

LOCATION MAP

# TIBURON PARC APARTMENTS

PHASE II  
WILMINGTON, NC  
NEW HANOVER COUNTY

**OWNER/DEVELOPER**

NELSON MACRAE MIDTOWN ONE, LLC  
P.O. BOX 3145  
WILMINGTON, N.C. 28406  
910-392-3300

**SURVEYOR**

HANOVER DESIGN SERVICES, P.A.  
1123 FLORAL PARKWAY  
WILMINGTON NC 28403  
910-343-8002

**NORRIS & TUNSTALL**

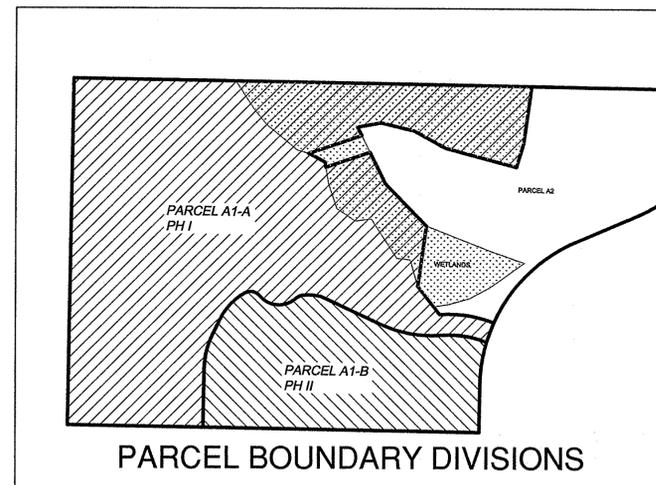
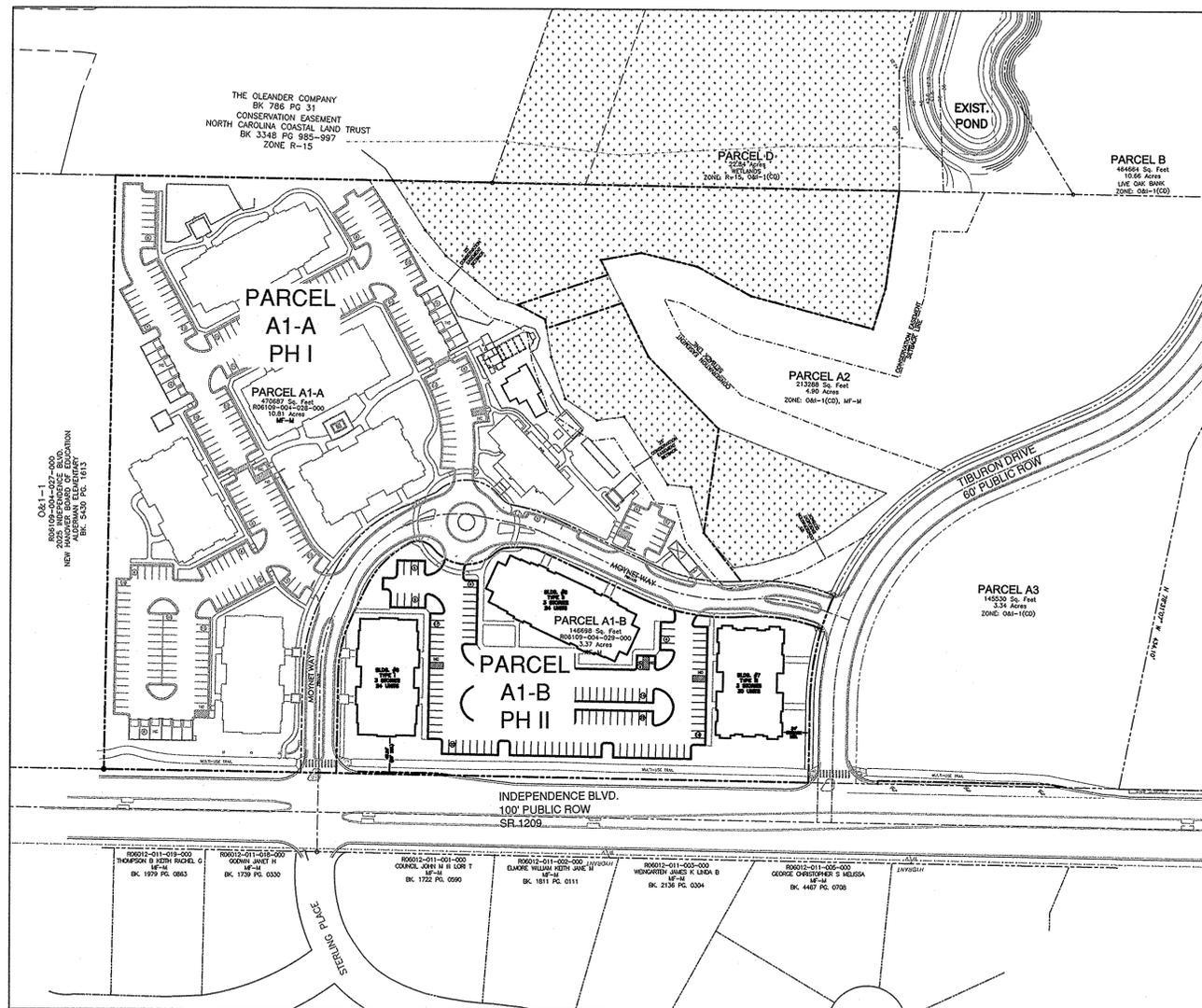
**CONSULTING ENGINEERS, INC.**

1127 FLORAL PARKWAY SUITES 300 & 400  
WILMINGTON, NC, 28403  
PHONE (910) 343-9653  
FAX (910) 343-9604  
office@nkteng.com  
licence #C-0520

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERMIT #:	_____
WATER CAPACITY:	_____ GPD
DWQ SEWER PERMIT #:	_____
SEWER CAPACITY:	_____ GPD
SEWER SHED # AND PLANT:	_____
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_



NOT TO SCALE

SCALE: 1" = 100'

**Approved Construction Plan**  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

SYMBOL	DATE	DESCRIPTION	BY
REVISIONS			
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**COVER SHEET**  
TIBURON PARC APARTMENTS PHASE II  
MOYNETT WAY  
WILMINGTON, NORTH CAROLINA

OWNER:  
NELSON MACRAE  
MIDTOWN ONE, LLC  
P.O. BOX 3145  
WILMINGTON, N.C. 28406  
910-392-3300

**NORRIS & TUNSTALL**  
**CONSULTING ENGINEERS, INC.**  
1127 FLORAL PARKWAY SUITE 400  
WILMINGTON, NC, 28403  
PHONE (910) 343-9653  
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office@nkteng.com  
licence #C-0520

13065  
DES. JST  
CHK. JPN  
DRWN. NKS  
DATE 10/29/13



**CO**

# BUILDING DATA PHASE II

BUILDING TYPE	# ON SITE	STORIES	HEIGHT	UNITS/BUILDING	UNITS/TOTAL	BLDG. AREA TOTAL	FOOTPRINT TOTAL
TYPE I	1	3	39'±	24	24	25,563 SF	10,955 SF
TYPE II	1	3	38.5'±	24	24	31,875 SF	13,350 SF
TYPE III	1	3	38.5'±	24	30	25,563 SF	10,730 SF
GARAGE	1	1	14.5'±			2,107 SF	2,107 SF
<b>TOTAL</b>	<b>4</b>				<b>78</b>	<b>85,108 SF</b>	<b>37,142 SF</b>

BUILDING TYPE	CONSTRUCTION TYPE	1 BR	2 BR	3 BR	TOTAL UNITS	BLDG AREA	FOOT PRINT	APPROX. BLDG. DIMS AT WIDEST POINT
TYPE I	V-B	12	12		24	25,563 SF	10,955 SF	150' X 79'
TYPE II	V-B		12	12	24	31,875 SF	13,350 SF	197' X 75'
TYPE III	V-B	24	6		30	25,563 SF	10,730 SF	142' X 83'
GARAGE						2,107 SF	2,107 SF	81' X 26'

# WATER/SEWER USAGE PHASE II

BLDG. TYPE	DOMESTIC GPM*	DOMESTIC GPD*	NCDENR SEWER (15A, 2T RULES GPD)
TYPE I	55 GPM	2160 GPD	24X240 GPD=5760 GPD
TYPE II	60.5 GPM	3600 GPD	12X240 GPD+12X360 GPD=7200 GPD
TYPE III	56.4 GPM	2160 GPD	30X240 GPD=7200 GPD
<b>TOTAL</b>			<b>20,160 GPD</b>

\*INFORMATION PROVIDED BY PLUMBING ENGINEER

### SITE DATA TABLE

USE: MULTIFAMILY APARTMENTS  
 PARCEL ID#: R05109-004-029-000 (PARCEL A1-B)  
 MAP ID#: 313609.06.1730.000  
 PARCEL AREA: 3.37 ACRES (146,698 SF)  
 PARCEL ADDRESS: 2945 MOYNET WAY  
 ZONING: MF-M  
 CAMA LAND USE: URBAN

