



- NOTES:
- REMOVE AND REPLACE APPROX. 83 SY OF EXISTING CONCRETE DRIVEWAY (NE) AND 40 SY (SW). MATCH ALL EXISTING ELEVATIONS AND GRADES. COMPACT TOP 12" OF SUBGRADE AND PLACE MINIMUM 6" THICK - 4000 PSI CONCRETE. JOINTS SHALL BE INSTALLED PER STANDARD CITY DETAIL. ON SW DRIVEWAY REMOVE AND REPLACE COMPLETE PANELS.
  - REMOVE APPROXIMATELY 71 SY OF EXISTING CONCRETE ISLAND. EXCAVATE EXISTING FOOTPRINT OF ISLAND AND COMPACT EXISTING SUBGRADE. REPLACE WITH ASPHALT REPAIR SECTION PER DETAIL TO MATCH ADJACENT PAVEMENT GRADES.
  - AREAS NOTED HAVE BROKEN ASPHALT. CONTRACTOR SHALL SAWCUT PAVEMENT TO A NEAT EDGE AND REMOVE ASPHALT AND STONE BASE. CONTRACTOR SHALL COMPACT EXISTING SUBGRADE AND REPLACE WITH ASPHALT REPAIR SECTION TO MATCH EXISTING GRADES. ADJACENT TO TWO EXISTING STORM STRUCTURES CONTRACTOR SHALL EXCAVATE DOWN TO EXPOSE THE PIPE CONNECTION TO INLET AND SEAL ANY VOIDS WITH NON-SHRINK GROUT. PLACE STRUCTURAL FILL AND COMPACT IN MAX. 10" LIFTS TO 98% MAXIMUM DENSITY (STD. PROCTOR). TOP 12" OF SUBGRADE SHALL BE COMPACTED TO 100% MAX. DENSITY (STD. PROCTOR). REMOVE EXISTING RAIL AND GROUT HOLES WITH NON-SHRINK GROUT TO PROVIDE A SMOOTH SURFACE.
  - CONTRACTOR SHALL PRESSURE WASH/SAND BLAST TO REMOVE EXISTING STRIPING ON EXISTING ASPHALT AND CONCRETE WITHOUT DAMAGING SURFACE.
  - CONTRACTOR SHALL THEN INSTALL A SEAL COAT ON EXISTING/ NEW ASPHALT (APPROX. 2515 SY) AS SHOWN ON SITE LAYOUT PLAN. DO NOT SEAL COAT CONCRETE AND PROTECT ADJACENT SURFACES FROM OVER SPRAY.
  - REMOVE EXISTING SIDEWALK AND REPLACE WITH TYPE "B" CURB RAMP PER DETAIL.
  - DEMOLISH EXISTING PAVEMENT AND INSTALL NEW CURB AND GUTTER AS SHOWN ON DWG. C2.0.
  - SECTION OF BUILDING INDICATED SHALL BE REMOVED. GRADE TO DRAIN AWAY FROM FOUNDATION AND TOWARDS NEW SIDEWALK (±6" DROP IN 14'). INSTALL SOD.
  - PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY; TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION AREA. TREE PROTECTION MUST BE MAINTAINED DURING ALL PHASES OF PROJECT CONSTRUCTION.

2432 CAROLINA BEACH RD.  
 PID# R06018-005-011-001  
 EUDIE ROBERTS  
 DEED BOOK 1279, PAGE 0944  
 ZONED COMMERCIAL SERVICE

**LEGEND**

 DEMOLITION

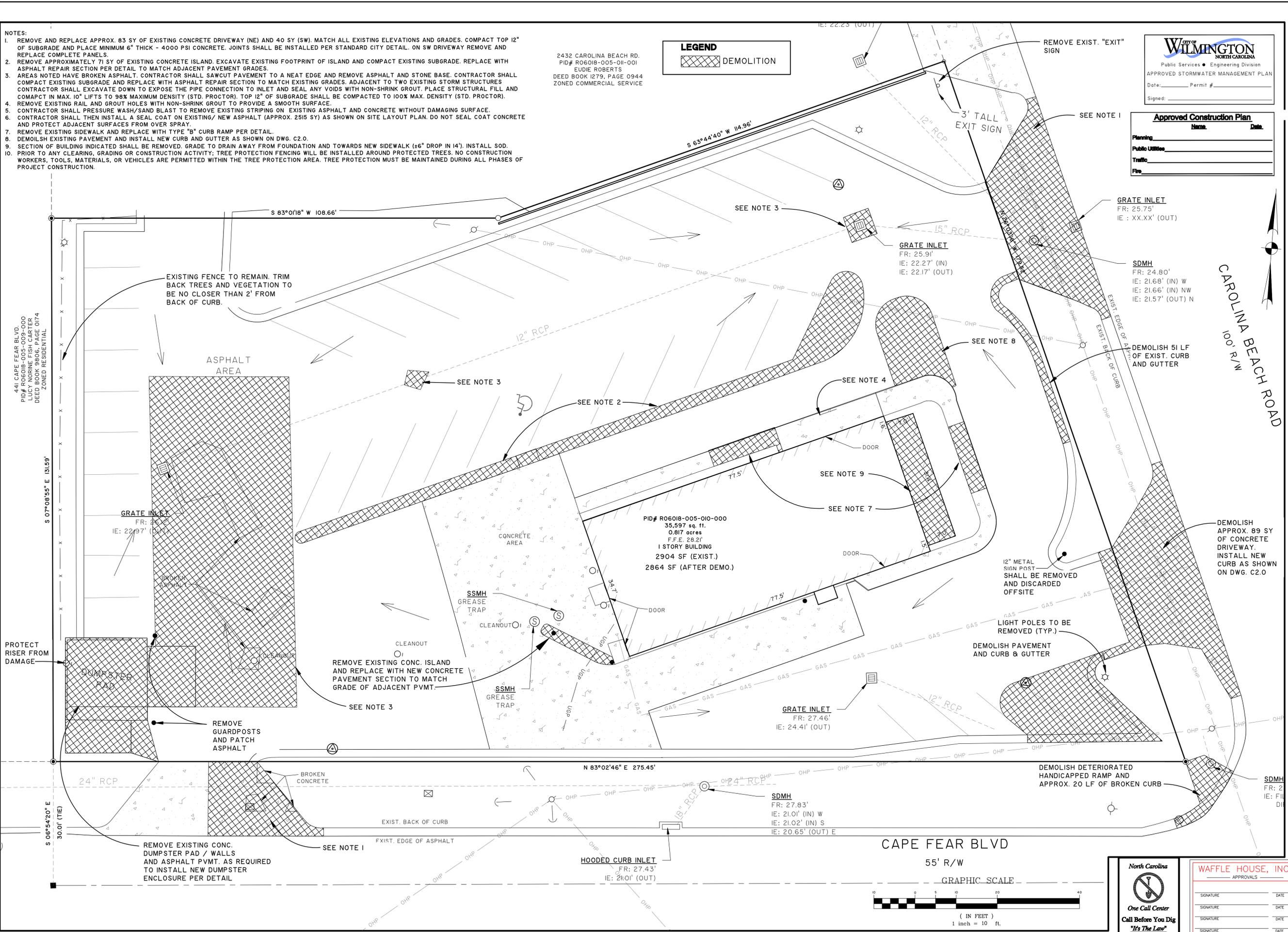
**City of WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

