

**SITE DATA:**

TOTAL SITE AREA: ± 7.15 AC

**PHASE I SITE DATA (EXISTING)**

PARCEL ID: R05600-007-006-000

CURRENT ZONING: R-7 (CD)

PROJECT ADDRESS: WRIGHTSVILLE AVE WILMINGTON, NC 28403

CURRENT OWNER: PENTON PROPERTIES WILMINGTON, NC 28403

TOTAL ACREAGE IN PROJECT BOUNDARY: ± 4.5 AC

TOTAL IMPERVIOUS BUILDINGS CONCRETE ASPHALT TOTAL: 12,130 S.F. 5,563 S.F. 12,047 S.F. 29,740 S.F.

**PHASE II SITE DATA**

PARCEL ID: R05600-007-005-000

CURRENT ZONING: R-7 (CD)

CAMA LAND USE CLASSIFICATION: WATERSHED RESOURCE PROTECTION/CONSERVATION

PROJECT ADDRESS: 6037 WRIGHTSVILLE AVE WILMINGTON, NC 28403

CURRENT OWNER: BETTY LOCKAMY 6037 WRIGHTSVILLE AVE WILMINGTON, NC 28403

TOTAL ACREAGE IN PROJECT BOUNDARY: 115,619 S.F. (2.65 AC.)

BUILDING SIZE: 12,096 S.F. TOTAL (1,728 PER DUPLEX)

BUILDING HEIGHT: 17' MEAN ROOF HEIGHT

BUILDING SETBACKS:

FRONT:	REQUIRED= 30'	PROPOSED= 58.2'
SIDE:	REQUIRED= 10'	PROPOSED= 107'
REAR:	REQUIRED= 25'	PROPOSED= 363'

CALCULATION FOR BUILDING COVERAGE: PROPOSED COVERAGE: 12,096 S.F. ÷ 115,619 S.F. = 10.5 %

TOTAL IMPERVIOUS BEFORE & AFTER DEVELOPMENT:

BEFORE DEVELOPMENT	
BUILDINGS	3,086 S.F.
GRAVEL DRIVEWAY	2,251 S.F.
TOTAL	5,337 S.F.
AFTER DEVELOPMENT	
BUILDINGS	12,096 S.F.
CONCRETE SIDEWALKS	3,959 S.F.
ASPHALT DRIVE	17,394 S.F.
TOTAL	33,549 S.F.

OFFSITE IMPERVIOUS AREAS:

CONCRETE DRIVEWAY APRON	251 S.F.
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TOTAL AREA WITHIN AEC FOR PH 1 AND PH 2= 68,238 S.F.

TOTAL IMPERVIOUS AREA WITHIN AEC= 1,895 S.F. / 68,238 S.F. = 2.8%

PARKING REQUIRED: 1.5 SPACES / 1BR UNIT @ 14 UNITS = 21 SPACES (2 H.C.)

PARKING PROVIDED: 27 SPACES (2 H.C.)

BICYCLE PARKING REQUIRED: (MIN. 5 PER 25-125 VEHICLE SPACES) PROVIDED: 6 SPACES

PARKING LOT INTERIOR LANDSCAPING REQUIRED PROVIDED: 12,865 S.F. \* 8% = 1,029 S.F. 1,524 S.F.

OPEN SPACE REQUIREMENT: (40% of site area) 2.65 AC X 0.40 = 1.06 AC PROVIDED: 1.21 AC

OPEN SPACE REQUIREMENT: (0.03 AC. per dwelling unit) .03 X 14 du = 0.42 AC (Min. 50% active open space) PROVIDED: 0.24 AC ACTIVE OPEN SPACE

STREETYARD REQUIREMENT: 12' X 132LF X 12' = 1,584 S.F. PROVIDED: 1,860 S.F.