BUILDING SETBACKS: (REQUIRED)  
 FRONT SETBACK: 35' TYPICAL, (BLDG. #6 39' MIN.)  
 INTERIOR SIDE SETBACK: 20' TYPICAL  
 CORNER SIDE SETBACK: 30' TYPICAL, (BLDG. #7 34' MIN.)  
 REAR SETBACKS: 25' TYPICAL

BUILDING SETBACKS: (PROPOSED)  
 FRONT SETBACK: 47.84'  
 INTERIOR SIDE SETBACK: 24'  
 CORNER SIDE SETBACK: 34'  
 REAR SETBACK: 29'

MAX. LOT COVERAGE: 30%  
 PROPOSED LOT COVERAGE: 25.31%  
 MAX. BUILDING HEIGHT: 96' (HEIGHTS OVER 35' REQUIRE ADDITIONAL SETBACK)  
 PROPOSED MAX. BUILDING HEIGHT: 38.5'±

DENSITY PHASE I & II:  
 ALLOWABLE DENSITY: SITE AREA 14.15 AC X 17 UNITS/AC=241 UNITS  
 PROPOSED DENSITY: 223 UNITS (13.11 UNITS/AC)

PARKING REQUIREMENT  
 PARKING REQ'D: MULTI-FAMILY MAX.: 2.5 SPACES PER UNIT  
 MIN.: 1 BR-1.5 PER UNIT  
 2 BR-2 PER UNIT  
 3 BR-2.25 PER UNIT

PHASE II REQUIRED MAX:  
 72 X 2.5=180

PHASE II REQUIRED MIN:  
 1 BR (36X1.5)=54  
 2 BR (30X2)=60  
 3 BR (12X2.25)=27  
 TOTAL=141  
 HC ACCESSIBLE=4

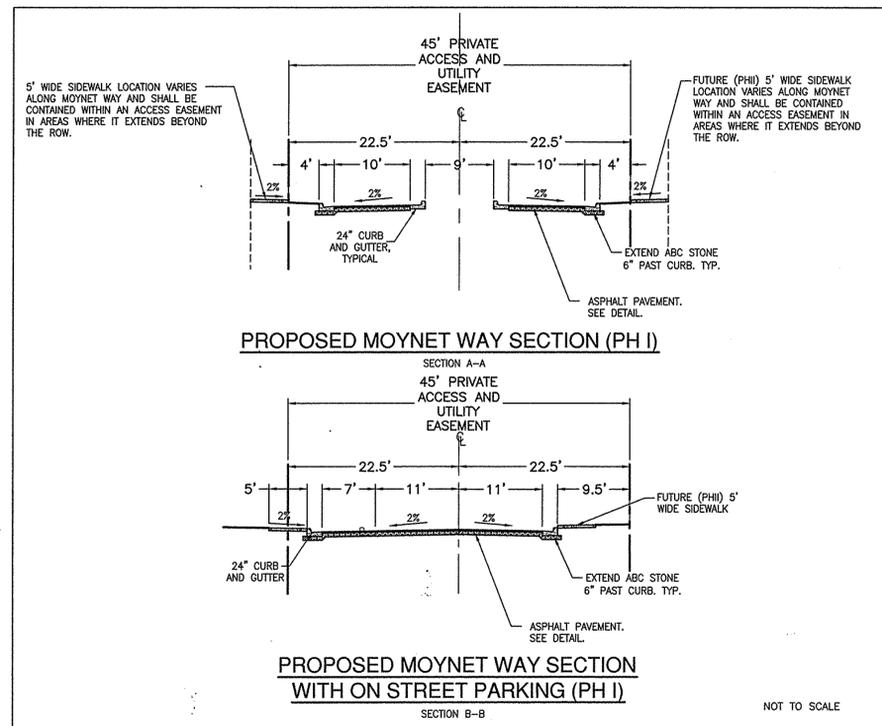
PHASE II PROVIDED:  
 OFF STREET: 134  
 HC ACCESSIBLE: 4  
 GARAGE PARKING: 6 (1 IS HC)  
 TOTAL: 144

BICYCLE PARKING:  
 PHASE II=10 REQD. BICYCLE PARKING:  
 PHASE II=10 PROVIDED

LANDSCAPING REQUIREMENTS (REFER TO LANDSCAPE PLAN)  
 15 TREES PER DISTURBED ACRE REQUIRED  
 DISTURBED AREA=3.5 AC X 15=52.5 TREES  
 INTERIOR LANDSCAPING: 20% CANOPY COVER OF INTERIOR AREA OF PARKING FACILITY  
 STREETYARD LANDSCAPING: 18 MULTIPLIER  
 FOUNDATION PLANTINGS: 12% FACE OF BUILDING X LENGTH  
 OPEN SPACE REQUIRED: 35% OF TRACT MINUS WETLANDS, 17.5% EITHER ACTIVE OR PASSIVE, 17.5% ACTIVE, PASSIVE, RECREATION, OR OPEN SPACE.  
 TOTAL TRACT: 14.17 AC MINUS 2.32 WETLANDS=11.85 AC  
 11.85 AC X .35 = 4.15 AC TOTAL  
 2.075 (90,387 SF) EITHER ACTIVE OR PASSIVE  
 2.075 (90,387 SF) ACTIVE, PASSIVE, RECREATION, OR OPEN SPACE  
 OPEN SPACE PROVIDED:  
 2.67 (116,552 SF) OPEN SPACE  
 2.57 (112,013 SF) ACTIVE/RECREATION

SOLID WASTE DISPOSAL:  
 DUMPSTER/COMPACTOR LOCATED AND CONSTRUCTED IN PHASE I. SEE PLAN.

PROPOSED IMPERVIOUS AREA:  
 BUILDINGS: 37,142 SF  
 ASPHALT, CURB AND GUTTER: 49,025 SF  
 SIDEWALK/CONCRETE: 6,462 SF  
 EXISTING MUP: 6,975 SF  
 TOTAL: 99,604 SF  
 PROPOSED % IMPERVIOUS: 67.89%



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 WATER CAPACITY: \_\_\_\_\_ GPD  
 DWQ SEWER PERMIT #: \_\_\_\_\_ GPD  
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 SEWER SHED # AND PLANT: \_\_\_\_\_  
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
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**Approved Construction Plan**  
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 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_

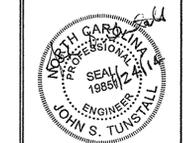
SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