**Approved Construction Plan**

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning \_\_\_\_\_  
 Public Utilities \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_



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DESIGNED: BDR | REVIEWED/APPVED: JDR

**WAFLE HOUSE**

UNIT # \_\_\_\_\_

2448 CAROLINA BEACH ROAD, WILMINGTON, NORTH CAROLINA

**WAFLE HOUSE**

UNIT # \_\_\_\_\_

2448 CAROLINA BEACH ROAD, WILMINGTON, NORTH CAROLINA

DATE	REVISION DESCRIPTION
09/06/13	REVISED PER CITY OF WILMINGTON COMMENTS
10/11/13	REVISED PER CITY OF WILMINGTON COMMENTS

**PROJECT NAME:**  
**WAFLE HOUSE**

UNIT # \_\_\_\_\_

2448 CAROLINA BEACH ROAD  
 LAND LOT XXX  
 CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NC

**SHEET TITLE:**  
**DEMOLITION PLAN**

PROJECT No. WAFXXX SHEET No. C1.0

DATE: 06/22/13  
 ISSUE NO. 1

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**WAFLE HOUSE, INC.**  
 APPROVALS

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

- NOTES:**
- ACCESSIBLE ROUTE - EXTERIOR:**
    - MINIMUM CLEAR WIDTH IS 5'. IF ACCESSIBLE ROUTE HAS LESS THAN 5' CLEAR WIDTH, THEN PARKING SPACES AT LEAST 5'x5' SHALL BE LOCATED EVERY 200' OR LESS INTERSECTING SIDEWALKS MEET THIS REQUIREMENT. LONGITUDINAL (RUNNING) SLOPE MAY NOT EXCEED 5% UNLESS RAMP IS INSTALLED (RAMPS MAY NOT EXCEED 8.33%). CROSS SLOPE MAY NOT EXCEED 2%. GAPS IN ROUTE MAY NOT EXCEED 1/2" IN WIDTH.
  - FINISHED SURFACE HEIGHT DIFFERENCE REQUIREMENTS:**
    - A. 0 TO 1/4" - NO REQUIREMENTS.
    - B. 1/4" TO 1/2" - BEVEL WITH 1:2 SLOPE.
    - C. LARGER THAN 1/2" - CONFORM TO REQUIREMENTS FOR RAMP.
  - RAMPS:**
    - MAX RAMP SLOPE 8.33% (1:12).
    - RAMPS STEEPER THAN 8.33% ARE NOT ACCEPTABLE.
    - MAX RISE FOR ANY RAMP RUN IS 30" (AT 8.33% SLOPE, MAXIMUM RUN OF RAMP IS 30').
    - MAX CROSS SLOPE OF RAMP 2% (1:50).
  - LANDINGS:**
    - RAMPS SHALL HAVE LEVEL LANDINGS AT BOTTOM AND TOP OF EACH RAMP.
    - LANDING SHALL BE AT LEAST AS WIDE AS RAMP LEADING TO IT.
    - LANDING LENGTH SHALL BE MINIMUM 5' CLEAR.
    - IF RAMPS CHANGE DIRECTION AT LANDING, MINIMUM LANDING SIZE SHALL BE 6'x6'.
    - ALL LANDINGS ARE TO BE NO MORE THAN 2% SLOPE IN ANY DIRECTION.
  - CURB RAMPS:**
    - MAX SLOPE OF CURB RAMP 8.33%.
    - MAX SLOPE OF SIDE FLARES 10%.
    - MAX SLOPE OF ADJOINING GUTTERS, ROAD SURFACE, OR ACCESSIBLE ROUTE 5%.
    - MIN WIDTH 50" (NOT INCLUDING SIDE FLARES).
    - DETECTABLE WARNING IS REQUIRED ON CURB RAMPS AT TRAFFIC AISLES, AND SHALL BE 24" MINIMUM IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. DETECTABLE WARNINGS SHALL BE LOCATED SO THE EDGE NEAREST THE CURB LINE IS 6" TO 8" FROM THE CURB LINE.
  - PAVEMENT MARKINGS:**
    - AS REQUIRED BY LOCAL JURISDICTIONAL AUTHORITY (RECOMMENDED CROSSWALK MARKING TO DESIGNATE ACCESSIBLE PEDESTRIAN ROUTE)

- HANDICAP PARKING SPACES**
    - MINIMUM 6' WIDE ACCESSIBLE PARKING SPACE
    - MINIMUM 9' WIDE ACCESS AISLE AT STANDARD SPACES
    - MINIMUM 9' WIDE ACCESS AISLE AT VAN ACCESSIBLE SPACES
    - MAXIMUM 2% (1:50) SLOPE IN ANY DIRECTION
  - SIGNAGE**
    - ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN "VAN-ACCESSIBLE" MOUNTED BELOW THE SYMBOL. SUCH SIGNS SHALL BE LOCATED SO THEY CANNOT BE OBTURED BY A VEHICLE PARKED IN THE SPACE (60" ABOVE GRADE UNLESS OTHER HEIGHT REQUIRED BY LOCAL JURISDICTION).
  - ACCESSIBLE ROUTES**
    - MUST COMPLY WITH ADA, THE FAIR HOUSING ACT AND ICE/ANSI A117.1-2003.
- ADDITIONAL NOTES:**
- ALL STRIPING SHALL BE 4" WIDE, WHITE UNLESS OTHERWISE NOTED.
  - WHERE SHOWN ON PLANS AREAS SHALL BE DESIGNATED AS NO PARKING BY INSTALLATION OF 4" WIDE WHITE STRIPES AT MAXIMUM 24" CENTERS.
  - CONTRACTOR SHALL PROVIDE AND INSTALL 12 WHEELSTOPS ALONG NORTHERN SIDE OF THE BUILDING. FACE OF WHEELSTOPS SHALL BE 2'-6" FROM FACE OF EXISTING CONCRETE CURB OR ITS PROJECTION.
  - ALL PROPOSED VEGETATION WITHIN SITE DISTANCE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30" TO 10'.
  - IN AREAS NOTED PITCH CURB AND MATCH ASPHALT ELEVATION WITH GUTTER EDGE. IF PARKING LOT IS OVERLAIN, SET NEW GUTTER ELEVATIONS AS REQUIRED TO MATCH NEW PAVEMENT SURFACE.
  - TAPER CURB DOWN OVER FINAL 3" TO MATCH THE ELEVATION OF SIDEWALK.

