

SITE DATA
 PROPERTY OWNER: PEACHTREE VENTURES, LLC
 PROJECT ADDRESS: 1510 SOUTH THIRD STREET
 PIN NUMBER: R05417-013-004-000
 ZONING DISTRICT: UMX
 FLOOD AREA: THIS LOT IS LOCATED IN ZONE "X" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 3720311700K PANEL 3117, DATED: 6/2/2006 (PER BATEMAN CIVIL SURVEY COMPANY, PC)
 MAXIMUM ALLOWABLE BUILDING HEIGHT: 4 STORIES OR 45' (ALONG ARTERIAL STREETS), 35' OR 2 STORIES (ALONG RESIDENTIAL & COLLECTOR STREETS)
 MAXIMUM EXISTING BUILDING HEIGHT: 27' (APPROX. PER GOOGLE EARTH; FROM EXISTING GROUND TO TOP OF BUILDING ALONG WILLARD STREET)
 BUILDING SETBACKS, REQUIRED (FOR SIDE OF BUILDING ABUTTING A SINGLE-FAMILY ZONING DISTRICT): FRONT-5' OR AVERAGE SETBACK OF EXISTING BUILDINGS WITHIN THE BLOCK OR FACE (BUT NOT MORE THAN 10'); REAR-5', SIDE-5'
 BUILDING SETBACKS, EXISTING: FRONT-0.0', SIDE-0.0', REAR-0.0'
 SITE AREA: 105,703.64 SF = 2.43 ACRES ±
 MAXIMUM ALLOWABLE DENSITY: NONE (VERTICALLY INTEGRATED MIXED-USE BUILDING)
 TOTAL UNITS: 44 (ONE BEDROOM APARTMENTS), 10 (TWO BEDROOM APARTMENTS) & 1 (RETAIL SPACE)
 NUMBER OF PROPOSED BUILDINGS: 0
 NUMBER OF EXISTING BUILDINGS: 2
 BUILDING SIZE:

BUILDING	POST DEVELOPMENT SQUARE FOOTAGE (1ST STORY)	POST DEVELOPMENT SQUARE FOOTAGE (2ND STORY)
1	52,769	11,329
2	N/A	N/A

TOTAL AMOUNT & PERCENT OF IMPERVIOUS SURFACE AREAS ON-SITE (REPLACEMENT OF EXISTING PARKING AREAS DUE TO STORM DRAIN PIPE SYSTEM INSTALLATION REMAIN LISTED/TREATED AS EXISTING, NOT PROPOSED):

BEFORE DEVELOPMENT		AFTER DEVELOPMENT	
AREA (SF)	% OF SITE	EX. (SF)	PROPOSED (SF)
BUILDINGS	59,079	58,404	6
PARKINGS	31,581	29,86	7,709
GRAVEL	7,785	7,36	0
SIDEWALK	187	0.18	0
OTHER	1,858	1.76	0
TOTAL	100,470	95.05	0

TOTAL PROPOSED IMPERVIOUS AREAS OFF-SITE (DOES NOT INCLUDE REPLACEMENT OF EXISTING SIDEWALK AREAS, EXISTING DRIVEWAY AREAS, OR EXISTING STREET AREAS DUE TO STORM DRAIN PIPE SYSTEM INSTALLATION, GRADE ADJUSTMENTS, AND/OR ANY REQUIRED REPLACEMENTS PER CITY OF WILMINGTON):

DRIVEWAY	AREA (SF)
SIDEWALK (INCLUDES BICYCLE PARKING AREAS)	4,141
TOTAL	4,273

OFF STREET PARKING CALCULATIONS:

MIN. PARKING REQ. = N/A
 MAX. PARKING ALLOWED = 2.5 SPACES/UNIT x 54 UNITS + 1 SPACE/200 SF x 3,922 SF = 155 SPACES
 NUMBER OF PROPOSED PARKING SPACES (OFF-STREET) = 86 (18 ARE INDIVIDUAL GARAGE SPACES & 16 ARE RETAIL SPACES)
 NUMBER OF PROPOSED PARKING SPACES (ON-STREET; STRIPE ON EXISTING SOUTH SECOND STREET) = 16
 MIN. NUMBER OF REG. HANDICAPPED SPACES PER ADA STANDARDS FOR ACCESSIBLE DESIGN = 5
 NUMBER OF PROPOSED HANDICAPPED SPACES = 6
 NUMBER OF REG. BICYCLE PARKING SPACES = 1 SPACE/UNIT x 54 UNITS + (1 SPACE/1,000 SF x 3,922 SF OR 5 SPACES, WHICHEVER IS GREATER) = 59
 NUMBER OF PROPOSED BICYCLE PARKING SPACES = 60 (INCLUDES 1 SPACE IN EACH INDIVIDUAL GARAGE SPACE)
 THIS SITE IS NOT WITHIN A SPECIAL HIGHWAY OVERLAY DISTRICT OR ANY OTHER ZONING OVERLAY DISTRICT
 PER THE CITY OF WILMINGTON ZONING MAP (MAP 3117-4, DATED: MAY 8, 2015)
 CAMA LAND USE CLASSIFICATION PER THE 2006 CAMA PLAN UPDATE LAND CLASSIFICATION MAP IS URBAN.