**SITE DATA**  
 TIBURON PARC APARTMENTS PHASE II  
 2945 MOYNET WAY  
 WILMINGTON, NORTH CAROLINA

OWNER:  
 NELSON MACPHEE  
 MIDTOWN ONE, LLC  
 P.O. BOX 3145  
 WILMINGTON, N.C. 28406  
 910-392-3900

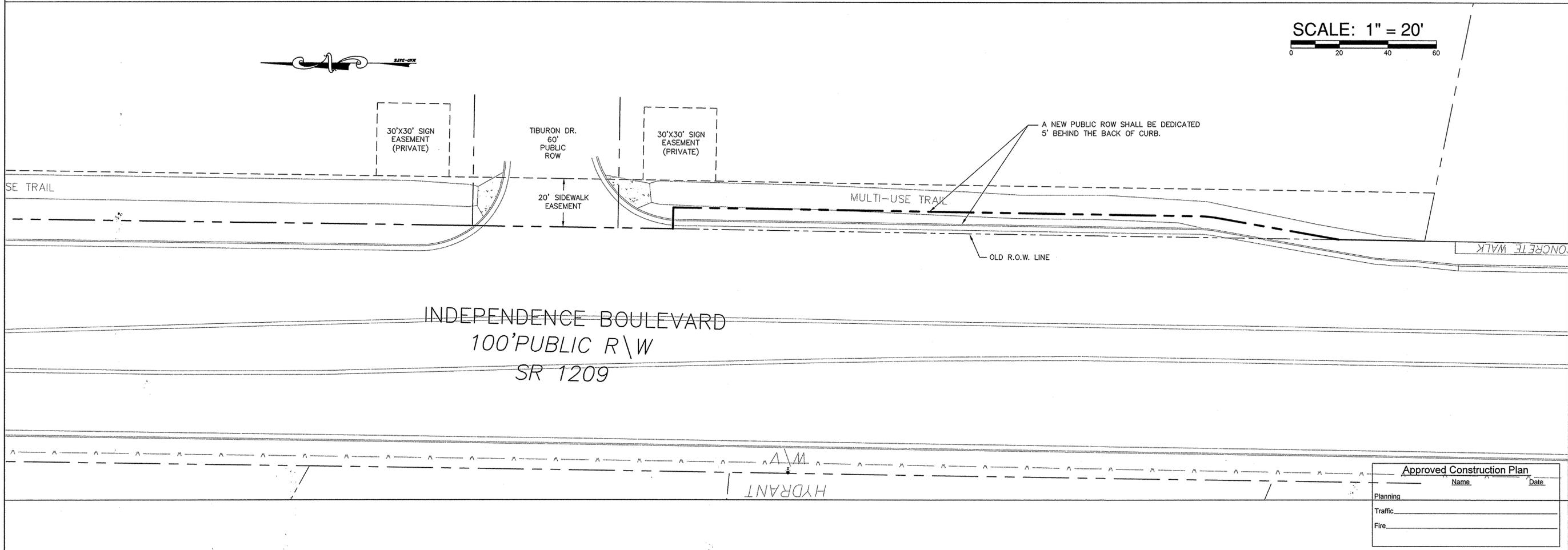
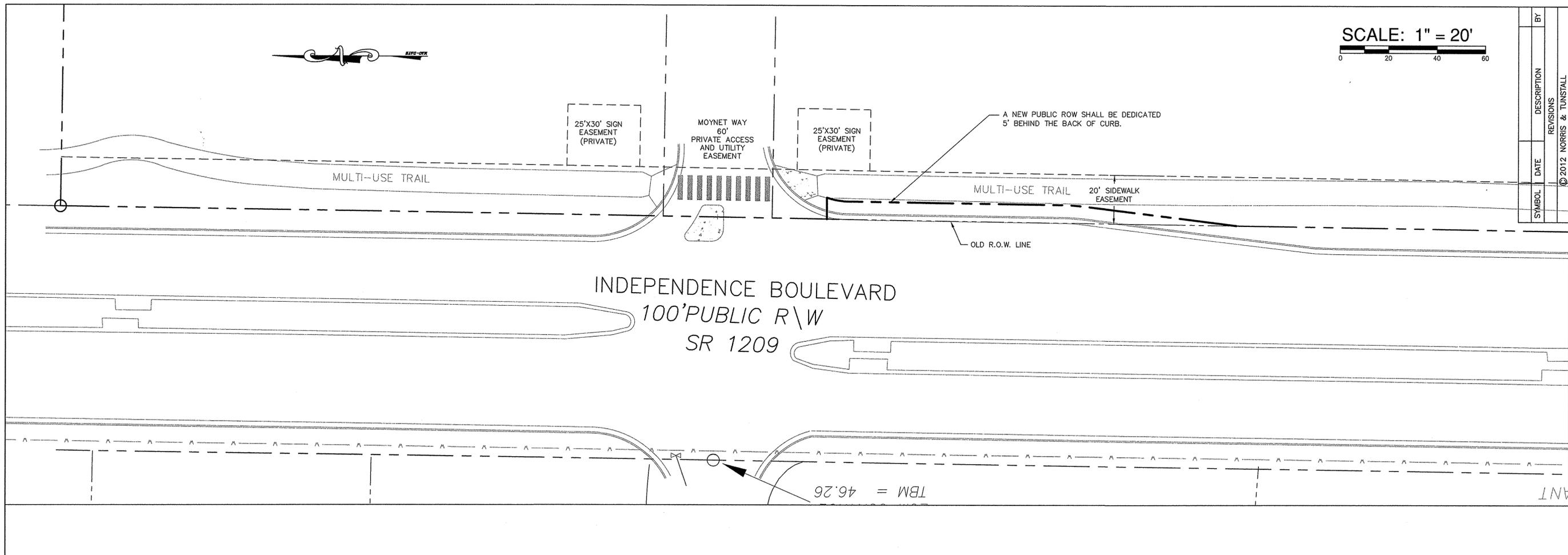
**NORRIS & TUNSTALL**  
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 SUITE 400  
 WILMINGTON, NC, 28403  
 PHONE (910) 343-9653  
 FAX (910) 343-9604  
 office@nkteng.com  
 licence #C-3641

13065  
 DES. JST  
 CKD. JPN  
 DRWN. NKS  
 DATE 1/31/14



**C1**

F:\Projects\2013\13065 Tiburon Parc Apts. - Phase II (78 Units)\13065 Plans\dwg\13065.master.dwg, 1/31/2014 9:44:02 AM



SCALE: 1" = 20'

SCALE: 1" = 20'

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

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**RIGHT-OF-WAY DEDICATION AND ACCESS AND MAINTENANCE EASEMENT**  
**TIBURON PARC APARTMENTS**  
 2945 MOYNET WAY  
 WILMINGTON, NORTH CAROLINA

OWNER:  
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 MIDTOWN ONE, LLC  
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 910-392-3300

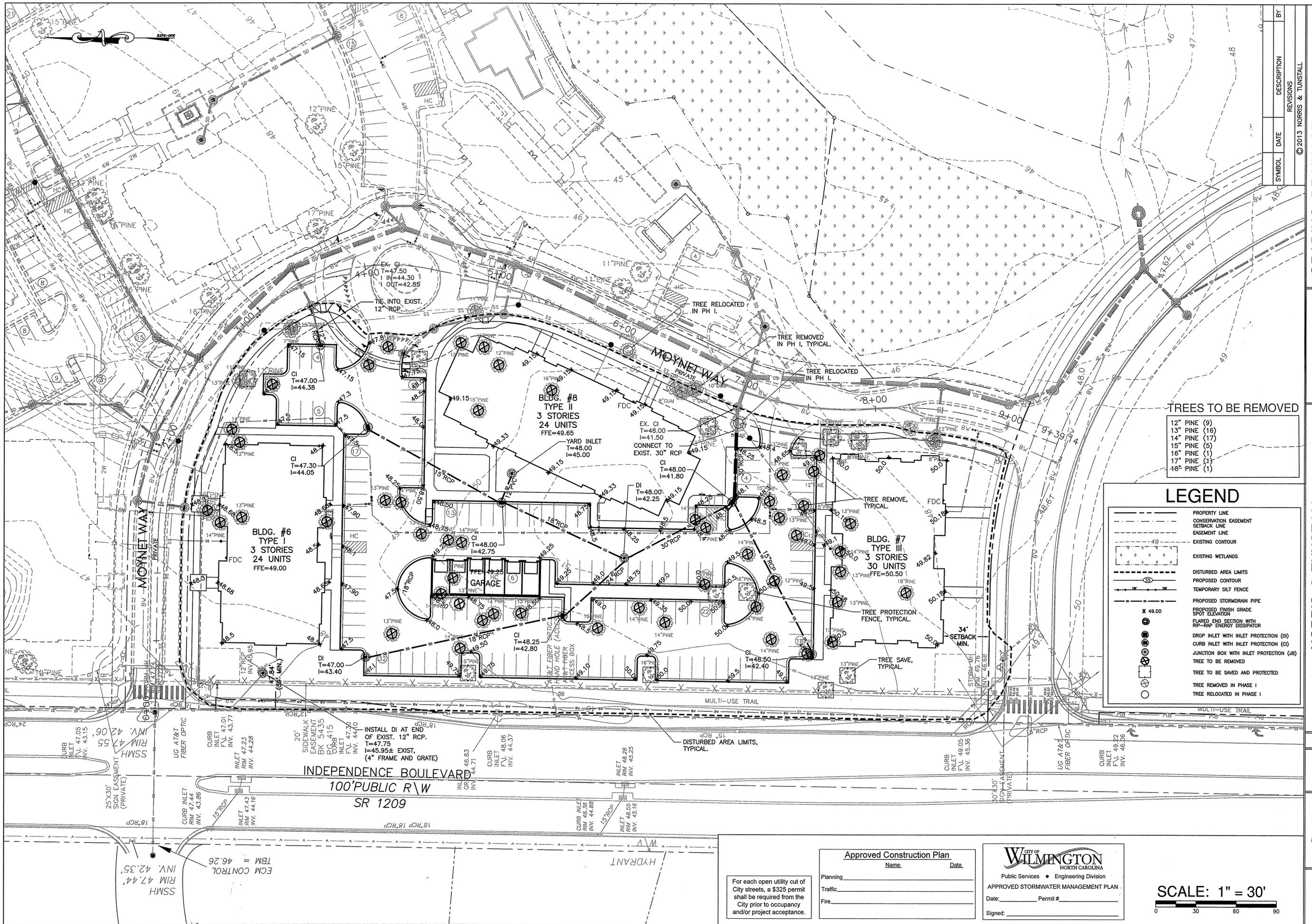
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 WILMINGTON, NC, 28403  
 PHONE (910) 343-9653  
 FAX (910) 343-9604  
 office@nteng.com  
 license #E-5851

PERMIT SET  
**12073**  
 DES. JST  
 CKD. JPN  
 DRWN. NKS  
 DATE 8/19/13



Approved Construction Plan	
Name	Date
Planning	
Traffic	
Fire	

**C10**



SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

**GRADING, DRAINAGE AND EROSION CONTROL PLAN**  
**TIBURON PARC APARTMENTS PHASE II**  
 2945 MOYNET WAY  
 WILMINGTON, NORTH CAROLINA

OWNER:  
 NELSON MACRAE  
 MIDTOWN ONE, LLC  
 P.O. BOX 3145  
 WILMINGTON, N.C. 28406  
 910-392-3900

**NORRIS & TUNSTALL**  
**CONSULTING ENGINEERS, INC.**  
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 PHONE (910) 343-9653  
 FAX (910) 343-9604  
 office@nteng.com  
 licence #C-3641

**TREES TO BE REMOVED**

12" PINE	(9)
13" PINE	(16)
14" PINE	(17)
15" PINE	(5)
16" PINE	(1)
17" PINE	(1)
18" PINE	(1)