**LEGEND**

- ACCESSIBLE ROUTE
- ASPHALT SEAL COAT
- CONCRETE PVMT. / SIDEWALK
- CURB AND GUTTER
- CONCRETE PVMT. / SIDEWALK

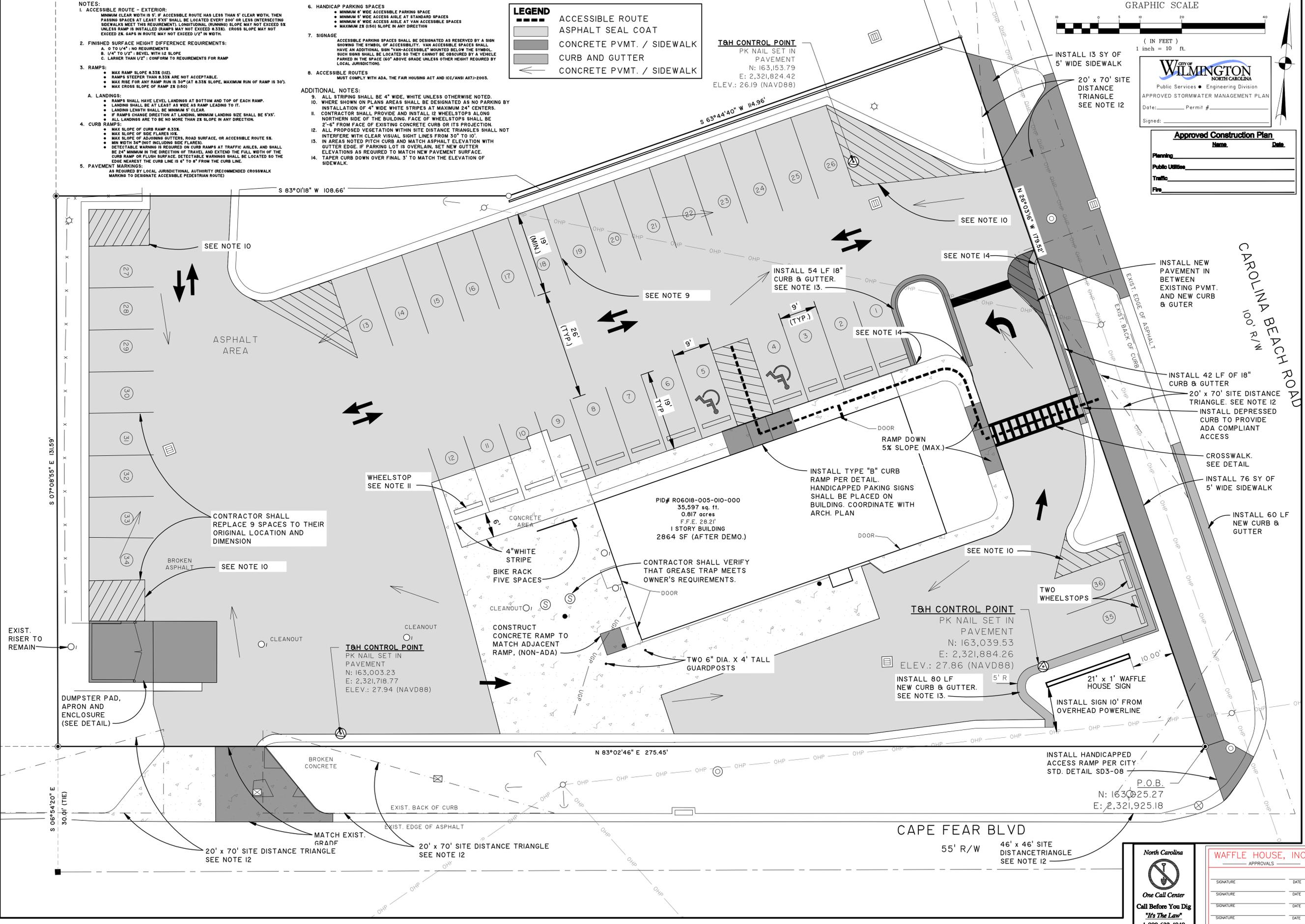
**T&H CONTROL POINT**  
 PK NAIL SET IN PAVEMENT  
 N: 163,153.79  
 E: 2,321,824.42  
 ELEV.: 26.19 (NAVD88)

**GRAPHIC SCALE**  
 (IN FEET)  
 1 inch = 10 ft.

**City of WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
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**Approved Construction Plan**  
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 JOB #: 23244 DESIGNED: BDT REVIEWED: APR/VD - JDR

**SITE DEVELOPMENT PLANS**  
 for  
**WAFFLE HOUSE**

UNIT # \_\_\_\_\_  
 2488 CAROLINA BEACH ROAD, WILMINGTON, NORTH CAROLINA

DATE	REVISION DESCRIPTION
09/05/13	REVISED PER CITY OF WILMINGTON COMMENTS
10/21/13	CORRECTED SITE TRIANGLE LOCATIONS

**PROJECT NAME:**  
 UNIT # \_\_\_\_\_  
 2488 CAROLINA BEACH ROAD  
 LAND LOT XXX  
 CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NC