CITY OF WILMINGTON STANDARD NOTES

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- NO LAND DISTURBANCE INCLUDING TREE REMOVAL IS TO OCCUR OUTSIDE THE LIMITS OF DISTURBANCE SHOWN ON THE PLANS.
- NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.
- PROTECTIVE TREE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
- LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS AND METHODS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CALL TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY APRON PANELS, OR CURB AND GUTTER SECTIONS SHALL BE REPLACED.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- PROJECT SHALL COMPLY WITH CPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 332-6558 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CPWA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE & MUST PROVIDE A REDUCED PRESSURE DEVICE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CPWA WATER SHALL COMPLY WITH THE CPWA CROSS CONNECTION CONTROL REGULATIONS. CALL 332-6558 FOR INFORMATION.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCOCHR OR ASSE.
- ALL TRAFFIC CONTROL SIGNS & MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PAVEMENT MARKINGS REGULATING TRAFFIC FLOW MUST BE THERMOPLASTIC.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET (CONTACT 341-5888 FOR MORE DETAILS). IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- TRAFFIC ENGINEERING MUST APPROVE PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
- A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING. 1-800-632-4949.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS.

SITE INVENTORY NOTES

- SOIL ON SITE PER THE NEW HANOVER COUNTY SOIL SURVEY IS URBAN LAND (U).
- THERE ARE NO CAMA AEC'S, TO WHICH SETBACKS WOULD BE MEASURED, ASSOCIATED WITH THIS PROPERTY PER SOUTHERN ENVIRONMENTAL GROUP, INC.
- THE SUBJECT PARCEL IS NOT ASSOCIATED WITH ANY OF THE CONSERVATION RESOURCES LISTED IN SECTION 18-341(C) OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE PER SOUTHERN ENVIRONMENTAL GROUP, INC.
- THE PROPERTY HAS BEEN DEVELOPED FOR MANY YEARS, THEREFORE IT IS NOT ANTICIPATED THAT THERE ARE HISTORICAL OR ARCHAEOLOGICAL CONCERNS ASSOCIATED WITH THIS PROPERTY PER SOUTHERN ENVIRONMENTAL GROUP, INC.
- THERE ARE NO CEMETERIES WITHIN THE SUBJECT PROPERTY LIMITS PER SOUTHERN ENVIRONMENTAL GROUP, INC.
- THE SITE IS AN EXISTING COMMERCIAL SITE WITH NO FORESTED AREAS.
- THERE ARE NO FEDERAL, STATE OR LOCALLY REGULATED WETLANDS, WATERS OR CONSERVATION RESOURCES ON THE PROPERTY PER SOUTHERN ENVIRONMENTAL GROUP, INC.
- THERE ARE NO ENDANGERED SPECIES OR CRITICAL HABITAT WITHIN THE PROPERTY BOUNDARIES PER SOUTHERN ENVIRONMENTAL GROUP, INC.
- THIS LOT IS LOCATED IN ZONE(S) "X" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 3720311700K PANEL 3117, DATED: 6/2/2006 (PER BATEMAN CIVIL SURVEY COMPANY, PC).
- EXISTING FRONTAGE SIDEWALKS ARE LOCATED ALONG SOUTH 3RD STREET & GREENFIELD. FRONTAGE SIDEWALKS ALONG SOUTH 2ND STREET & WILLARD STREET ARE PROPOSED AS PART OF THE DRAINAGE PLAN FOR THIS PROPERTY.
- THE TRACT IS WITHIN THE CAPE FEAR RIVER BASIN & DRAINS TO GREENFIELD CREEK (SC:SW).
- CAMA LAND USE CLASSIFICATION PER THE 2006 CAMA PLAN UPDATE LAND CLASSIFICATION MAP IS URBAN.

FIRE AND LIFE SAFETY NOTES

- PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS OR FDC'S. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE FIRE HYDRANT AND FDC.
- FIRE HYDRANTS CANNOT BE FURTHER THAN 8' FROM THE CURB.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
- ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
- PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE & LIFE SAFETY DIVISION AT 910-343-0696.
- A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- FDC'S CAN BE NO FURTHER THAN 150' FROM A FIRE HYDRANT.
- FDC'S CAN BE NO FURTHER THAN 40' FROM FIRE DEPARTMENT VEHICLE PLACEMENT.
- BUILDING CONSTRUCTION TYPE ACCORDING TO THE INTERNATIONAL BUILDING CODE IS IIB.
- TAMPER SWITCHES SHALL BE INSTALLED ON ALL VALVES THAT ARE CAPABLE OF TURNING THE WATER SUPPLY OFF TO THE SPRINKLER SYSTEMS.
- ALL GATES USED FOR VEHICULAR INGRESS AND/OR EGRESS SHALL BE ALARM/SIREN ACTIVATED. WHEN THE INGRESS & EGRESS GATES ARE OPEN THERE SHALL BE NO VEHICLE OBSTRUCTION IN THE ENTIRE WIDTH OF THE DRIVE AISLE.
- KNOX BOX WITH A KEY FOR MANUAL OVERRIDE OF THE VEHICULAR GATE(S) SHALL BE PROVIDED.
- SENSORS FOR PREVENTING THE GATE(S) FROM OPENING AND CLOSING ON VEHICLES SHALL BE PROVIDED.
- PROVISION MUST BE MADE FOR AUTOMATIC OPENING OF THE GATE(S) IN THE EVENT OF POWER OUTAGES.
- KNOX BOX SHALL BE PROVIDED FOR ALL SENSORS PROTECTED BY FIRE SPRINKLERS.
- KNOX BOX WITH A KEY FOR MANUAL OVERRIDE OF THE PEDESTRIAN GATE AT 3RD STREET SHALL BE PROVIDED.
- HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.
- IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.

SURVEYOR NOTES:
 1. THIS LOT IS LOCATED IN ZONE(S) "X" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 3720311700K PANEL 3117, DATED: 6/2/2006.
 2. AREA = 2.43 AC.
 3. RATIO OF PRECISION = 1:10000 +.