**LEGEND**

- PROPERTY LINE
- CONSERVATION EASEMENT
- SETBACK LINE
- EASEMENT LINE
- EXISTING CONTOUR
- EXISTING WETLANDS
- DISTURBED AREA LIMITS
- PROPOSED CONTOUR
- TEMPORARY SILT FENCE
- PROPOSED STORMDRAIN PIPE
- PROPOSED FINISH GRADE
- SPOT ELEVATION
- FLARED END SECTION WITH RIP-RAP ENERGY DISSIPATOR
- DROP INLET WITH INLET PROTECTION (DI)
- CURB INLET WITH INLET PROTECTION (CI)
- JUNCTION BOX WITH INLET PROTECTION (JB)
- TREE TO BE REMOVED
- TREE TO BE SAVED AND PROTECTED
- TREE REMOVED IN PHASE I
- TREE RELOCATED IN PHASE I

13065  
 DES. JST  
 CKD. JPN  
 DRWN. NKS  
 DATE 1/24/14



**C2**

**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

Signed \_\_\_\_\_

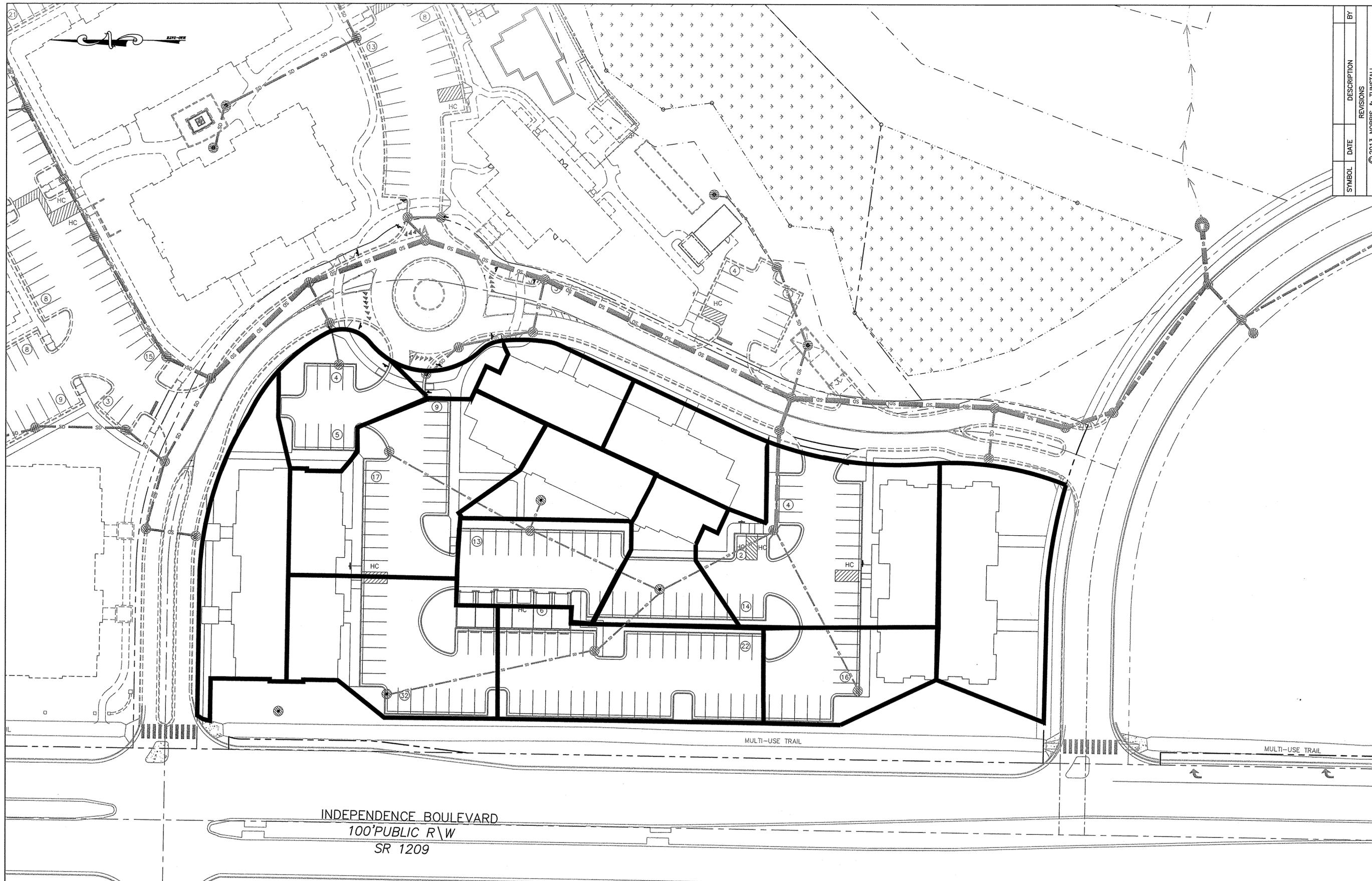
**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
**APPROVED STORMWATER MANAGEMENT PLAN**

Date: \_\_\_\_\_ Permit # \_\_\_\_\_



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SYMBOL	DATE	DESCRIPTION	BY
REVISIONS			
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**DRAINAGE AREA PLAN**  
**TIBURON PARC APARTMENTS PHASE II**  
 2945 MOYNET WAY  
 WILMINGTON, NORTH CAROLINA

OWNER:  
 NELSON MACRAE  
 MIDTOWN ONE, LLC  
 P.O. BOX 3145  
 WILMINGTON, N.C. 28406  
 910-382-3300

**NORRIS & TUNSTALL**  
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 WILMINGTON, NC, 28403  
 PHONE (910) 343-9653  
 FAX (910) 343-9604  
 office@nteng.com  
 license #C-3641

13065  
 DES. JST  
 CKD. JPN  
 DRWN. NKS  
 DATE 1/31/14



**C2.1**

INDEPENDENCE BOULEVARD  
 100' PUBLIC R/W  
 SR 1209

ECM CONTROL  
 TBM = 46.26

HYDRANT

MULTI-USE TRAIL

MULTI-USE TRAIL

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**Approved Construction Plan**

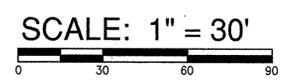
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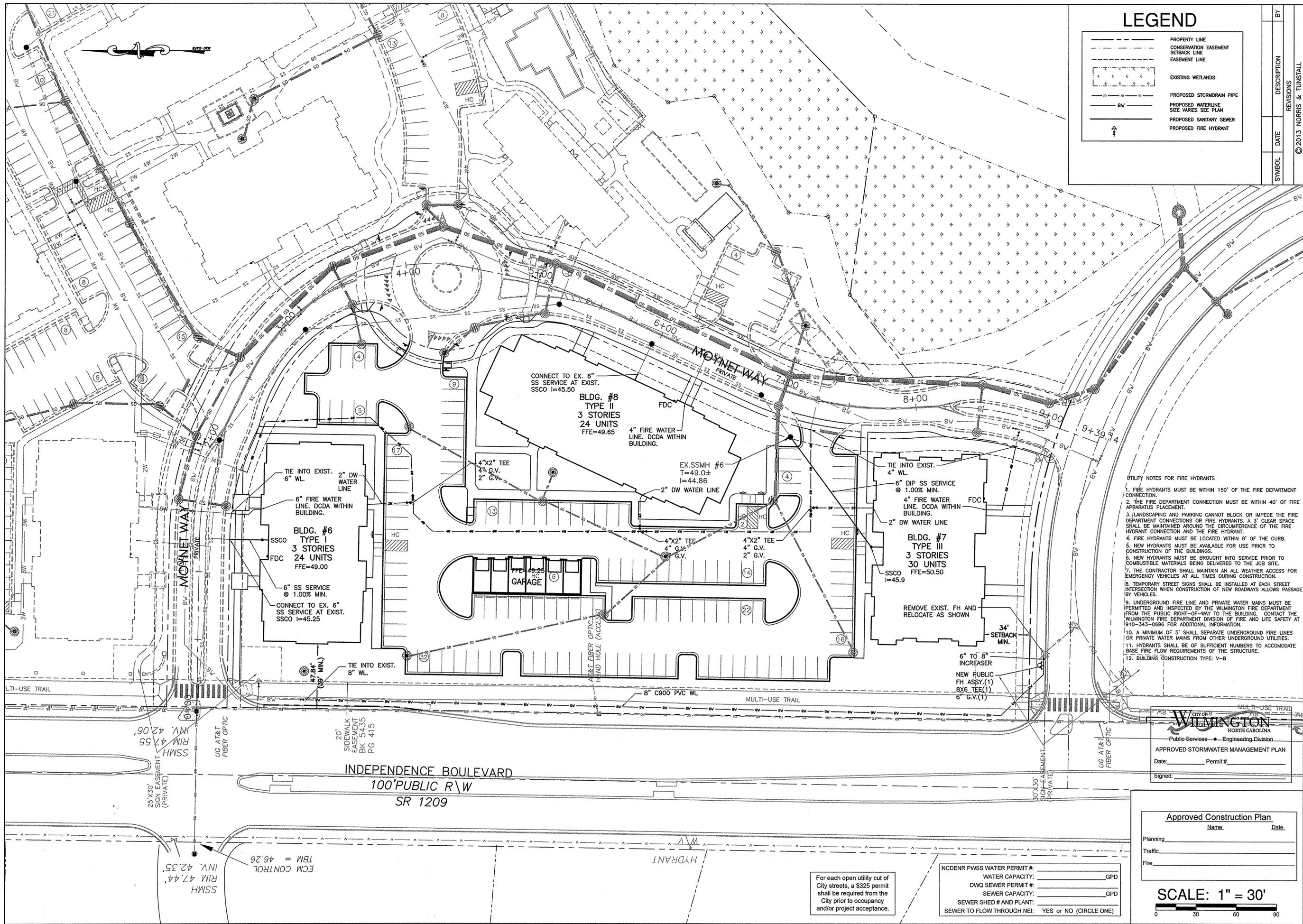
Planning \_\_\_\_\_

