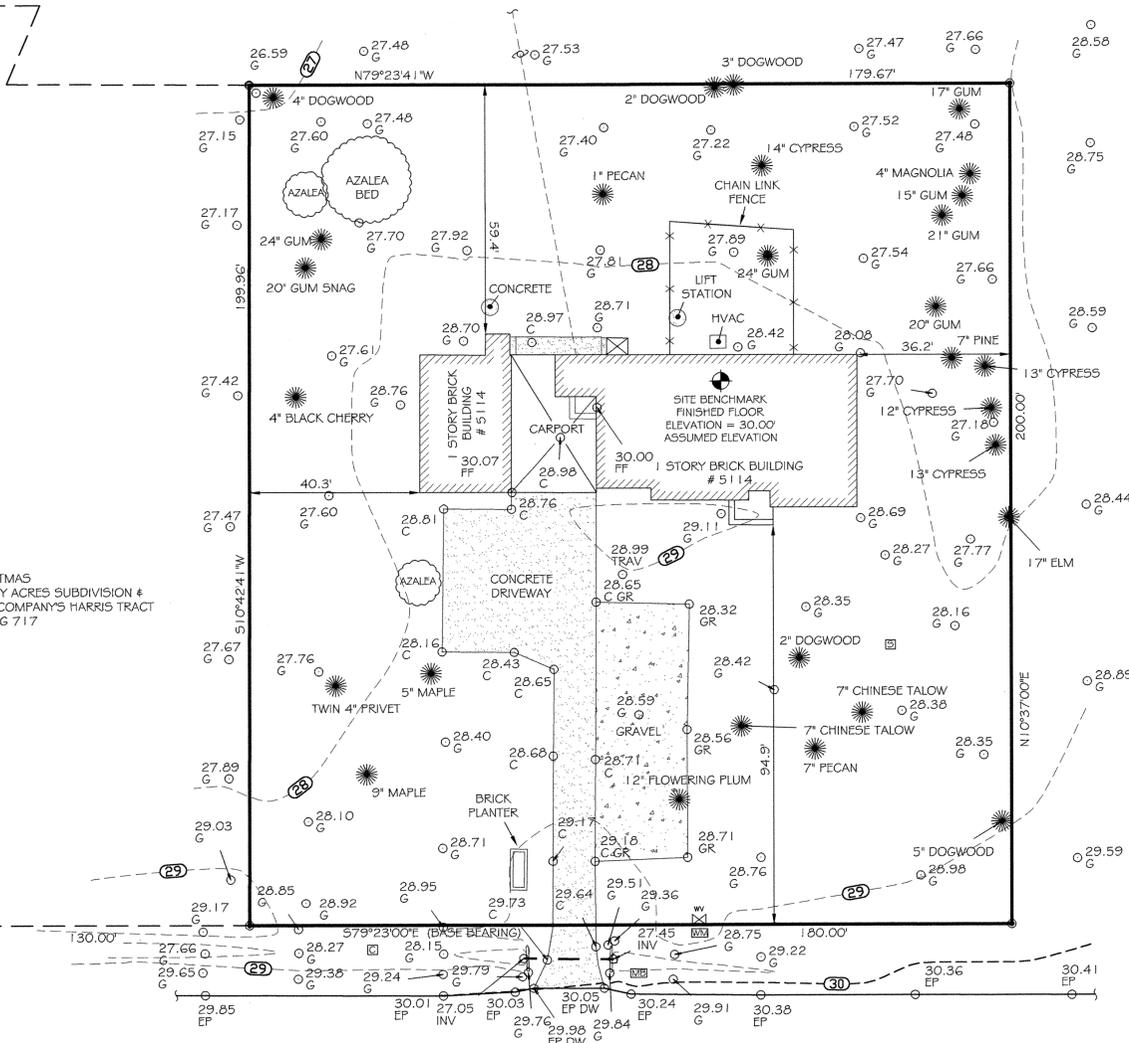
LOCATION MAP  
NOT TO SCALE

SURVEY REFERENCE  
DEED BOOK 1752 PAGE 765



- LEGEND**
- = EXISTING IRON PIPE
  - = SET IRON PIPE
  - △ = NAIL
  - = MONUMENT
  - ⊙ = CENTERLINE
  - ⊕ = BENCHMARK
  - ⊗ = TELEPHONE PEDESTAL
  - ⊠ = SANITARY SEWER CLEANOUT
  - ⊡ = CABLE TV PEDESTAL
  - ⊢ = WATER METER
  - ☼ = TREE (AS NOTED)
  - ⊙ = POWER POLE
  - ⊠ = MAILBOX
  - ⊡ = WATER VALVE
  - ⊢ = WATER METER

N/F CHRISTMAS  
 PART OF LOT 1 BLOCK F PINEY ACRES SUBDIVISION &  
 A PORTION OF THE OLEANDER COMPANY'S HARRIS TRACT  
 DB 1646 PG 717



NOTE: THIS LOT IS LOCATED IN ZONE X AS PER FIRM PANEL # 3720314600 J & FIRM PANEL # 3720314700 J COMMUNITY D # 370171 EFFECTIVE PANEL DATE: APRIL 3, 2006

THIS MAP AND FIELD SURVEY WERE MADE FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS, OR ENTITY NAMED IN THE CERTIFICATION HEREON. SAID CERTIFICATION DOES NOT EXTEND OR TRANSFER TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT AN EXPRESSED RE-CERTIFICATION BY THE SURVEYOR NAMED SAID PERSON, PERSONS, OR ENTITY.

60' UNNAMED PUBLIC RW (NOT IMPROVED)

N/F BHAT  
 5106 WRIGHTSVILLE AVENUE  
 DB 3477 PG 624

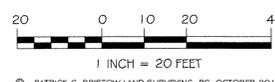
579°23'00"E 174.30' 579°23'00"E

WRIGHTSVILLE AVENUE

60' PUBLIC RW

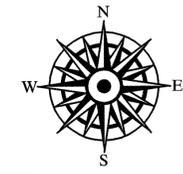
REVISED: DECEMBER 31, 2012

OCTOBER 10, 2012 0.826 AC.±



1 INCH = 20 FEET  
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BOUNDARY, TOPOGRAPHIC & TREE SURVEY FOR  
**J. C. WILLIAMSON**  
 PARCEL ID# RO5617-004-001-000 5114 WRIGHTSVILLE AVENUE  
 PART OF THE FORMER "HARRIS" TRACT  
 CITY OF WILMINGTON NEW HANOVER COUNTY, N.C.



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