- SITE NOTES:**
- PHASE I DATA FROM TRIPP ENGINEERING, PC PLAN DATED: 3/25/03
  - PHASE II SURVEY DATA FROM JOHNNY WILLIAMS SURVEYING DATED 12/14/15
  - SITE LOCATED IN FLOOD ZONE "AE-10" AND "SHADED X" PER FEMA FLOOD MAP# 3720314700J PANEL# 3147 DATED 4/3/2006.
- DEVELOPMENT NOTES:**
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
  - PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
  - NINETY DEGREE CUTOFF LIGHTING TO BE USED ON ALL LIGHTING THAT EXCEEDS 10' IN HEIGHT.
  - PROPOSED USE AT THIS TIME IS RESIDENTIAL MULT-FAMILY.
  - CONSTRUCTION AND GRADING IS NOT TO DISTURB THE WETLAND RESOURCE.
- UTILITY NOTES:**
- EXISTING WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS.
  - ALL PROPOSED UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS & TELEPHONE SHALL BE INSTALLED UNDERGROUND.
  - ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CFPWA TECHNICAL SPECIFICATIONS & STANDARDS.
  - PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS (S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND N.C.D.E.N.R. HAS ISSUED THEIR "FINAL APPROVAL". CALL 343-3910 FOR INFORMATION.
  - ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCPCOHR OR ASSE.
  - WATER & SEWER SERVICES CAN NOT BE ACTIVATED ON NEW MAINS UNTIL THE ENGINEER'S CERTIFICATION SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
  - WHEN PVC WATER MAINS AND SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED, SINGLE-STRAND COPPER WIRE INSTALLED & STRAPPED TO THE PIPES WITH DUCT TAPE. THIS IS TO BE ACCESSIBLE IN ALL VALVES AND METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OR EXISTING UTILITIES DURING CONSTRUCTION. CALL 1-800-441-4400 AT 1-800-622-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB & GUTTER, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
  - THE BELLSOUTH CONTACT IS STEVE DAYVAULT, BUILDING INDUSTRY CONSULTANT, AT 910-392-8712. CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.
  - THE PROCESS FOR TELEPHONE CABLE PLACEMENT: \* FINAL GRADE WILL NEED TO BE ESTABLISHED. \* POWER WILL PLACE THEIR CABLE FIRST - APPROXIMATELY 3' DEEP. \* BELLSOUTH & CABLE TV WILL THEN PLACE THEIR CABLE AT APPROXIMATELY 2' DEEP.
  - SOLID WASTE DISPOSAL IS COW CURBSIDE PICKUP.

**Approved Construction Plan**

Name	Date
Planning	
Public Utilities	
Traffic	
Fire	

**STORMWATER MANAGEMENT PLAN APPROVED**

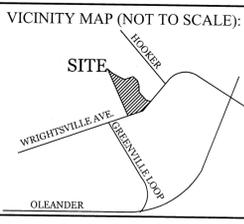
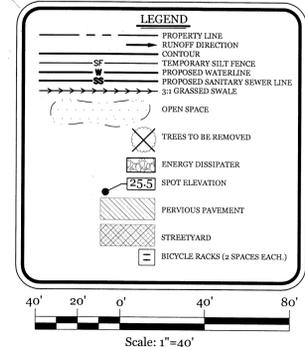
CITY OF WILMINGTON ENGINEERING DEPARTMENT

DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_

SIGNED \_\_\_\_\_

- GENERAL TRAFFIC NOTES:**
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. [DETAIL SD-13 COFW TECH STDS]
  - ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS. [DETAIL SD 15-13 COFW TECH STDS]
  - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
  - IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
  - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
  - A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT. [SD 15-14 COFW TECH STDS]
  - CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
  - ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10'.

- FIRE & SAFETY NOTES:**
- CONSTRUCTION TYPE: R-3 RESIDENTIAL
  - BUILDINGS WILL NOT BE SPRINKLED
  - PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS.
  - ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
  - HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.
  - IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.



REVISIONS


**INTRACOASTAL ENGINEERING, PLLC**

5725 Olander Dr. Unit E-7  
Wilmington, North Carolina 28403  
Phone: 910.859.8983  
Email: Charlie@intracoastalengineering.com  
License Number P-0662