**SHEET TITLE:**  
**LAYOUT PLAN**

**PROJECT No.:** WAFXXX  
**SHEET No.:** C2.0

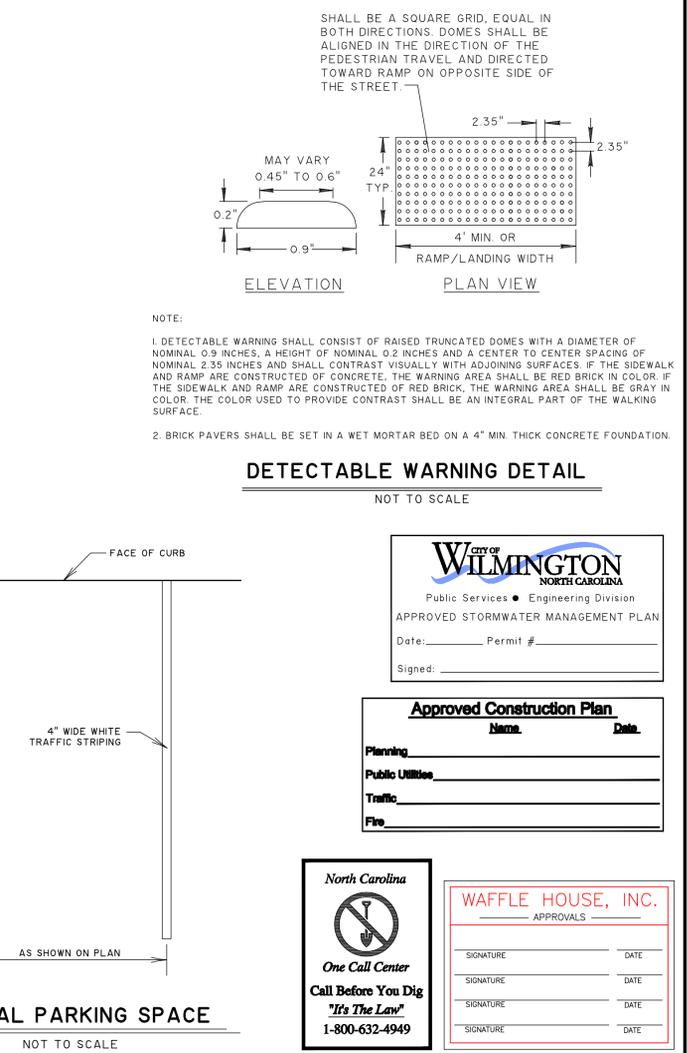
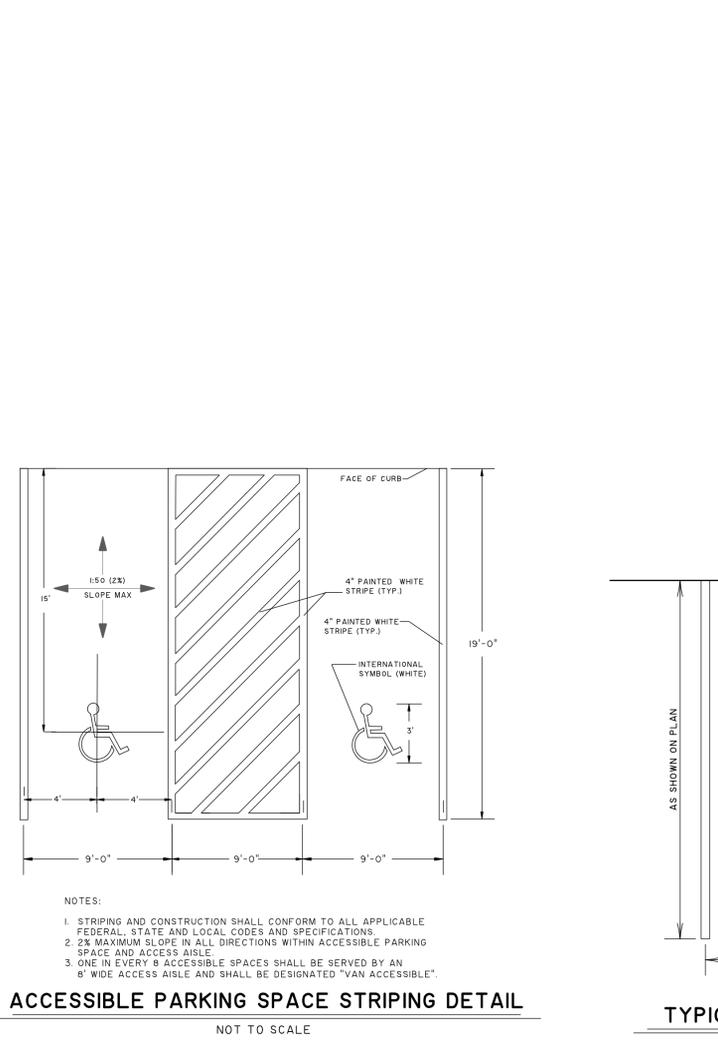
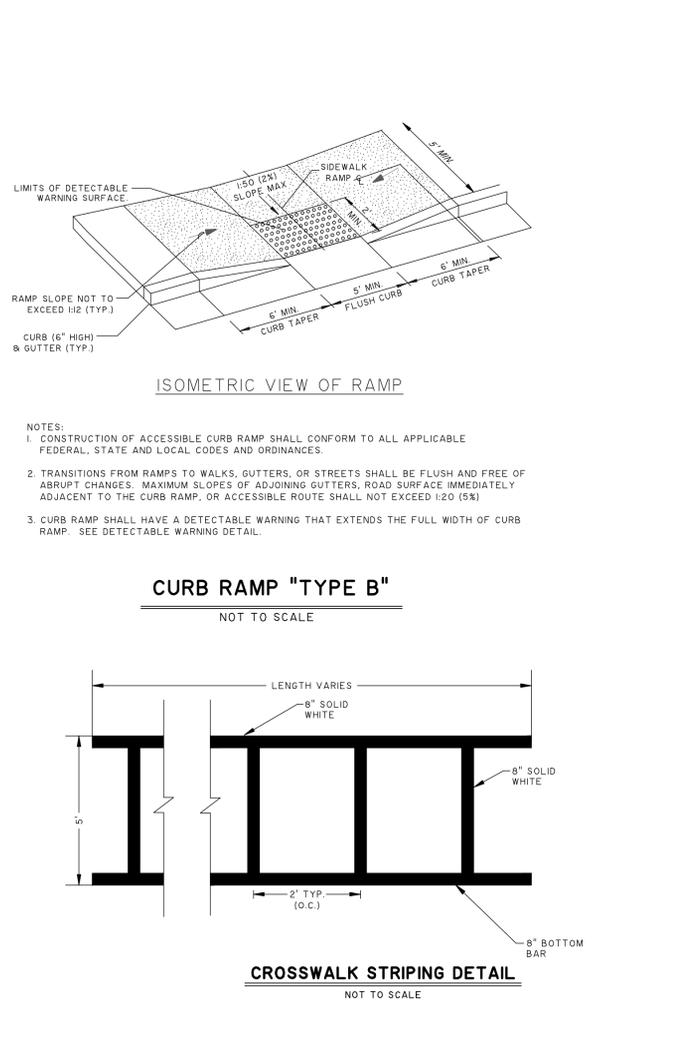
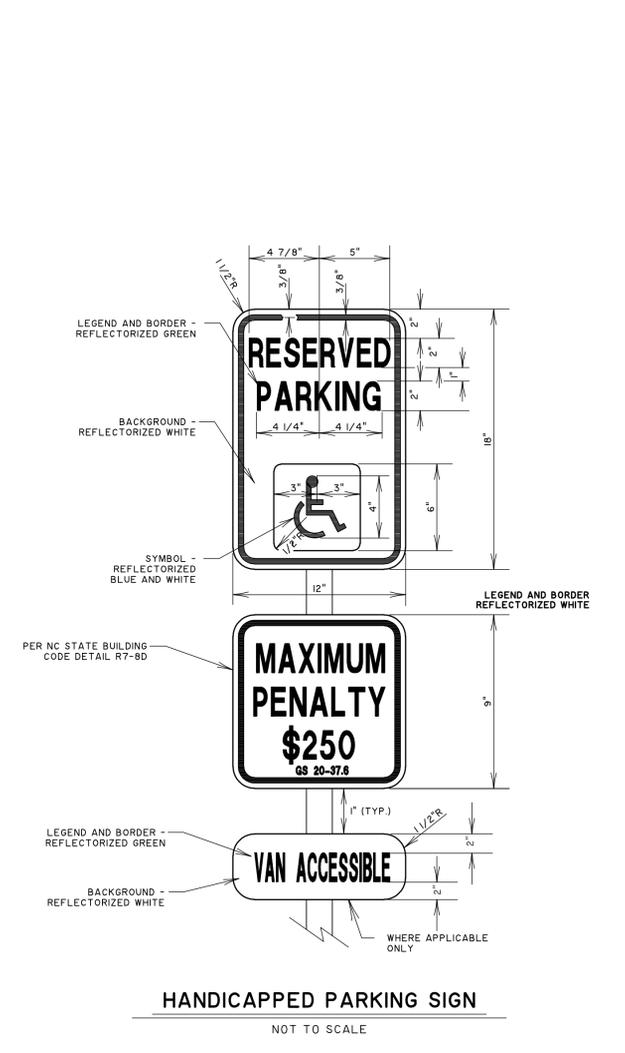