SURVEY REF. TRACT #1:
 BOOK 946 PAGE 32
 BOOK 268 PAGE 35
 BOOK 774 PAGE 454
 BOOK 86 PAGE 214

Surveyor:
Bateman Civil Survey Company, PC
 Engineers Surveyors Planners
 200 N. Main Street, Holly Springs, NC 27540
 (919) 571-1080
 NC06LS C 2378

N/F
 JENNINGS MARGARET A VALENTINE
 DB: 2695 PG: 546
 PID: R05417-011-001-000
 ZONING: UMX
 LAND USE: LEGAL SERVICES

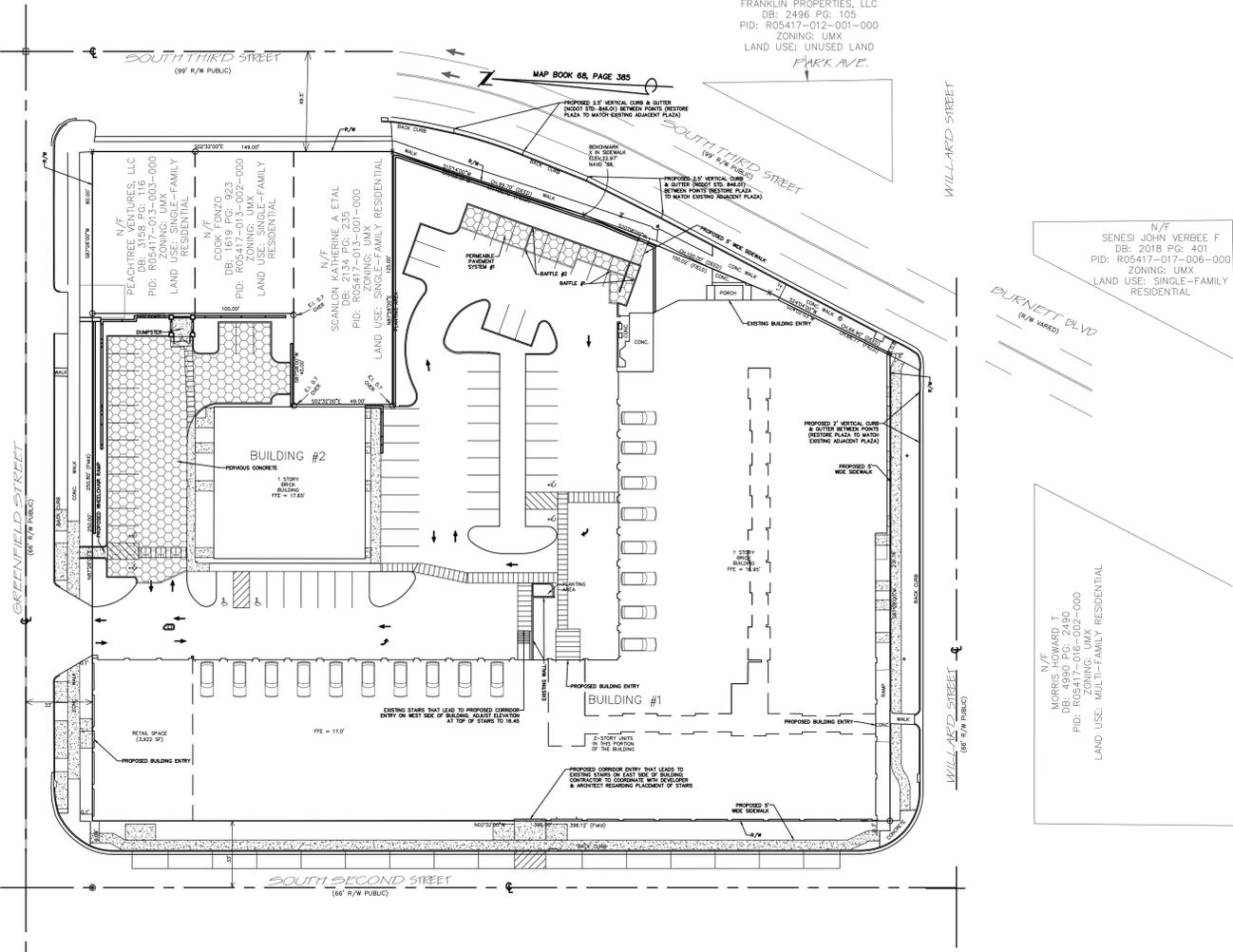
N/F
 MOORE NATHAN A
 DB: 5708 PG: 1788
 PID: R05417-013-003-000
 ZONING: R-5
 LAND USE: SINGLE-FAMILY RESIDENTIAL

N/F
 MISHOE MICHAEL F KELLI M
 DB: R05417-011-003-000
 PID: R05417-011-001-000
 ZONING: UMX
 LAND USE: SINGLE-FAMILY RESIDENTIAL

N/F
 CLEARY VALENTINE J ETAL
 DB: 3351 PG: 873
 PID: R05417-014-003-000
 ZONING: R-5
 LAND USE: SINGLE-FAMILY RESIDENTIAL

N/F
 FLOWERS DENNIS MARILYN M
 DB: 2183 PG: 150
 PID: R05417-011-005-000
 ZONING: R-5
 LAND USE: SINGLE-FAMILY RESIDENTIAL