Traffic \_\_\_\_\_

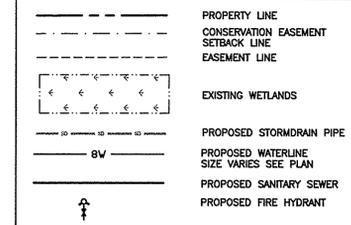
Fire \_\_\_\_\_

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_





**LEGEND**



SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

**UTILITY PLAN**  
**TIBURON PARC APARTMENTS PHASE II**  
 2945 MOYNET WAY  
 WILMINGTON, NORTH CAROLINA

OWNER:  
 NELSON MACRAE  
 MIDTOWN ONE, LLC  
 P.O. BOX 3145  
 WILMINGTON, N.C. 28406  
 910-392-3900

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 office@nkteng.com  
 license #C-5641

- UTILITY NOTES FOR FIRE HYDRANTS
- FIRE HYDRANTS MUST BE WITHIN 150' OF THE FIRE DEPARTMENT CONNECTION.
  - THE FIRE DEPARTMENT CONNECTION MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
  - LANDSCAPING AND PARKING CANNOT BLOCK OR IMPEDE THE FIRE DEPARTMENT CONNECTIONS OR FIRE HYDRANTS. A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE FIRE HYDRANT CONNECTION AND THE FIRE HYDRANT.
  - FIRE HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
  - NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS.
  - NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
  - THE CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
  - TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.
  - UNDERGROUND FIRE LINE AND PRIVATE WATER MAINS MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
  - A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
  - HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF THE STRUCTURE.
  - BUILDING CONSTRUCTION TYPE: V-B

**WILMINGTON**  
 NORTH CAROLINA  
 Public Services - Engineering Division

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Signed: \_\_\_\_\_

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Fire	

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 WATER CAPACITY: \_\_\_\_\_ GPD  
 DWQ SEWER PERMIT #: \_\_\_\_\_  
 SEWER CAPACITY: \_\_\_\_\_ GPD  
 SEWER SHED # AND PLANT: \_\_\_\_\_  
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

13065

DES. JST  
 CKD. JPN  
 DRWN. NKS

DATE 1/24/14



**C3**

**PARCEL A1-A**  
 470687 Sq. Feet  
 R06109-004-028-000  
 10.81 Acres  
 MF-M  
 TIBURON APTS. PH I

**PARCEL A2**  
 213288 Sq. Feet  
 4.90 Acres  
 ZONE: O&I-1(CD), MF-M

**PARCEL A1-B**  
 146698 Sq. Feet  
 R06109-004-029-000  
 3.37 Acres

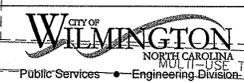
**BLDG. #6**  
 TYPE I  
 3 STORIES  
 24 UNITS

**BLDG. #8**  
 TYPE II  
 3 STORIES  
 24 UNITS

**BLDG. #7**  
 TYPE III  
 3 STORIES  
 30 UNITS

**LEGEND**

	PROPERTY LINE/ROW
	STREETYARD LINE
	EXISTING WETLANDS
	ASPHALT
	CONCRETE



APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

- NOTES:
- TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
  - ALL PAVEMENT FINISHES IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS SHALL BE THERMOPLASTIC AND MEET CITY AND NCDOT STANDARDS.
  - ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
  - SEE SITE DATA FOR BUILDING DIMENSIONS.
  - NO GATES IMPEDING ACCESS WITHIN THE DEVELOPMENT WILL BE PERMITTED ON MOYNET WAY.
  - LANDSCAPING SHALL BE LOCATED TO AVOID UTILITIES.
  - PHASE II WILL UTILIZE BICYCLE PARKING AREA PROVIDED IN PHASE I. REFER TO SHEET C2, NORRIS AND TUNSTALL JOB NUMBER 12073.
  - PHASE II WILL UTILIZE DUMPSTERS AND TRASH FACILITIES PROVIDED IN PHASE I. REFER TO SHEET C2, NORRIS AND TUNSTALL JOB NUMBER 12073.

**LAYOUT PLAN**  
 TIBURON PARC APARTMENTS PHASE II  
 2945 MOYNET WAY  
 WILMINGTON, NORTH CAROLINA

OWNER:  
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 license #0-3641

13065

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 DATE 1/24/14



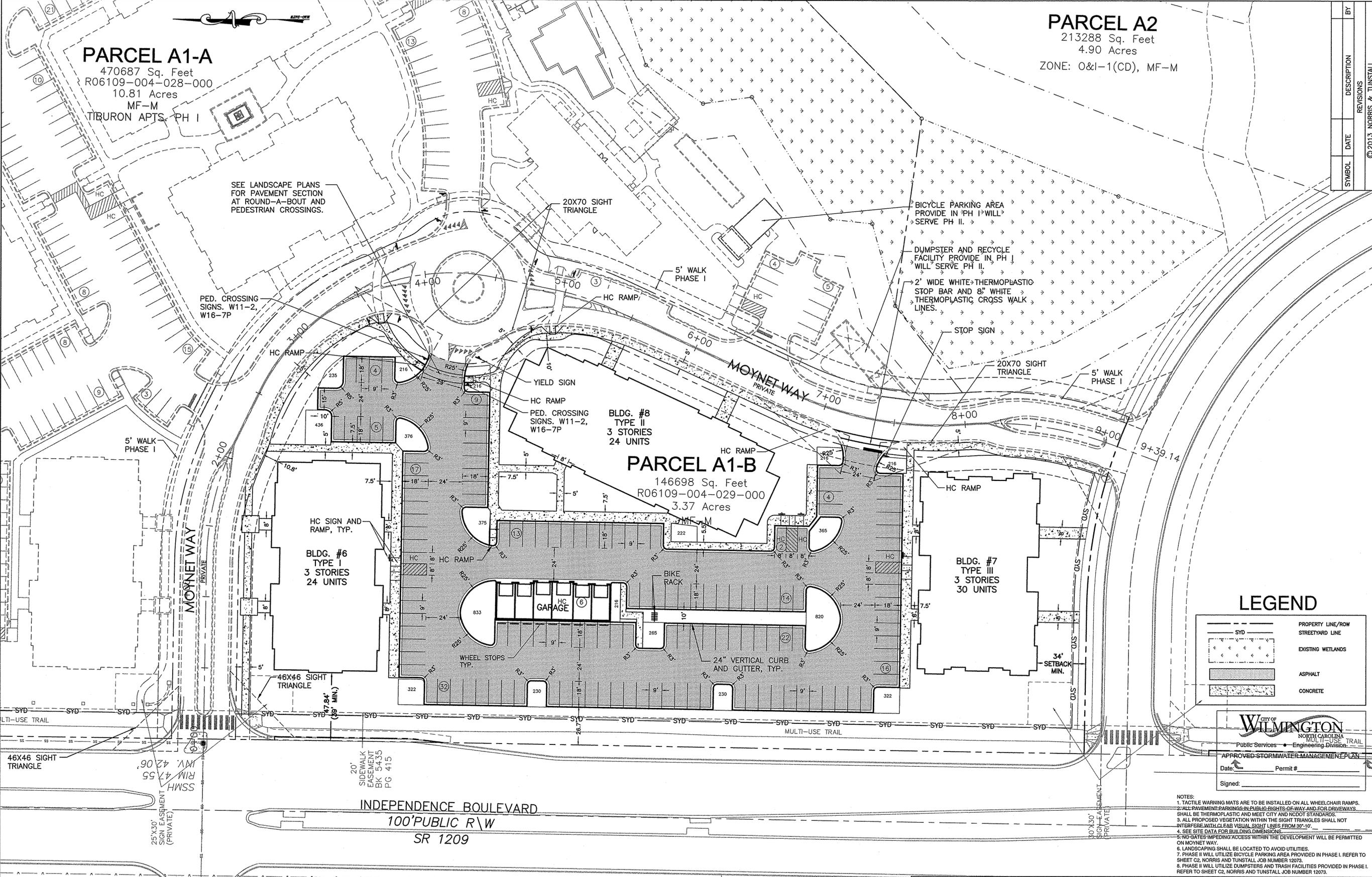
**C4**

**Approved Construction Plan**

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Fire	

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**SCALE: 1" = 30'**



R06012-011-018-000  
 GODWIN JANET H  
 MF-M  
 BK. 1739 PG. 0330  
 HOMES

R06012-011-003-000  
 WEINGARTEN JAMES K LINDA  
 MF-M  
 BK. 2136 PG. 0304  
 RESIDENTIAL HOMES

R06012-011-002-000  
 ELMORE WILLIAM KEITH JANE M  
 MF-M  
 BK. 1811 PG. 0111  
 RESIDENTIAL HOMES

R06012-011-100-000  
 COUNCIL JOHN M III LORI T  
 MF-M  
 BK. 1722 PG. 0590  
 RESIDENTIAL HOMES

R06012-011-010-000  
 TBM = 46.26  
 ECM CONTROL

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THE OLEANDER COMPANY  
BK 786 PG 31  
CONSERVATION EASEMENT  
NORTH CAROLINA COASTAL LAND TRUST  
BK 3348 PG 985-997