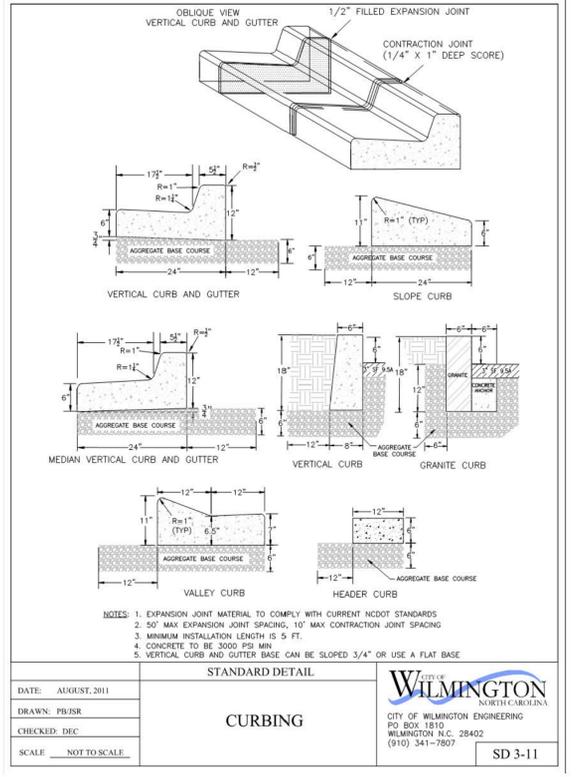
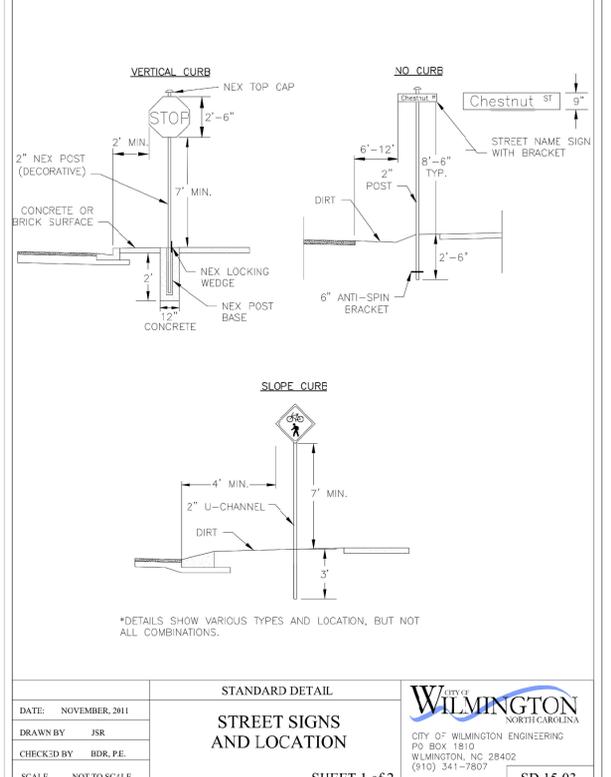
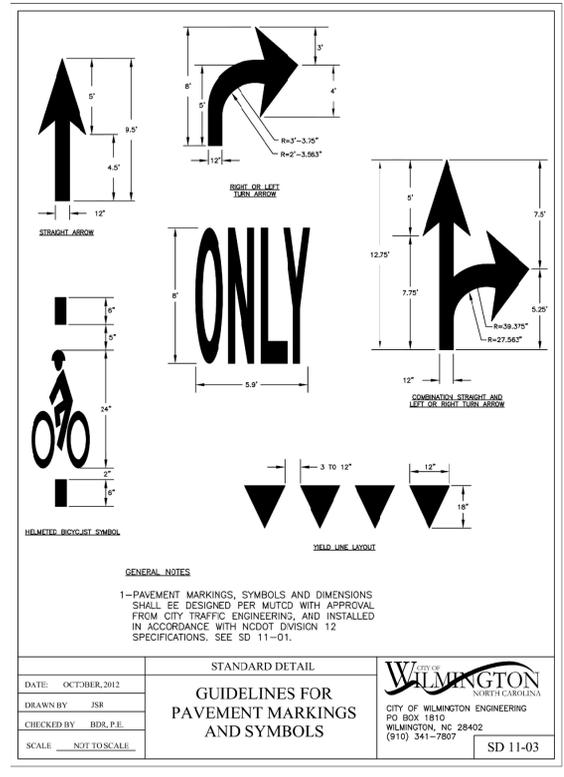
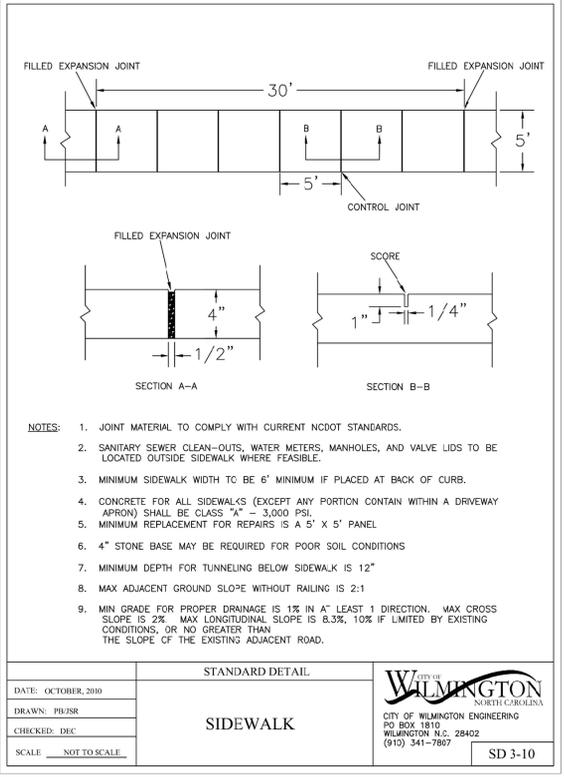
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**PRELIMINARY - NOT FOR CONSTRUCTION**