N/F
 FRANKLIN PROPERTIES, LLC
 DB: 2496 PG: 105
 PID: R05417-012-001-000
 ZONING: UMX
 LAND USE: UNUSED LAND



N/F
 RICKS DUSTIN L
 DB: 5791 PG: 2733
 PID: R05417-014-002-000
 ZONING: LI
 LAND USE: NEIGHBORHOOD RETAIL

N/F
 TDB PROPERTIES, LLC
 DB: 5346 PG: 641
 PID: R05417-014-003-000
 ZONING: LI
 LAND USE: WHOLESALE

N/F
 FRONT STREET STORAGE, LLC
 DB: 5104 PG: 2972
 PID: R05417-014-001-000
 ZONING: LI
 LAND USE: WHOLESALE WAREHOUSE

N/F
 SOUTH FRONT, LLC
 DB: R05413-035-002-000
 ZONING: MF-H
 LAND USE: MULTI-FAMILY RESIDENTIAL

N/F
 SENESE JOHN VERBEE F
 DB: 2018 PG: 401
 PID: R05417-017-006-000
 ZONING: UMX
 LAND USE: SINGLE-FAMILY RESIDENTIAL

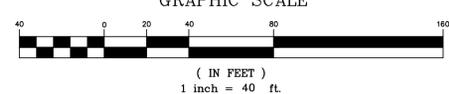
N/F
 MORRIS HOWARD T
 DB: 4990 PG: 2480
 PID: R05417-016-002-000
 ZONING: UMX
 LAND USE: MULTI-FAMILY RESIDENTIAL

NOTES

- BOUNDARY, TOPOGRAPHICAL, & TREE SURVEY PROVIDED BY BATEMAN CIVIL SURVEY COMPANY, PC (MAP TITLED "SURVEY OF A PORTION OF BLOCK 'E' AS SHOWN ON THAT MAP ENTITLED WILMINGTON SUBURBAN CO.S PROPERTY WITH SEAL DATE OF 7/2/16).
- ALL ELEVATIONS ARE IN FEET UNLESS OTHERWISE INDICATED.
- ALL CITY, STATE, & FEDERAL REGULATIONS SHALL BE FOLLOWED.
- EXISTING SANITARY SEWER MAINS ARE OWNED BY CPWA.
- EXISTING WATER MAINS ARE OWNED BY CPWA.
- SLOPE ON HANDICAP SPACES SHALL BE 1:50 OR FLATTER.
- TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- DISTURBED AREAS WITHIN RIGHT-OF-WAY OF SOUTH THIRD STREET, SOUTH SECOND STREET, GREENFIELD STREET, AND/OR WILLARD STREET SHALL BE IMMEDIATELY SEEDED & STABILIZED WITH MULCH OR EXCELSIOR MAT PRIOR TO ANY RAINFALL EVENT.
- UPON COMPLETION OF ANY PHASE OF ACTIVITY SIDE SLOPES WILL BE SEEDED/STABILIZED.
- RETAINING WALL SHALL BE DESIGNED BY OTHERS. MALPASS ENGINEERING & SURVEYING, P.C. IS NOT RESPONSIBLE FOR RETAINING WALL DESIGN.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE & TECHNICAL STANDARDS MANUAL, EXCEPT WHERE EXEMPTED OR VARIANCES ARE OBTAINED.
- THE PROPOSED CURB ON THE SITE IS 4" VERTICAL CURB (SD 3-11).
- MANHOLES, CATCH BASINS, & DROP INLETS SHALL BE SIZED APPROPRIATELY TO ACCOMMODATE OVERSIZED PIPES.
- ALL DROP INLETS TO BE TRAFFIC BEARING WITH HEAVY DUTY 2'x3' FRAME & GRATE (GENERAL FOUNDRIES INC., ITEM #24364 OR EQUIVALENT).
- IT IS THE APPLICANT'S/DEVELOPER'S RESPONSIBILITY TO BE COMPLIANT WITH ALL APPLICABLE ADA REQUIREMENTS.
- ALL PLANTED & RETAINED LIVING MATERIAL REQUIRED TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE SHALL BE PERPETUALLY PROTECTED & MAINTAINED TO PROFESSIONALLY ACCEPTED STANDARDS BY JOINT & SEVERAL RESPONSIBILITY OF THE OWNER, OCCUPANT, TENANT, & RESPECTIVE AGENTS OF THE PROPERTY ON WHICH THE MATERIAL IS LOCATED.
- CONTRACTOR SHALL CONTACT & COORDINATE WITH POWER COMPANY REGARDING REMOVAL OF EXISTING POWER POLE & BURIAL OF EXISTING OVERHEAD POWER LINES ON SITE.
- ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
- THREE BOLLARDS SHALL BE PROVIDED IN LANDSCAPE ISLAND (LI) 1, FOUR IN LI-5, FIVE IN LI-6, & NINE IN LI-7 WHERE SHOWN ON THE SITE PLAN.
- YARD INLET SHALL BE INSTALLED WHERE SHOWN ON DRAINAGE PLAN & DISCHARGE INTO CB-1.
- LIMITS OF DISTURBANCE = 41,034 SF = 0.94 ACRES.
- PROPOSED FENCE(S) TO BE WOODEN FENCE UNLESS OTHERWISE INDICATED ON SITE PLAN.
- EXISTING 8" PIPE THROUGH BASEMENT IN BUILDING #1 SHALL REMAIN IN PLACE. CONTRACTOR SHALL VERIFY THAT PIPE IS FREE OF BLOCKAGES & THAT IT DOES NOT LEAK.
- PROPOSED VEHICULAR GATES SHALL BE SWING GATES & BE SIMILAR IN MATERIAL & APPEARANCE TO THE FENCE SHOWN ON DETAIL ON SHEET 8 (BLACK ALUMINUM BARS). INGRESS GATE SHALL OPEN BY USE OF KEYPAD. EGRESS GATE SHALL OPEN BY USE OF REMOTE SENSORS. INGRESS & EGRESS GATES SHALL BOTH AUTOMATICALLY CLOSE.
- THE LOCATION OF THE PROPOSED WALKWAY FROM EACH UNIT IN BUILDING #2 TO THE PROPOSED SIDEWALK ADJACENT TO THE BUILDING IS APPROXIMATE. THE LOCATION OF THE PROPOSED WALKWAY FROM UNITS IN BUILDING #1 TO PROPOSED SIDEWALK ALONG WILLARD STREET IS APPROXIMATE. CONTRACTOR TO COORDINATE WITH ARCHITECTURAL DRAWINGS & ADJUST LOCATIONS AS NECESSARY TO MATCH DOOR LOCATIONS.
- STAIRS SHALL BE PROVIDED FROM BUILDING #1 TO PROPOSED SIDEWALK ALONG WILLARD ST. AS NECESSARY.
- IF EXTERIOR SITE LIGHTING IS PROPOSED, IT SHALL MEET THE CITY OF WILMINGTON'S UMX STANDARD FOR SITE LIGHTING, WHICH IS AS FOLLOWS: "ALL SITE LIGHTING SHALL BE LOCATED, ANGLED, SHIELDED, AND/OR LIMITED IN INTENSITY SO AS TO CAST NO DIRECT LIGHT UPON ADJACENT PROPERTIES. SHALL MINIMIZE OFF-SITE BACKLIGHTING GLARE, AND UP-LIGHTING. LIGHT POSTS SHALL BE NO TALLER THAN TWELVE (12) FEET."
- DOWNSPOUTS FOR THE NORTHERN HALF OF BUILDING #2 SHALL DISCHARGE INTO THE STONE BELOW THE PERVIOUS CONCRETE NORTH OF BUILDING #2. AN IN-LINE DOWNSPOUT FILTER MUST BE INSTALLED ON THESE DOWNSPOUTS.
- DUMPSTER PLAN/LAYOUT & SCREENING DETAILS (SEE SHEET 4) PER COTHRAN HARRIS ARCHITECTURE. MALPASS ENGINEERING & SURVEYING, P.C. IS NOT RESPONSIBLE FOR DUMPSTER PLAN/LAYOUT & SCREENING.