**PARCEL D**  
22.84 Acres  
WETLANDS  
ZONE: R-15, O&I-1(CD)

**WETLAND**  
2.94 AC  
2.32 AC TRACT A1-1  
0.62 AC TRACT A2

**PARCEL A1-A**  
470687 Sq. Feet  
R06109-004-028-000  
10.81 Acres  
MF-M

**PARCEL A1-B**  
146698 Sq. Feet  
R06109-004-029-000  
3.37 Acres  
MF-M

**PARCEL A2**  
213288 Sq. Feet  
4.90 Acres  
ZONE: O&I-1(CD), MF-M

**PARCEL A3**  
145530 Sq. Feet  
3.34 Acres  
ZONE: O&I-1(CD)

**LEGEND**

[Pattern]	OPEN SPACE
[Pattern]	ACTIVE/RECREATION OPEN SPACE
[Line]	PROPERTY LINE
[Line]	CONSERVATION EASEMENT SETBACK LINE
[Line]	EASEMENT LINE
[Line]	BUFFER LINE
[Line]	BUILDING SETBACK LINE
[Line]	STREETYARD LINE
[Pattern]	EXISTING WETLANDS

OPEN SPACE REQUIRED: 35% OF TRACT MINUS WETLANDS, 17.5% EITHER ACTIVE OR PASSIVE, 17.5% ACTIVE, PASSIVE, RECREATION, OR OPEN SPACE.  
TOTAL TRACT: 14.17 AC MINUS 2.32 WETLANDS=11.85 AC  
11.85 AC X .35 = 4.15 AC TOTAL  
2.075 (90,387 SF) EITHER ACTIVE OR PASSIVE  
2.075 (90,387 SF) ACTIVE, PASSIVE, RECREATION, OR OPEN SPACE

OPEN SPACE PROVIDED:  
2.67 (116,552 SF) OPEN SPACE  
2.57 (112,013 SF) ACTIVE/RECREATION

**Approved Construction Plan**

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning: \_\_\_\_\_

Traffic: \_\_\_\_\_

Fire: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

**OPEN SPACE PLAN**  
TIBURON PARC APARTMENTS  
2945 MOYNET WAY  
WILMINGTON, NORTH CAROLINA

OWNER:  
NELSON MACRAE  
MIDTOWN ONE, LLC  
P.O. BOX 3145  
WILMINGTON, N.C. 28406  
910-392-3300

**NORRIS & TUNSTALL**  
CONSULTING ENGINEERS, INC.

1127 FLORAL PARKWAY  
SUITE 400  
WILMINGTON, NC, 28403

PHONE (910) 343-9853  
FAX (910) 343-9604  
office@nteng.com  
license #C-3641

PERMIT SET  
12073

DES. JST  
CHK. JPN  
DRWN. NKS

DATE 8/19/13

PROFESSIONAL SEAL  
NORRIS & TUNSTALL  
ENGINEERS  
1981

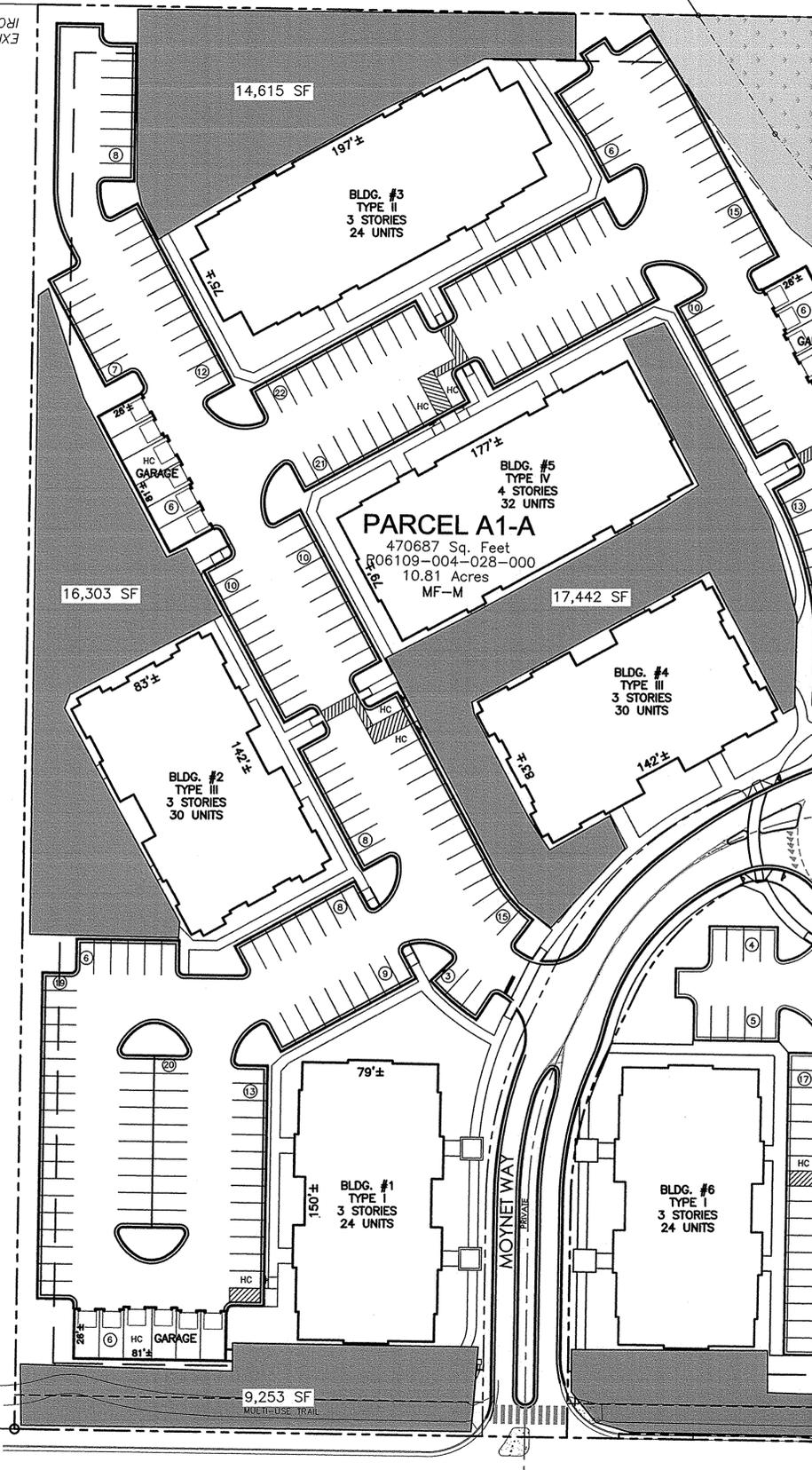
**SCALE: 1" = 40'**

0 40 80 120

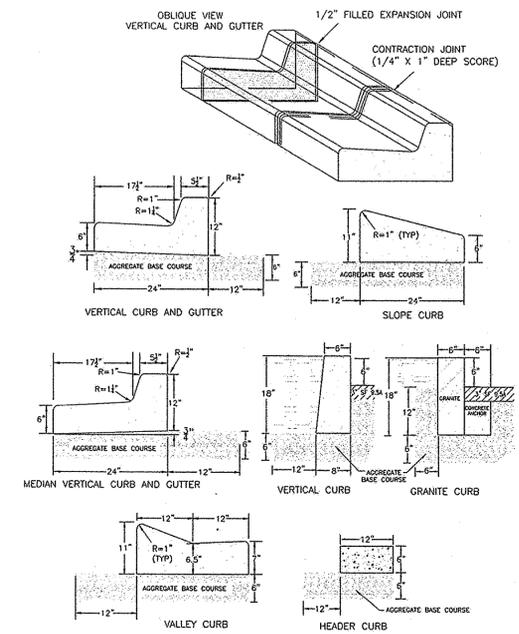
**C4.1**

O&I-1  
R06109-004-027-000  
2025 INDEPENDENCE BLVD.  
NEW HANOVER BOARD OF EDUCATION  
ALDERMAN ELEMENTARY  
BK. 5430 PG. 1613

INDEPENDENCE BOULEVARD  
100' PUBLIC R\W  
SR 1209

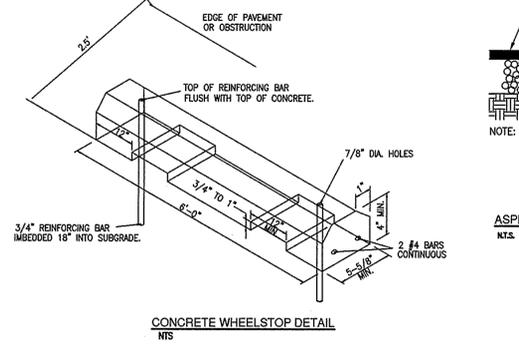




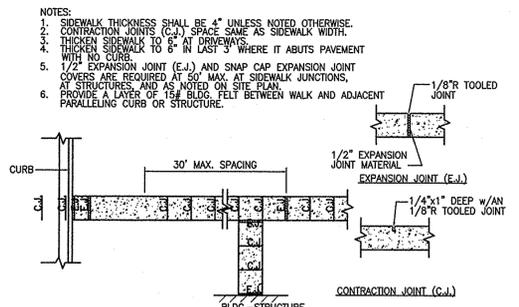


**NOTES:**  
 1. EXPANSION JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS  
 2. 50' MAX EXPANSION JOINT SPACING, 10' MAX CONTRACTION JOINT SPACING  
 3. MINIMUM INSTALLATION LENGTH IS 5 FT.  
 4. CONCRETE TO BE 3000 PSI MIN  
 5. VERTICAL CURB AND CUTTER BASE CAN BE SLOPED 3/4" OR USE A FLAT BASE