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JOB # 23284 DESIGNED: BDR REVIEWED: PBJSR/JDR

**SITE DEVELOPMENT PLANS**  
for  
**WAFFLE HOUSE**  
UNIT # \_\_\_\_\_  
2448 CAROLINA BEACH ROAD, WILMINGTON NORTH CAROLINA

REVISION DESCRIPTION  
REVISED PER CITY OF WILMINGTON COMMENTS

DATE: 09/06/13

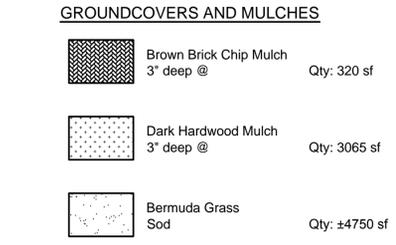
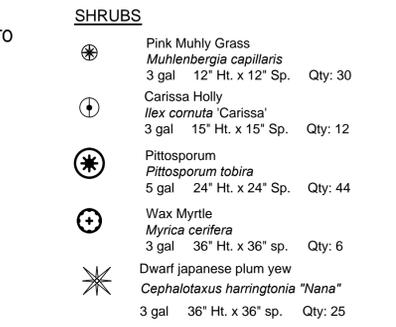
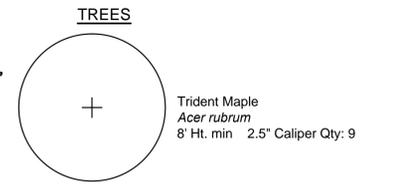
PROJECT NAME: **WAFFLE HOUSE**