**SITE, GRADING, DRAINAGE, UTILITY, & STORMWATER PLAN FOR WESTSTRONG PH-II WILMINGTON, NC**

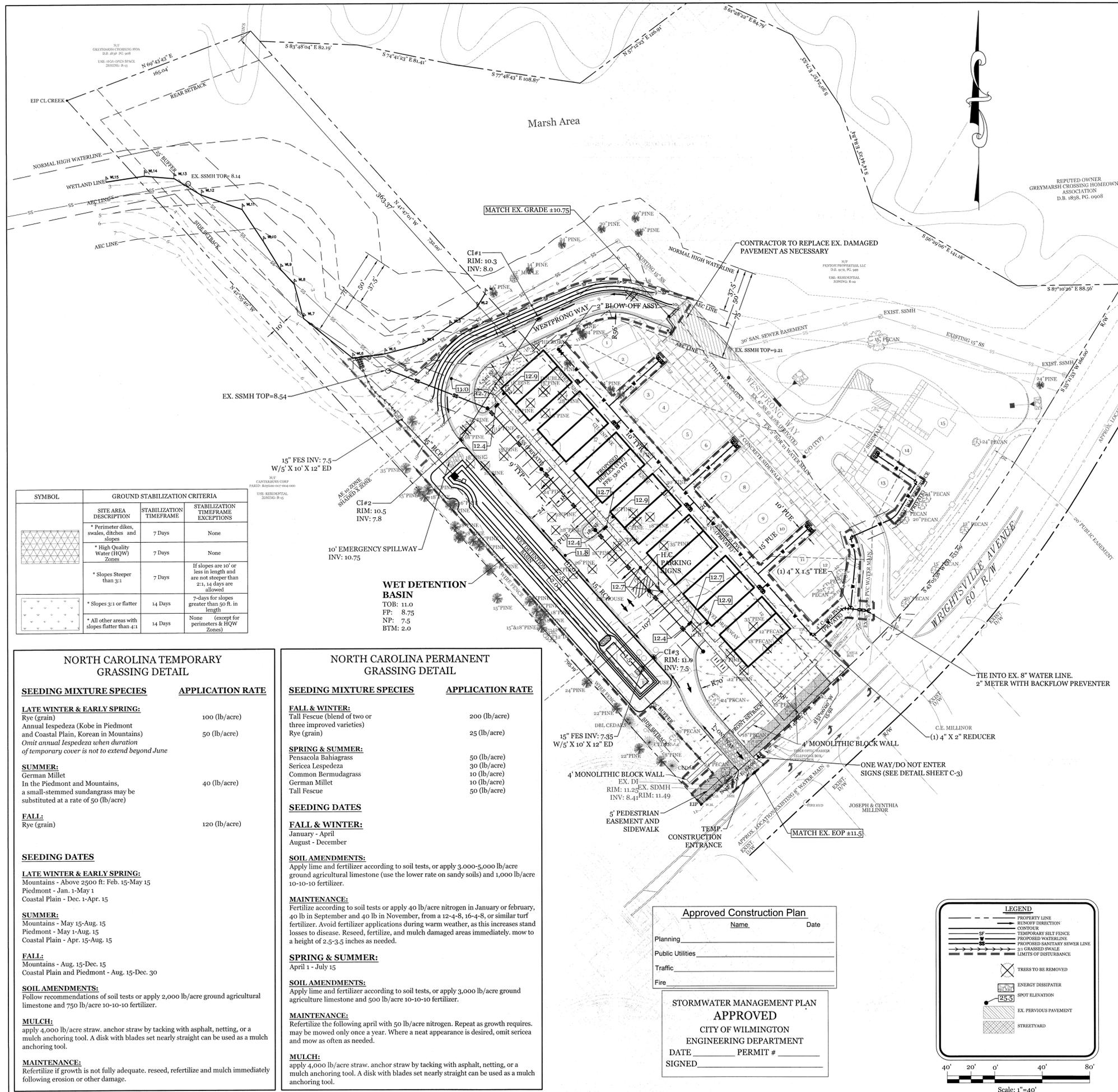
**PROFESSIONAL SEAL**

CHARLES D. CAZIER  
ENGINEER  
5-11-16

**CLIENT INFORMATION:**

PENTON DEVELOPMENT LLC.  
6105 OLEANDER DRIVE SUITE 201  
WILMINGTON, NC 28403  
(910) 452-1410

DRAWN:	JAE	SHEET SIZE:	24 x 36
CHECKED:	CDC	DATE:	5/11/2016
APPROVED:	CDC	SCALE:	1" = 40'
PROJECT NUMBER:	2015-044		



**SITE DATA:**

TOTAL SITE AREA: ± 7.15 AC

**PHASE I SITE DATA (EXISTING)**

PARCEL ID: R05600-007-006-000

CURRENT ZONING: R-7 (CD)

PROJECT ADDRESS: WRIGHTSVILLE AVE WILMINGTON, NC 28403

CURRENT OWNER: PENTON PROPERTIES WILMINGTON, NC 28403

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TOTAL IMPERVIOUS BUILDINGS: 12,130 S.F.