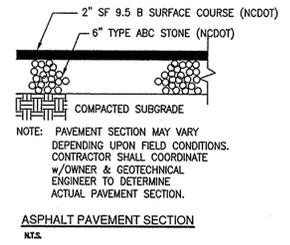
**CURBING DETAIL**  
SD 3-11 NTS



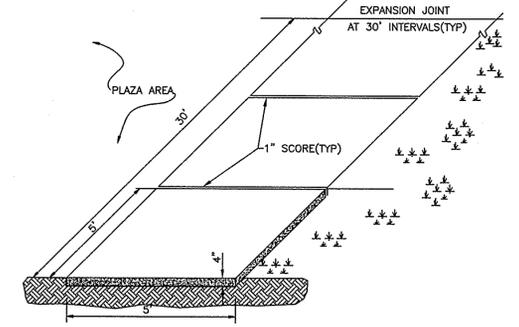
**CONCRETE WHEELSTOP DETAIL**  
NTS



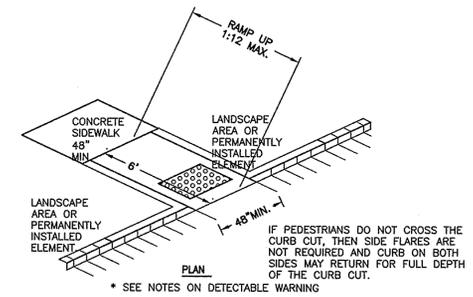
**SIDEWALK JOINT DETAILS**  
NTS



**ASPHALT PAVEMENT SECTION**  
NTS



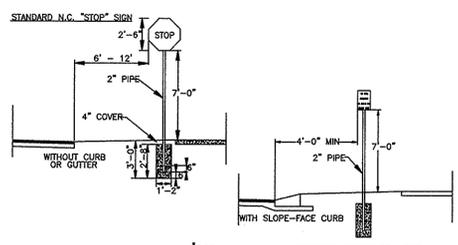
**STANDARD SIDEWALK DETAIL**  
SD 8-15 NTS



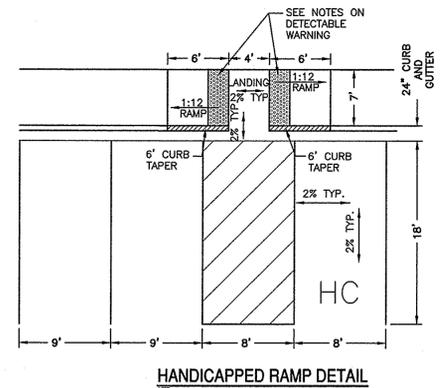
**WHEEL CHAIR RAMP**  
SECTION

**NOTE:**  
 1. RAMP SHALL HAVE A DETECTABLE WARNING COMPLYING WITH ADA GUIDELINES.  
 2. THE DETECTABLE WARNINGS AT CURB RAMPS SHALL BE 24 INCHES MINIMUM IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE.  
 3. MARKED CROSSINGS THAT ARE RAISED TO THE SAME LEVEL AS THE ADJOINING SIDEWALK SHALL BE PRECEDED BY A 24 INCH DEEP DETECTABLE WARNING EXTENDING THE FULL WIDTH OF THE MARKED CROSSING.  
 4. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN (23 MM), A HEIGHT OF NOMINAL 0.2 IN (5 MM) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN (60 MM) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHOULD CONTRAST BY AT LEAST 70% - REFER TO ADA GUIDELINES FOR DEFINITION OF "CONTRAST".  
 5. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON INTERIOR SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE CONTACT.

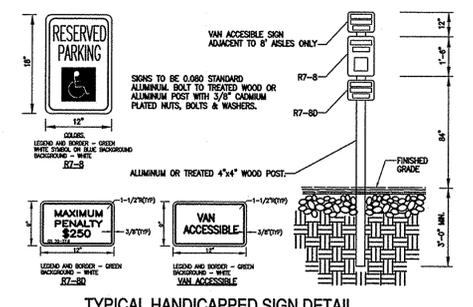
**TYPICAL SIDEWALK AND WHEEL CHAIR RAMP DETAIL**  
NTS



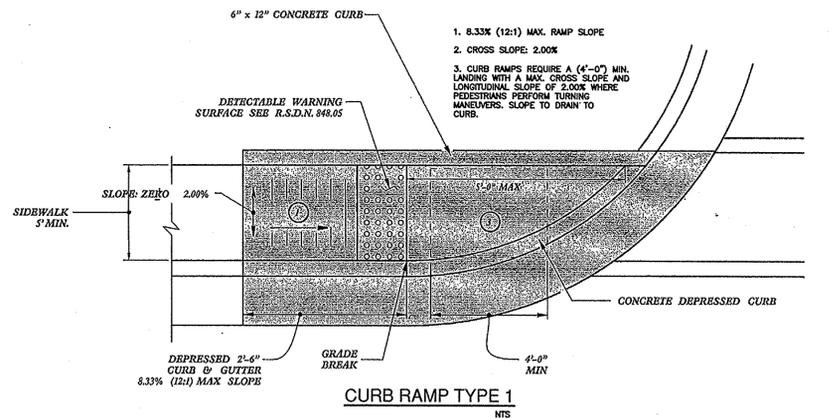
**STANDARD SIGN INSTALLATION LOCATION**  
SD 15-03 NOT TO SCALE



**HANDICAPPED RAMP DETAIL**  
NTS



**TYPICAL HANDICAPPED SIGN DETAIL**  
NTS



**CURB RAMP TYPE 1**  
NTS

**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

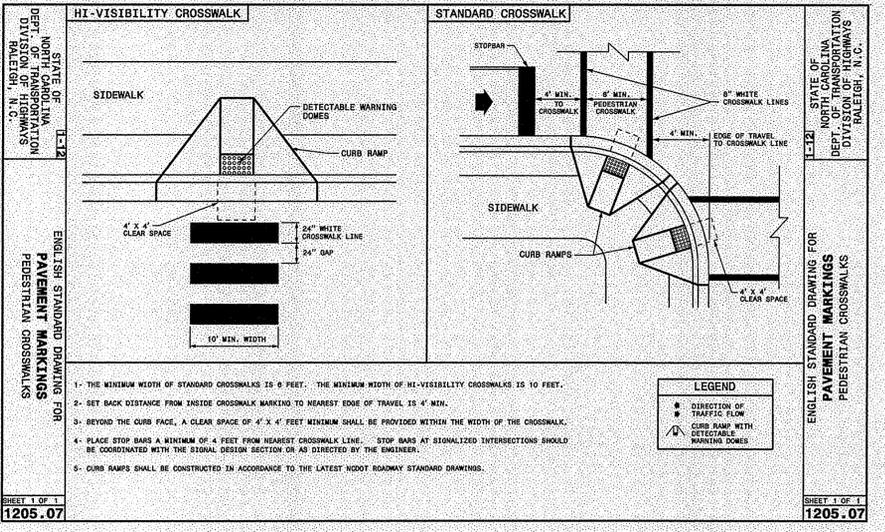
**APPROVED STORMWATER MANAGEMENT PLAN**

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

- CITY OF WILMINGTON STANDARD NOTES**
- CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING AT 1-800-632-4849.
  - PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
  - ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
  - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
  - INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
  - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
  - TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
  - IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. POSTED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
  - CONTACT TRAFFIC ENGINEERING AT 341-7888 FOURTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
  - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
  - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND CURBING WILL BE REPLACED.
  - CONTACT KAREN DIXON AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
  - PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
  - IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
  - ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REGULATIONS. CALL 332-8558 FOR INFORMATION.
  - ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCOCHR OR ASSE.
  - WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED SINGLE STRAND COPPER WIRE INSTALLED THE ENTIRE LENGTH AND SECURED TO ALL VALVES. THIS WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
  - THE NUMBER AND SPACING OF DRIVEWAYS FOR ALL INTERCONNECTED SITES WILL BE DETERMINED BY THE COMBINED FRONTAGE OF THE INTERCONNECTED PROPERTIES.
  - UNDERGROUND FIRE LINE MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC ROW TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
  - A LANDSCAPE PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEER DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.