WATER & SEWER CAPACITY	
EXISTING WATER CAPACITY:	42 EMPLOYEES x 25 GPD/EMPLOYEE = 1,050 GPD
EXISTING SEWER CAPACITY:	42 EMPLOYEES x 25 GPD/EMPLOYEE = 1,050 GPD
PROPOSED WATER CAPACITY:	54 UNITS x 400 GPD/UNIT + 3,922 SF x 100 GPD / 1,000 SF = 21,992 GPD
PROPOSED SEWER CAPACITY:	54 UNITS x 240 GPD/UNIT + 3,922 SF x 100 GPD / 1,000 SF = 13,352 GPD
ADDITIONAL WATER CAPACITY REQUESTED:	20,942 GPD
ADDITIONAL SEWER CAPACITY REQUESTED:	12,302 GPD

GRAPHIC SCALE



PRELIMINARY PLAN
 NOT FOR RECORDATION,
 CONVEYANCES, OR SALES

SHEET INDEX	
1	COVER SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	SITE INVENTORY
4	SITE PLAN
5	DRAINAGE & UTILITY PLAN
6	DETAIL SHEET
7	DETAIL SHEET & DRAINAGE AREA MAP
8	DETAIL SHEET
9	SANITARY SEWER DETAIL SHEET
10	WATER DETAIL SHEET
11	WATER DETAIL SHEET
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE PLAN



LEGEND

- 12x4 EXISTING SPOT ELEVATION
- EXISTING IRON
- CONC. MONUMENT (CONTROL POINT)
- X SET "X" MARK IN CONCRETE
- SET IRON
- EXISTING BOLLARD
- EXISTING DROP INLET
- ⊗ EXISTING WATER VALVE
- ⊗ EXISTING FIRE HYDRANT
- ⊗ EXISTING SANITARY SEWER MANHOLE
- ⊗ EXISTING STORM DRAIN MH
- ⊗ EXISTING WATER VALVE MH
- ⊗ EXISTING TELEPHONE MH
- ▲ EXISTING WATER MONITOR
- EXISTING SS CLEANOUT
- EXISTING LIGHT POLE
- ⊗ EXISTING POWER POLE W/ GUY
- ⊗ EXISTING POWER POLE
- ⊗ EXISTING ELECTRICAL PANEL
- ⊗ EXISTING SIGN
- ⊗ EXISTING TELEPHONE PEDESTAL
- EXISTING WATER METER
- EXISTING FENCE
- EXISTING WOODS LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING UNDERGROUND GAS LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN PIPE
- CENTER LINE
- ADJACENT PROPERTY LINE
- ROW
- SUBJECT BOUNDARY LINE
- EXISTING CONTOUR LINE
- PROPOSED SIDEWALK/CONCRETE
- PROPOSED PERVIOUS CONCRETE
- PROPOSED FIRE HYDRANT
- PROPOSED FENCE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED FOUNDATION PLANTING AREA
- PROPOSED ASPHALT SAW CUT LINE

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of Wilmington
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan

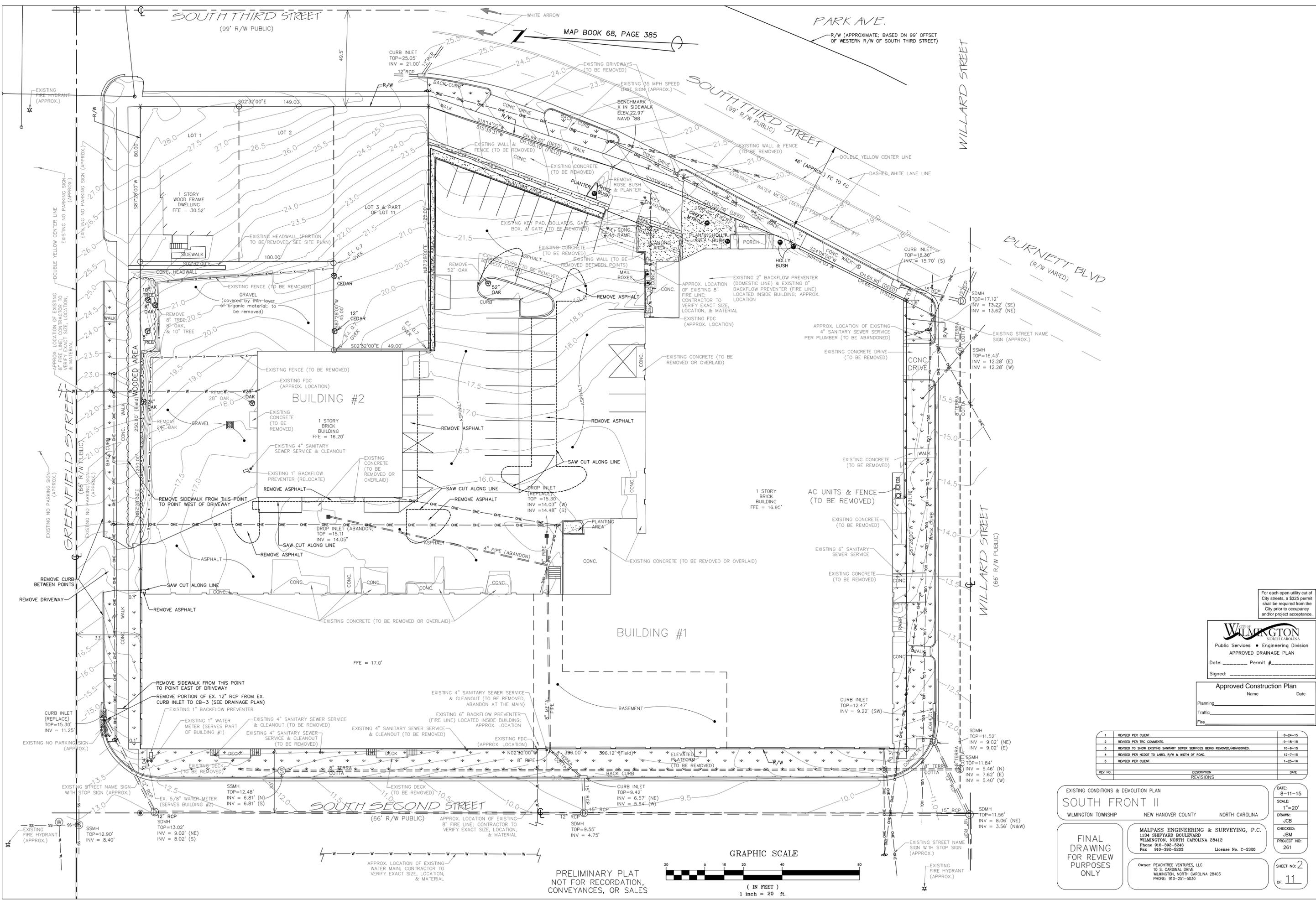
Name	Date
Planning	
Traffic	
Fire	

REV. NO.	DESCRIPTION	DATE
1	REVISED TO ADD SHEETS TO SHEET INDEX.	8-12-15
2	REVISED PER CLIENT.	8-24-15
3	REVISED PER TRC COMMENTS.	9-18-15
4	REVISED TO ADJUST DUMPSTER PID & RETAINING WALL.	10-15-15
5	REVISED PER TRC COMMENTS.	10-20-15
6	REVISED PER TRC COMMENTS.	10-13-15
7	REVISED TO ADD NOTES 832-37.	10-22-15
8	REVISED PER CLIENT.	1-25-16
9	REVISED PER CLIENT TO ADJUST SIDEWALK NORTH OF BUILDING #2 & IMPERVIOUS AREA CHART.	6-29-16
10	REVISED NOTES #22, 23, & 24.	7-28-16

COVER SHEET
SOUTH FRONT II
 WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

MALPASS ENGINEERING & SURVEYING, P.C.
 1134 SHIPYARD BOULEVARD
 WILMINGTON, NORTH CAROLINA 28412
 Phone: 910-382-5245
 Fax: 910-382-5203 License No. C-2320

DATE: 8-11-15
 SCALE: 1"=40'
 DRAWN: JCB
 CHECKED: JBM
 PROJECT NO: 261
 SHEET NO: 1
 OF: 11



For each open utility out of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

REV. NO.	DESCRIPTION	DATE
1	REVISED PER CLIENT.	8-24-15
2	REVISED PER TRC COMMENTS.	9-18-15
3	REVISED TO SHOW EXISTING SANITARY SEWER SERVICES BEING REMOVED/ABANDONED.	10-6-15
4	REVISED PER NCDOT TO LABEL R/W & WIDTH OF ROAD.	12-7-15
5	REVISED PER CLIENT.	1-25-16