CONCRETE: 5,563 S.F.

ASPHALT: 12,047 S.F.

TOTAL: 29,740 S.F.

**PHASE II SITE DATA**

PARCEL ID: R05600-007-005-000

CURRENT ZONING: R-7 (CD)

CAMA LAND USE CLASSIFICATION: WATERSHED RESOURCE PROTECTION/CONSERVATION

PROJECT ADDRESS: 6037 WRIGHTSVILLE AVE WILMINGTON, NC 28403

CURRENT OWNER: BETTY LOCKAMY 6037 WRIGHTSVILLE AVE WILMINGTON, NC 28403

TOTAL ACREAGE IN PROJECT BOUNDARY: 115,619 S.F. (2.65 AC.)

DISTURBED AREA: ± 1.7 AC.

BUILDING SIZE: 12,096 S.F. TOTAL (1,728 PER DUPLEX)

BUILDING HEIGHT: 17' MEAN ROOF HEIGHT

BUILDING SETBACKS:

FRONT: REQUIRED= 30' PROPOSED= 58.2'

SIDE: REQUIRED= 10' PROPOSED= 107'

REAR: REQUIRED= 25' PROPOSED= 363'

CALCULATION FOR BUILDING COVERAGE: PROPOSED COVERAGE: 12,096 S.F. + 115,619 S.F. = 10.5 %

TOTAL IMPERVIOUS BEFORE & AFTER DEVELOPMENT:

BEFORE DEVELOPMENT

BUILDINGS: 3,086 S.F.

GRAVEL DRIVEWAY: 2,251 S.F.

TOTAL: 5,337 S.F.

AFTER DEVELOPMENT

BUILDINGS: 12,096 S.F.

CONCRETE SIDEWALKS: 3,059 S.F.

ASPHALT DRIVE: 17,394 S.F.

TOTAL: 32,549 S.F.

OFFSITE IMPERVIOUS AREAS: CONCRETE DRIVEWAY APRON: 251 S.F.

**CONSTRUCTION SEQUENCE:**

CONSTRUCTION OF SITE TO START WITH INSTALLATION OF CONSTRUCTION ENTRANCE AND SILT FENCE ALONG ALL LOCATIONS PER PLANS. UPON INSTALLATION OF SILT FENCE, TREES SHOULD BE REMOVED IN LOCATIONS AS NECESSARY. ALL SLOPED AREAS SHOULD BE SEEDING IN ACCORDANCE TO SPECIFICATIONS. SLOPE STABILIZATION IS WITHIN 21 CALENDAR DAYS OF ANY PHASE OF CONSTRUCTION. ALL OTHER AREAS MUST BE STABILIZED WITHIN 15 WORKING DAYS. CONTRACTOR TO FOLLOW NPDES STABILIZATION REQUIREMENTS PER TABLE ON THIS SHEET AS WELL. MOST STRINGENT REQUIREMENT TO BE MET.