UNIT # \_\_\_\_\_

2448 CAROLINA BEACH ROAD  
LAND LOT XXX  
CITY OF WILMINGTON  
NEW HANOVER COUNTY, NC

SHEET TITLE: **DETAILS**

PROJECT No. WAFXXX SHEET No. C3.1  
DATE: 06/22/13 ISSUE NO. 1

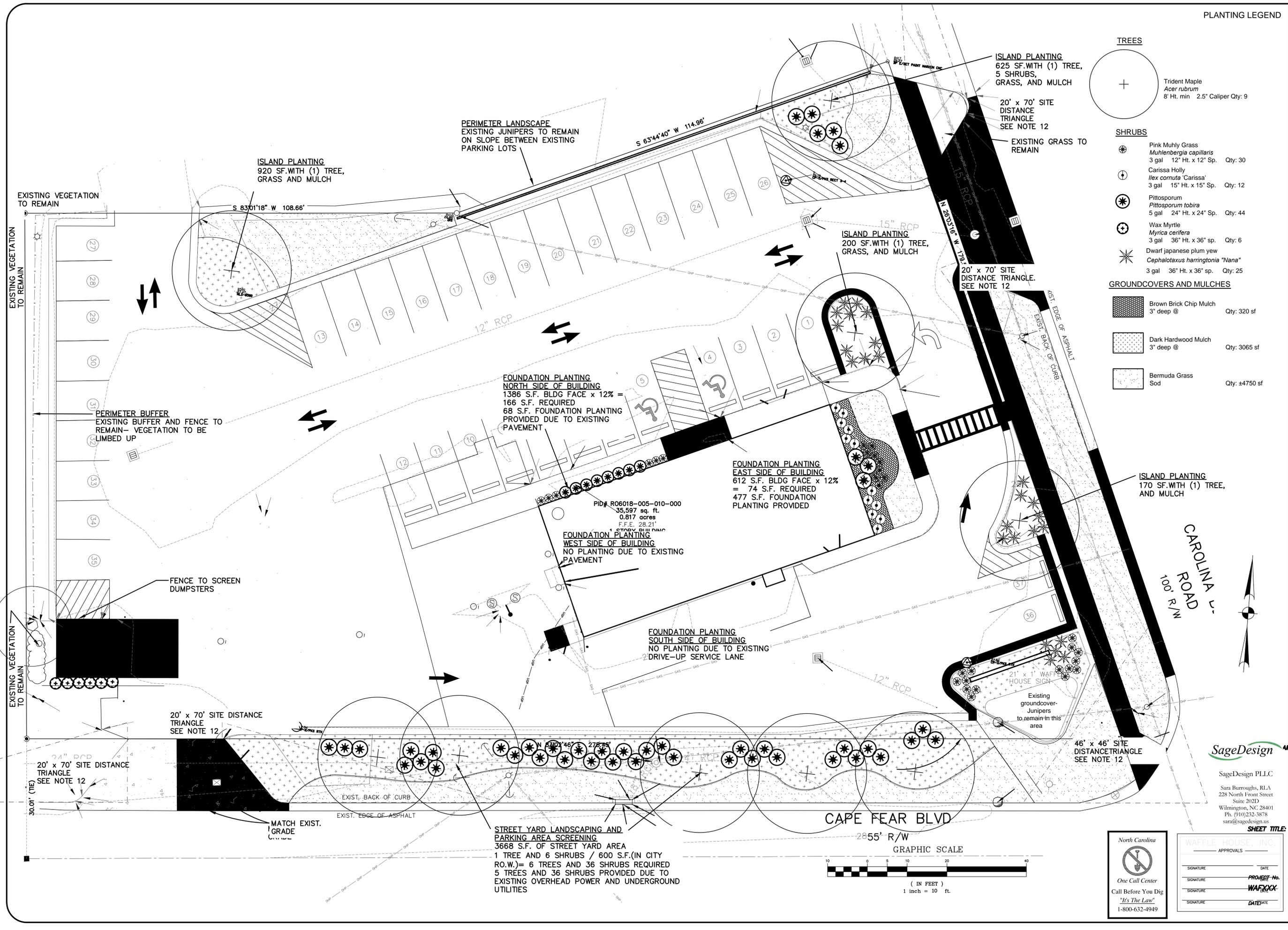


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JOB # 23284 DESIGNED: BOR REVIEWED/APPROD: JOR

**SITE DEVELOPMENT PLANS**  
for  
**WAFFLE HOUSE**  
UNIT # \_\_\_\_\_  
2488 CAROLINA BEACH ROAD, WILMINGTON, NORTH CAROLINA

REVISION	DATE	DESCRIPTION
A	09/08/13	REVISED PER CITY OF WILMINGTON COMMENTS
B	10/11/13	REVISED - CITY COMMENTS & CORRECTED SITE TRIANGLE
C		
D		

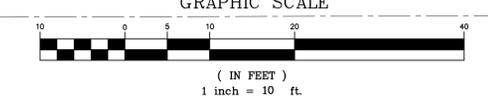
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**UNIT #:** \_\_\_\_\_  
2488 CAROLINA BEACH ROAD  
LAND LOT XXX  
CITY OF WILMINGTON  
NEW HANOVER COUNTY, NC  
**SHEET TITLE:** \_\_\_\_\_  
**LANDSCAPE PLAN**  
SHEET PROJECT No. \_\_\_\_\_ SHEET No. \_\_\_\_\_  
WAFXXX L1.0  
DATE: 06/22/13  
ISSUE NO. 1

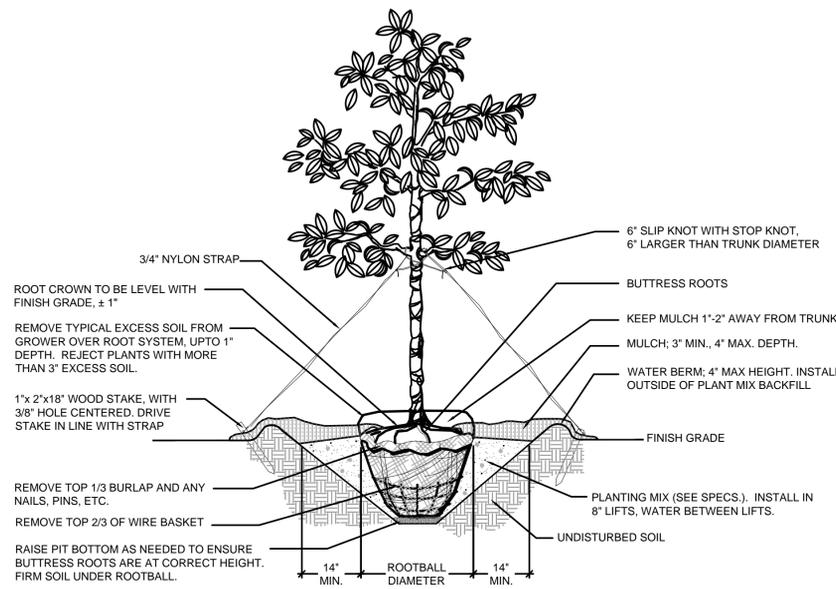


**SageDesign**  
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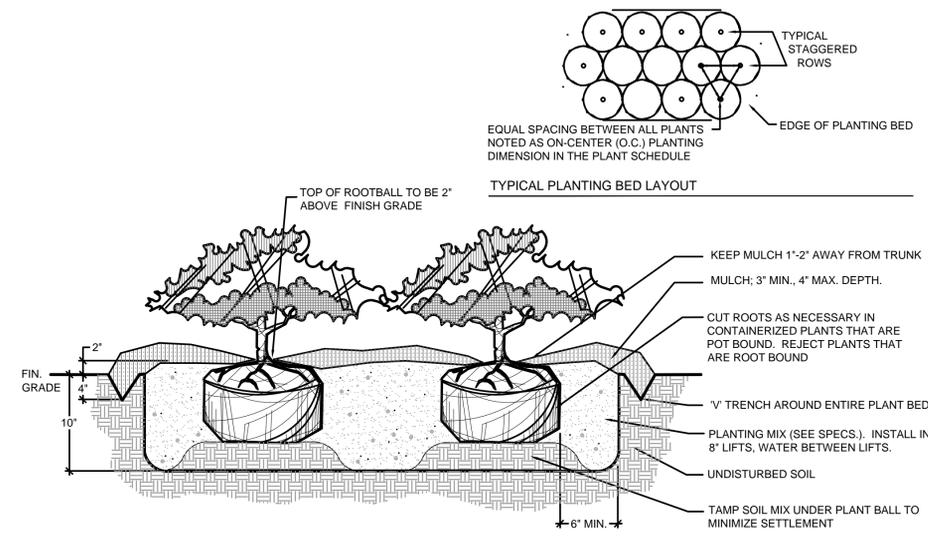
**SHEET TITLE:** \_\_\_\_\_  
**WAFFLE HOUSE, INC.**  
APPROVALS  
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
SIGNATURE \_\_\_\_\_ PROJECT No. \_\_\_\_\_  
SIGNATURE \_\_\_\_\_ WAFXXX DATE \_\_\_\_\_  
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