EXISTING CONDITIONS & DEMOLITION PLAN
SOUTH FRONT II

WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

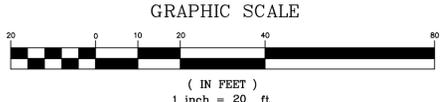
FINAL DRAWING FOR REVIEW PURPOSES ONLY

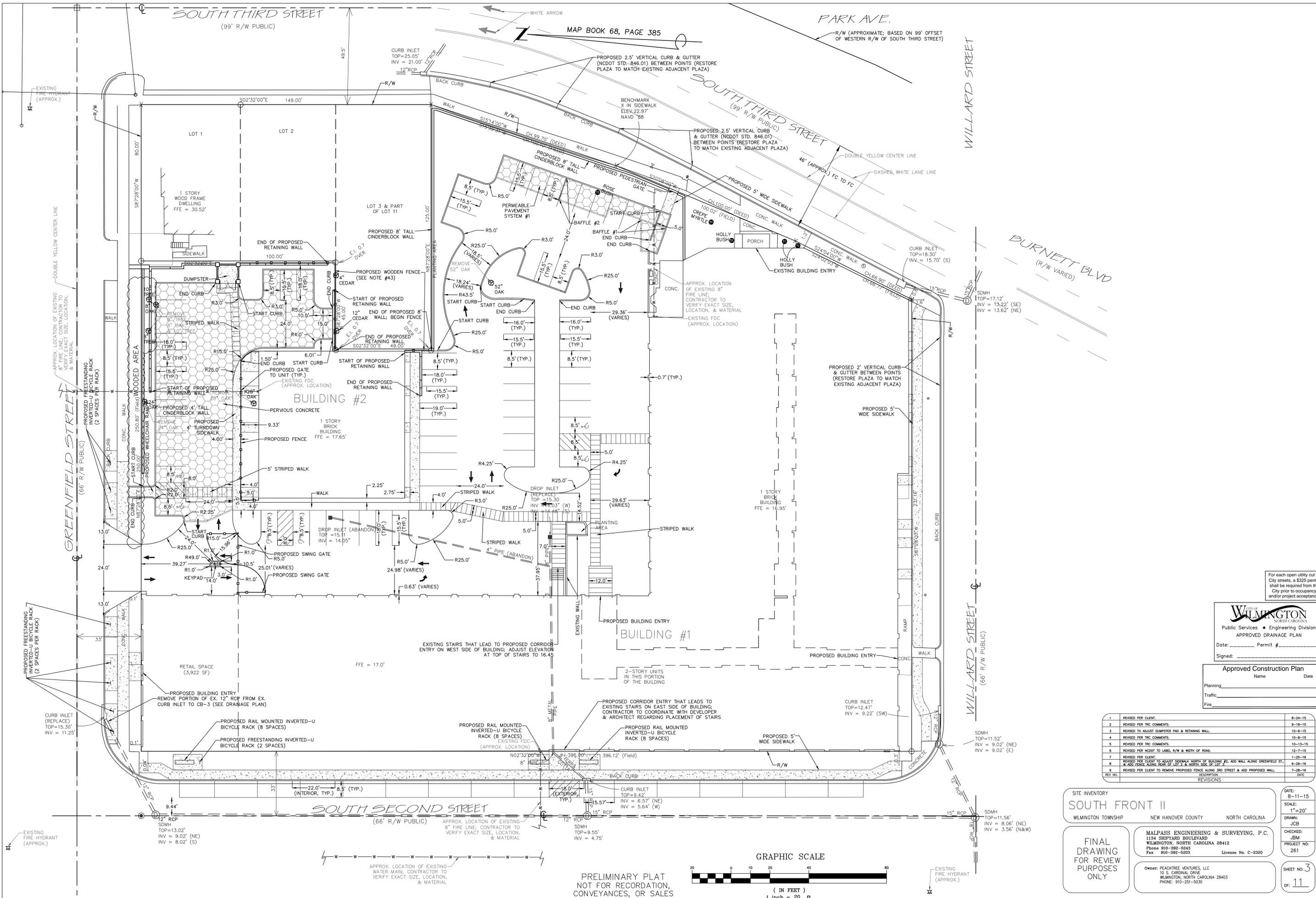
MALPASS ENGINEERING & SURVEYING, P.C.
1134 SHIPYARD BOULEVARD
WILMINGTON, NORTH CAROLINA 28412
Phone: 910-392-5248 Fax: 910-392-5203 License No. C-2320

Owner: PEACHTREE VENTURES, LLC
10 S. CARDINAL DRIVE
WILMINGTON, NORTH CAROLINA 28403
PHONE: 910-251-5030

DATE: 8-11-15
SCALE: 1"=20'
DRAWN: JCB
CHECKED: JEM
PROJECT NO: 261
SHEET NO: 2
OF: 11

PRELIMINARY PLAT
NOT FOR RECORDATION,
CONVEYANCES, OR SALES





MAP BOOK 68, PAGE 385

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of WILMINGTON
 Public Services • Engineering Division
APPROVED DRAINAGE PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

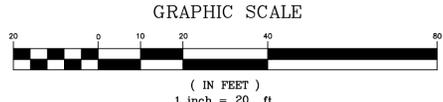
REV. NO.	DESCRIPTION	DATE
1	REVISED PER CLIENT.	8-24-15
2	REVISED PER TRC COMMENTS.	9-16-15
3	REVISED TO ADDRESS DUMPSTER PAD & RETAINING WALL.	10-6-15
4	REVISED PER TRC COMMENTS.	10-8-15
5	REVISED PER TRC COMMENTS.	10-13-15
6	REVISED PER NCDDOT TO LABEL R/W & WIDTH OF ROAD.	12-7-15
7	REVISED PER CLIENT.	1-25-16
8	REVISED PER CLIENT TO ADJUST SIDEWALK NORTH OF BUILDING #2, ADD WALL ALONG GREENFIELD ST. & ADD FENCE ALONG REAR OF LOT 2 & NORTH SIDE OF LOT 4.	6-29-16
9	REVISED PER CLIENT TO REMOVE PROPOSED FENCE ALONG 3RD STREET & ADD PROPOSED WALL.	7-28-16

SITE INVENTORY
SOUTH FRONT II
 WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA
 DATE: 8-11-15
 SCALE: 1"=20'
 DRAWN: JCB
 CHECKED: JBM
 PROJECT NO: 261
 SHEET NO: 3
 OF: 11