**1-** THE MINIMUM WIDTH OF STANDARD CROSSWALKS IS 9 FEET. THE MINIMUM WIDTH OF HI-VISIBILITY CROSSWALKS IS 10 FEET.  
**2-** SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL IS 4' MIN.  
**3-** BEYOND THE CURB FACE, A CLEAR SPACE OF 4' X 4' FEET MINIMUM SHALL BE PROVIDED WITHIN THE WIDTH OF THE CROSSWALK.  
**4-** PLACE STOP BARS A MINIMUM OF 4 FEET FROM NEAREST CROSSWALK LINE. STOP BARS AT SIGNALIZED INTERSECTIONS SHOULD BE COORDINATED WITH THE SIGNAL DESIGN SECTION OR AS DIRECTED BY THE ENGINEER.  
**5-** CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE TO THE LATEST NCDOT ROADWAY STANDARD DRAWINGS.

**LEGEND**  
 ● DIRECTION OF TRAFFIC FLOW  
 ▽ CURB RAMP WITH DETECTABLE WARNING DOMES

**SHEET 1 OF 1**  
1205.07

**SHEET 1 OF 1**  
1205.07

BY	DESCRIPTION

**NOTES AND DETAILS**  
**TIBURON PARC APARTMENTS PHASE II**  
 2945 MOYNET WAY  
 WILMINGTON, NORTH CAROLINA

**OWNER:**  
 NELSON MACRAE  
 MIDTOWN ONE, LLC  
 P.O. BOX 3145  
 WILMINGTON, N.C. 28406  
 910-392-3300

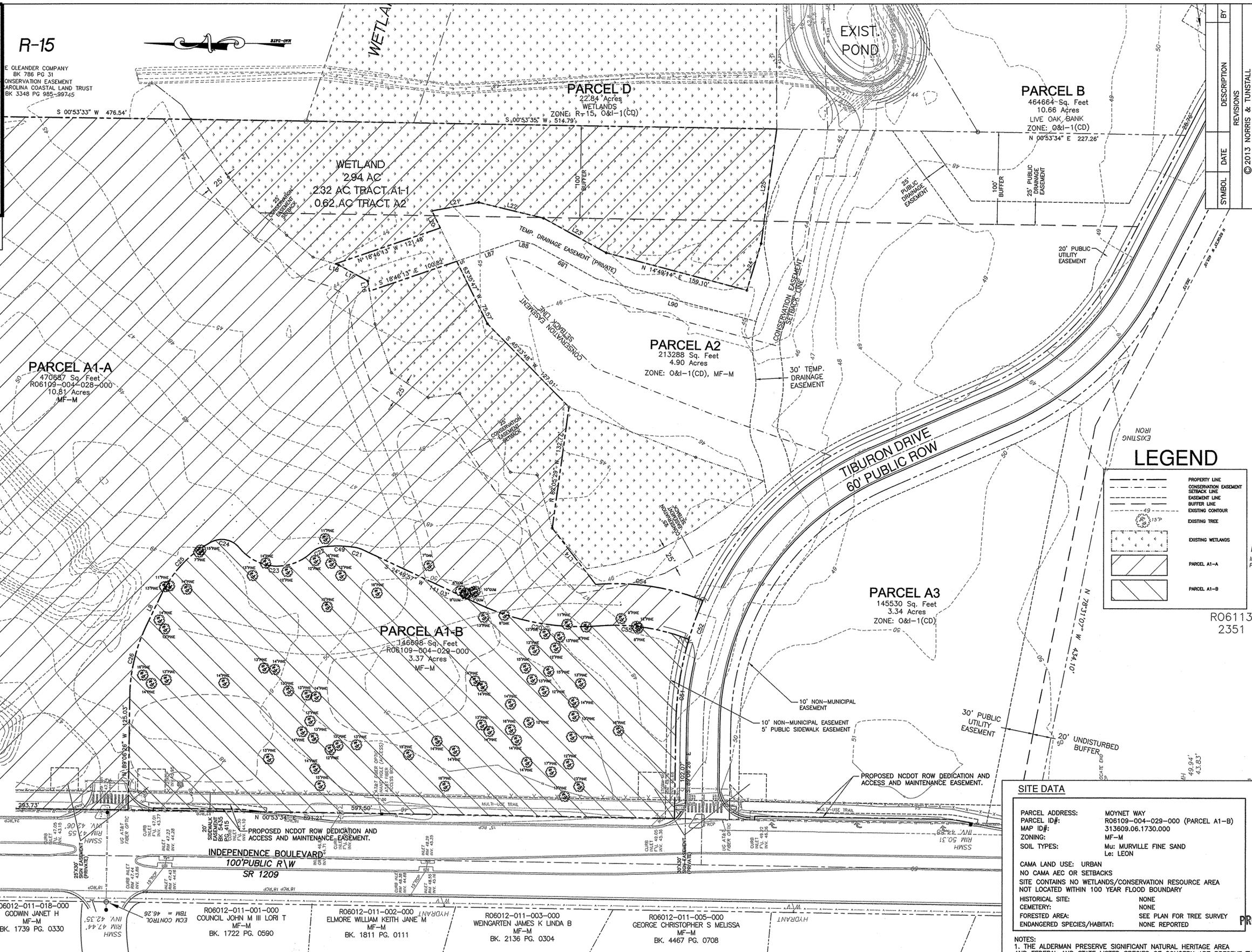
**NORRIS & TUNSTALL**  
**CONSULTING ENGINEERS, INC.**  
 1127 FLORAL PARKWAY  
 SUITE 400  
 WILMINGTON, NC, 28403

PHONE (910) 343-9653  
 FAX (910) 343-9604  
 office@nteng.com  
 licence #JC-3641

**13065**  
 DES. JST  
 OKD. JPN  
 DRWN. NKS  
 DATE 1/24/14



**C6**



**INVENTORY SITE PLAN**  
**TIBURON PARC APARTMENTS PHASE II**  
 MOYNET WAY  
 WILMINGTON, NORTH CAROLINA

OWNER:  
 NELSON MACRAE  
 MIDTOWN ONE, LLC  
 P.O. BOX 3145  
 WILMINGTON, N.C. 28406  
 910-392-3300

**NORRIS & TUNSTALL**  
**CONSULTING ENGINEERS, INC.**  
 1127 FLORAL PARKWAY  
 SUITE 400  
 WILMINGTON, NC, 28403  
 PHONE (910) 343-9653  
 FAX (910) 343-9604  
 office@nteng.com  
 licence #C-3641

13065  
 DES. JST  
 OKD. JPN  
 DRWN. NKS  
 DATE 10/29/13

**LEGEND**

	PROPERTY LINE
	CONSERVATION EASEMENT
	SETBACK LINE
	EASEMENT LINE
	BUFFER LINE
	EXISTING CONTOUR
	EXISTING TREE
	EXISTING WETLANDS
	PARCEL A1-A
	PARCEL A1-B

**SITE DATA**

PARCEL ADDRESS:	MOYNET WAY
PARCEL ID#:	R06109-004-029-000 (PARCEL A1-B)
MAP ID#:	313609.06.1730.000
ZONING:	MF-M
SOIL TYPES:	Mu: MURVILLE FINE SAND Lc: LEON
CAMA LAND USE:	URBAN NO CAMA AEC OR SETBACKS
SITE CONTAINS:	NO WETLANDS/CONSERVATION RESOURCE AREA NOT LOCATED WITHIN 100 YEAR FLOOD BOUNDARY
HISTORICAL SITE:	NONE
CEMETERY:	NONE
FORESTED AREA:	SEE PLAN FOR TREE SURVEY
ENDANGERED SPECIES/HABITAT:	NONE REPORTED

**NOTES:**  
 1. THE ALDERMAN PRESERVE SIGNIFICANT NATURAL HERITAGE AREA AND FEDERAL AND STATE LISTED SPECIES OF CONCERN ARE PRESENT TO THE EAST OF THIS PROJECT.  
 2. THE CONSERVATION RESOURCE SHALL BE PERMANENTLY PROTECTED AND SHALL NOT BE CLEARED OF VEGETATION, SHALL BE FREE OF DEVELOPMENT IMPACTS, SHALL REMAIN UNDIVIDED, SHALL BE PERMANENTLY PRESERVED BY A CONSERVATION EASEMENT.

NC DENR PWSS WATER PERMIT #:	
WATER CAPACITY:	_____ GPD
DWQ SEWER PERMIT #:	
SEWER CAPACITY:	_____ GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
**APPROVED STORMWATER MANAGEMENT PLAN**  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

**Approved Construction Plan**

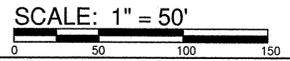
Name	Date
Planning	_____
Traffic	_____
Fire	_____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**SURVEYOR:**  
 TOPOGRAPHIC SURVEY & COMPOSIT MAP BY:  
**HANOVER DESIGN SERVICES, P.A.**  
 LAND SURVEYORS ENGINEERS LAND PLANNERS  
 319 WALNUT STREET  
 WILMINGTON, N.C. 28401  
 PHONE: 910-343-3002  
 FAX: 910-343-9941

**APPLICANT/PREPARER OF PLAN:**  
 NORRIS & TUNSTALL CONSULTING ENGINEERS, INC.  
 1127 FLORAL PARKWAY  
 SUITE 300/400  
 WILMINGTON, NC, 28403  
 PHONE (910) 343-9653  
 (910) 343-9604 FAX  
 LICENCE #C-3641

**OWNER:**  
 NELSON MACRAE  
 MIDTOWN ONE, LLC  
 P.O. BOX 3145  
 WILMINGTON, N.C. 28406  
 910-392-3300



**11**