- GENERAL CLEARING AND GRADING OF THIS SITE WILL NOT BE DONE UNTIL THE TEMPORARY SILT FENCE & CONSTRUCTION ENTRANCE HAS BEEN INSTALLED.
- NO CUT SLOPE OR FILL SLOPE SHALL EXCEED A RISE OR FALL OF ONE FOOT FOR EVERY RUN OF 3 FEET (1 VERTICAL TO 3 HORIZONTAL).
- NO SEDIMENT WILL BE ALLOWED TO EXIT THE SITE. ALL EROSION SHALL BE CONTROLLED INCLUDING SIDE SLOPES DURING AND AFTER CONSTRUCTION.
- INSTALL PRIMARY EROSION CONTROL MEASURES BEFORE BEGINNING CONSTRUCTION INCLUDING BUT NOT LIMITED TO GRAVELLED CONSTRUCTION ENTRANCE, SILT FENCE, TREE PROTECTION FENCE & SEDIMENT BASINS. CONTRACTOR TO BE FAMILIAR WITH USACE GENERAL PERMIT CONDITIONS FOR ROAD CROSSINGS. SPECIFIC CONSTRUCTION METHODS MAY BE REQUIRED ABOVE AND BEYOND WHAT IS SPECIFIED IN THIS PLAN. INSTALL ALL SECONDARY EROSION CONTROL MEASURES, SUCH AS INLET PROTECTION AS SOON AS POSSIBLE AFTER BEGINNING CONSTRUCTION.
- ALL EROSION CONTROL MEASURES TO BE INSPECTED AFTER EACH RAIN. SILT FENCE AND INLET PROTECTION TO BE CLEANED WHEN HALF FULL.
- A 4" LAYER OF TOPSOIL SHALL BE APPLIED TO ALL NEW AREAS TO BE GRASSED.
- MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PROJECT IS COMPLETE.
- MORE STRINGENT MEASURES MAY BE REQUIRED TO HALT EROSION IF THOSE ON THIS PLAN PROVE TO BE LESS EFFECTIVE.
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION. ALL PERMANENT MEASURES SHALL BE WELL ESTABLISHED PRIOR TO PROJECT COMPLETION.

**MAINTENANCE PLAN:**

- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL.
- ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF 2-3 INCH STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED, WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
- SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, ROCK DOOR INLET PROTECTION, SEDIMENT TRAP Baffles, AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
- CHECK SEDIMENT BASIN AND Baffles WEEKLY & AFTER EACH RAINFALL EVENT. REMOVE SEDIMENT FROM TRAP & Baffles AND RESTORE TO ORIGINAL VOLUME WHEN SEDIMENT ACCUMULATES TO ABOUT 1/2 THE DESIGN VOLUME. REPAIR / REPLACE Baffles IF TORN, COLLAPSED, OR INEFFECTIVE.
- DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWALES MUST BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE IN THE SEDIMENT FENCE THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.
- FAIRCLOTH SKIMMER TO BE ROUTINELY CHECKED FOR SEDIMENT ACCUMULATION, TRASH, AND DEBRIS CLOGGING THE WATER ENTRY ORIFICES. PULL SKIMMER TO SIDE OF BASIN AND HAND REMOVE SEDIMENT AND DEBRIS TO RESTORE FLOW TO ORIGINAL STATE.

SYMBOL	GROUND STABILIZATION CRITERIA		
	SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
	* Perimeter dikes, swales, ditches and slopes	7 Days	None
	* High Quality Water (HQW) Zones	7 Days	None
	* Slopes Steeper than 3:1	7 Days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
	* Slopes 3:1 or flatter	14 Days	7-days for slopes greater than 50 ft. in length
	* All other areas with slopes flatter than 4:1	14 Days	None (except for perimeters & HQW Zones)

**NORTH CAROLINA TEMPORARY GRASSING DETAIL**

SEEDING MIXTURE SPECIES	APPLICATION RATE
<b>LATE WINTER &amp; EARLY SPRING:</b> Rye (grain) Annual Lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains) <i>Omit annual Lespedeza when duration of temporary cover is not to extend beyond June</i>	100 (lb/acre) 50 (lb/acre)
<b>SUMMER:</b> German Millet In the Piedmont and Mountains, a small-stemmed sundgrass may be substituted at a rate of 50 (lb/acre)	40 (lb/acre)
<b>FALL:</b> Rye (grain)	120 (lb/acre)
<b>SEEDING DATES</b>	
<b>LATE WINTER &amp; EARLY SPRING:</b> Mountains - Above 2500 ft: Feb. 15-May 15 Piedmont - Jan. 1-May 1 Coastal Plain - Dec. 1-Apr. 15	
<b>SUMMER:</b> Mountains - May 15-Aug. 15 Piedmont - May 1-Aug. 15 Coastal Plain - Apr. 15-Aug. 15	
<b>FALL:</b> Mountains - Aug. 15-Dec. 15 Coastal Plain and Piedmont - Aug. 15-Dec. 30	
<b>SOIL AMENDMENTS:</b> Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.	
<b>MULCH:</b> apply 4,000 lb/acre straw. anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.	
<b>MAINTENANCE:</b> Refertilize if growth is not fully adequate. reseed, refertilize and mulch immediately following erosion or other damage.	