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**A** SINGLE STEM TREE INSTALLATION DETAIL  
SCALE: NTS



**B** SHRUB INSTALLATION DETAIL  
SCALE: NTS

**PLANT MATERIAL NOTES**

1. ALL PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
2. CONTAINERIZED PLANTS SHALL HAVE A ROOT SYSTEM SUFFICIENT ENOUGH IN DEVELOPMENT TO HOLD THE SOIL INTACT WHEN REMOVED FROM THE CONTAINER. THE ROOT SYSTEM SHALL NOT BE ROOT BOUND, A CONDITION WHERE THE ROOT SYSTEM IS DENSE IN MASS, EXCESSIVELY INTERTWINED, AND HAS ESTABLISHED A CIRCULAR GROWTH PATTERN.
3. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
4. PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY UNLESS APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SHIPMENT.
5. ALL TREE PITS, SHRUB BEDS AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS.
6. TOPSOIL AMENDMENTS REQUIRED FOR SOIL MIXES SHALL BE PROVIDED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR MUST LOAD, HAUL, MIX AND SPREAD ALL TOPSOIL AND OTHER SOIL ADDITIVES AS REQUIRED ON SITE.
7. CONTRACTOR SHALL VERIFY AND/OR AMEND ALL PLANTING SOILS TO ENSURE PROPER SUITABILITY INCLUDING STATE RECOMMENDED QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENTS AND SOIL AMENDMENTS TO BE ADDED TO PRODUCE QUALITY PLANTING SOIL FOR ALL PLANT MATERIAL TO SURVIVE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL PLANTING PITS PERCOLATE PROPERLY PRIOR TO PLANTING INSTALLATION.
9. SHRUBS, BULBS, AND GROUNDCOVERS SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN ON PLANTING PLANS AND/OR IN THE PLANT SCHEDULE.
10. THE CONTRACTOR SHALL THE VERIFY EXTENT OF SEEDING OR SOD AREA WITH OWNER REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

**TREE INSTALLATION NOTES**

1. ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI, 1990, PART 1, "SHADE AND FLOWERING TREES").
2. TREES SUPPLIED MUST HAVE BEEN PROPERLY PLANTED AND GROWN IN THE NURSERY. THE ROOT CROWN (ALSO CALLED THE TRUNK FLARE) SHALL BE EVIDENT NEAR THE TOP OF THE GROUND. ANY EXCESS SOIL, UP TO 3 INCHES COVERING THE CROWN WILL HAVE TO BE REMOVED CAREFULLY BY HAND, IN ORDER TO PREVENT ROOT SCRAPES. THE TREE IS THEN TO BE PLANTED WITH THE ROOT CROWN IN PROPER RELATION TO THE SURROUNDING GRADE. ANY TREES WITH MORE THAN 3 INCHES OF SOIL ON TOP OF THE ROOT CROWN WILL BE REJECTED. THE NURSERY OWNERS MAY DIG OVERSIZE BALLS AND REMOVE THE SOIL IN ORDER FOR THE ROOT SYSTEM DIAMETER (WHICH IS THE REQUIRED ROOT BALL DIAMETER) TO MEET THE SPECIFICATION FOR THE TRUNK CALIPER REQUIRED.
3. BALL AND BURLAPPED (B&B) PLANTS MUST HAVE FIRM, NATURAL BALLS OF EARTH, OF DIAMETER NOT LESS THAN RECOMMENDED IN THE "TREE AND SHRUB TRANSPLANTING MANUAL", AND BE OF SUFFICIENT DEPTH TO INCLUDE THE FIBROUS AND FEEDING ROOTS. PLANTS MOVED WITH A BALL WILL NOT BE ACCEPTED IF THE BALL IS DRY, CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATIONS.
4. REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, STRAPPING, WIRE OR NYLON TWINE FROM ROOT BALL. AFTER SETTING IN HOLE, CUT AWAY 2/3 OF WIRE BASKET, IF ANY, AND TOP 1/3 OF BURLAP.
5. SOAK ROOT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.
6. CONSTRUCT 4" HIGH SAUCER (WATER BERM) OUTSIDE OF PLANT MIX BACK FILL.
7. WHERE TREES ARE PLANTED IN ROWS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.
8. NO EXISTING TREES SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER REPRESENTATIVE EXCEPT WHERE NOTED ON PLANS. NO GRUBBING SHALL OCCUR WITHIN EXISTING TREE AREAS.
9. THE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL PROPOSED TREES AND OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER REPRESENTATIVE PRIOR TO INSTALLATION.
10. ALL TREES SHALL BE STAKED AT TIME OF INSTALLATION IN ACCORDANCE WITH PLANTING DETAILS.
11. THE CONTRACTOR SHALL ENSURE THAT TREES REMAIN VERTICAL AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
12. STAKES FOR TREE SUPPORT SHALL BE CONSTRUCTED OF 2"x2" x18' UNTREATED PINE. GUYING FABRIC SHALL BE 'ARBOR TAPE', AS MANUFACTURED BY NEPTCO, PAWTUCKET, RI. (401) 722-5500 (OR APPROVED EQUAL). COLOR SHALL BE OLIVE DRAB.

**SHRUB INSTALLATION NOTES**

1. CUT ROOTS AS NECESSARY IN CONTAINERIZED PLANTS THAT ARE POT BOUND. REJECT PLANTS THAT HAVE GIRDLED ROOT OR ARE BOUND.
2. INSTALL TOP OF PLANT BALL 2" ABOVE ADJACENT GRADE.
3. TAMP PLANT SOIL MIX FIRMLY IN 8" LIFTS AROUND PLANT BALL.
4. SOAK PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



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sara@sagedesign.us



WAFFLE HOUSE, INC.	
APPROVALS	
SIGNATURE _____	DATE _____



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DESIGNED: BOR | REVIEWED: APR/03 - JBS

**for**  
**WAFFLE HOUSE**  
UNIT # \_\_\_\_\_  
~ 2488 CAROLINA BEACH ROAD, WILMINGTON, NORTH CAROLINA

#	DATE	REVISION DESCRIPTION
A	09/06/13	REVISED PER CITY OF WILMINGTON COMMENTS
B	10/11/13	REVISED - CITY COMMENTS & CORRECTED SITE TRIANGLE
C		
D		

PROJECT NAME: \_\_\_\_\_

UNIT # \_\_\_\_\_  
2488 CAROLINA BEACH ROAD  
LAND LOT XXX  
CITY OF WILMINGTON  
NEW HANOVER COUNTY, NC

SHEET TITLE:  
LANDSCAPE DETAILS

PROJECT No. **WAFXXX** SHEET No. **L2.0**  
DATE: 06/22/13  
ISSUE No. 1