**NORTH CAROLINA PERMANENT GRASSING DETAIL**

SEEDING MIXTURE SPECIES	APPLICATION RATE
<b>FALL &amp; WINTER:</b> Tall Fescue (blend of two or three improved varieties) Rye (grain)	200 (lb/acre) 25 (lb/acre)
<b>SPRING &amp; SUMMER:</b> Pensacola Bahiagrass Sericea Lespedeza Common Bermudagrass German Millet Tall Fescue	50 (lb/acre) 30 (lb/acre) 10 (lb/acre) 10 (lb/acre) 50 (lb/acre)
<b>SEEDING DATES</b>	
<b>FALL &amp; WINTER:</b> January - April August - December	
<b>SOIL AMENDMENTS:</b> Apply lime and fertilizer according to soil tests, or apply 3,000-5,000 lb/acre ground agricultural limestone (use the lower rate on sandy soils) and 1,000 lb/acre 10-10-10 fertilizer.	
<b>MAINTENANCE:</b> Fertilize according to soil tests or apply 40 lb/acre nitrogen in January or February, 40 lb in September and 40 lb in November, from a 12-4-8, 16-4-8, or similar turf fertilizer. Avoid fertilizer applications during warm weather, as this increases stand losses to disease. Reseed, fertilize, and mulch damaged areas immediately. mow to a height of 2.5-3.5 inches as needed.	
<b>SPRING &amp; SUMMER:</b> April 1 - July 15	
<b>SOIL AMENDMENTS:</b> Apply lime and fertilizer according to soil tests, or apply 3,000 lb/acre ground agricultural limestone and 500 lb/acre 10-10-10 fertilizer.	
<b>MAINTENANCE:</b> Refertilize the following April with 50 lb/acre nitrogen. Repeat as growth requires. may be mowed only once a year. Where a neat appearance is desired, omit sericea and mow as often as needed.	
<b>MULCH:</b> apply 4,000 lb/acre straw. anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.	

Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Public Utilities \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

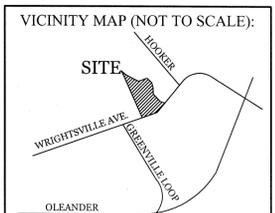
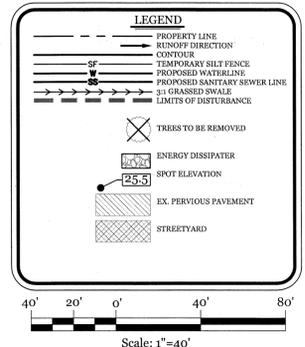
STORMWATER MANAGEMENT PLAN APPROVED

CITY OF WILMINGTON

ENGINEERING DEPARTMENT

DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_

SIGNED \_\_\_\_\_



REVISIONS

NO.	DESCRIPTION

**INTRACOASTAL ENGINEERING, PLLC**

5725 Olander Dr. Unit E-7  
Wilmington, North Carolina 28403  
Phone: 910.859.8983  
Email: Charlie@intracoastalengineering.com  
License Number P-0662

SEDIMENTATION & EROSION CONTROL PLAN

FOR

**WESTPRONG PH-II**

WILMINGTON, NC

NORTH CAROLINA PROFESSIONAL ENGINEER SEAL

032555

CHARLES D. CATEL

*Charles D. Cate*

5-11-16

CLIENT INFORMATION:

PENTON DEVELOPMENT LLC.  
6105 OLEANDER DRIVE SUITE 201  
WILMINGTON, NC 28403  
(910) 452-1410

DRAWN: JAE	SHEET SIZE: 24 x 36
CHECKED: CDC	DATE: 5/11/2016
APPROVED: CDC	SCALE: 1" = 40'
PROJECT NUMBER: 2015-044	

DRAWING NUMBER: **C-2**

2 OF 5