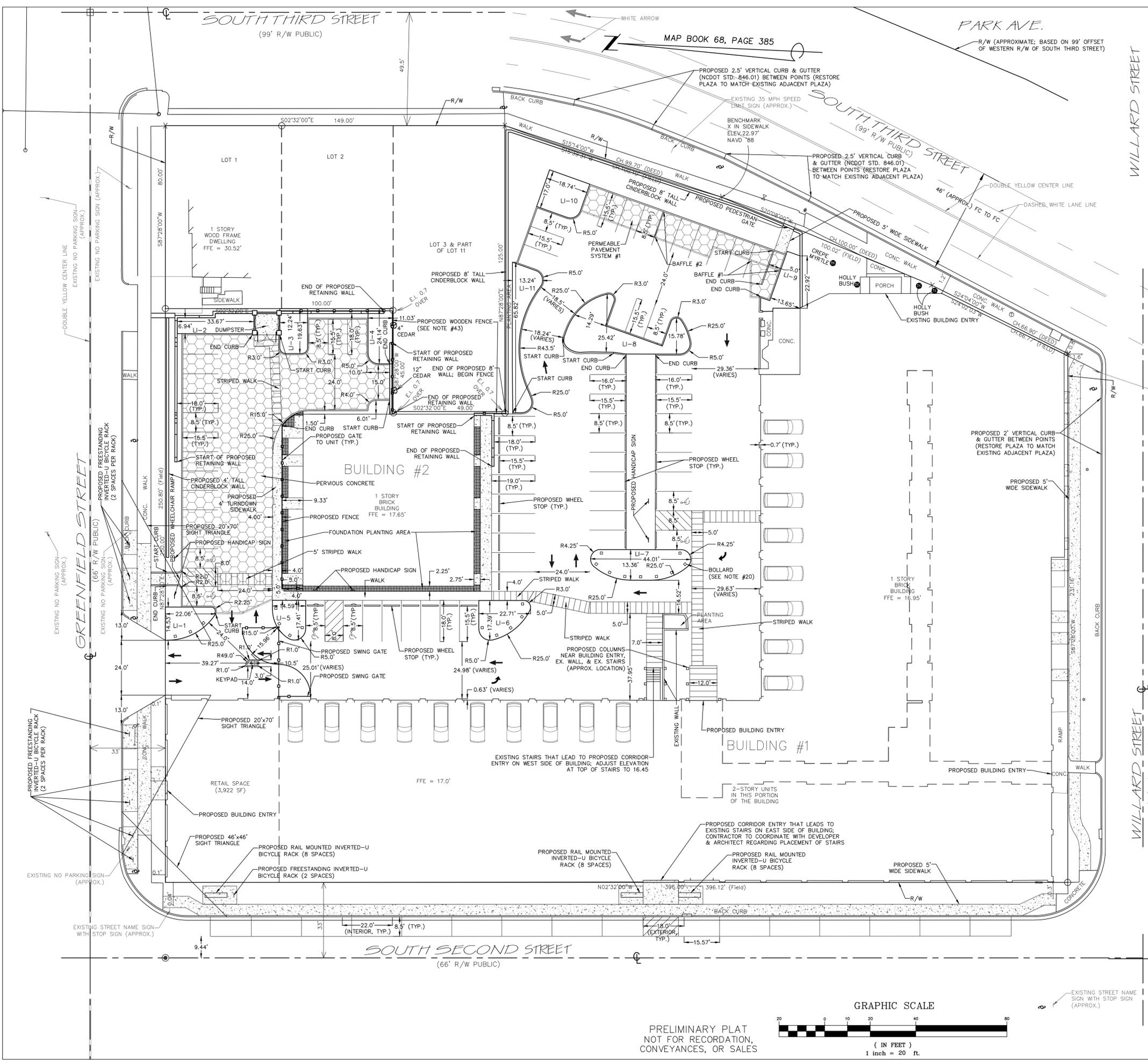
FINAL DRAWING FOR REVIEW PURPOSES ONLY

MALPASS ENGINEERING & SURVEYING, P.C.
 1134 SHIPYARD BOULEVARD
 WILMINGTON, NORTH CAROLINA 28412
 Phone: 910-392-5245
 Fax: 910-392-5203 License No. C-2320

Owner: PEACHTREE VENTURES, LLC
 10 S. CARDINAL DRIVE
 WILMINGTON, NORTH CAROLINA 28403
 PHONE: 910-251-5030



PRELIMINARY PLAT
 NOT FOR RECORDATION,
 CONVEYANCES, OR SALES

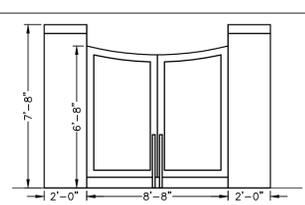


LANDSCAPE ISLAND	TOTAL AREA (SF)	IMPERVIOUS AREA (SF)	PERCENT IMPERVIOUS
LI-1	247.24	3	1.22
LI-2	264.76	0	0
LI-3	235.16	11.57	4.92
LI-4	261.92	16.25	6.21
LI-5	216.76	4	1.85
LI-6	307.76	5	1.63
LI-7	500.12	9	1.80
LI-8	708.21	0	0
LI-9	265.24	0	0
LI-10	314.23	0	0
LI-11	417.37	0	0

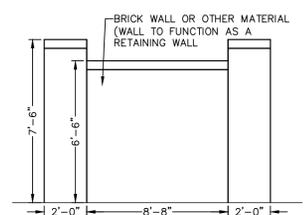
FOUNDATION PLANTING-NORTH SIDE OF BUILDING #2
 REQUIRED AREA = (75.12' x 15.5') x 0.12 = 139.73 SF
 PROVIDED AREA = 182.15 SF
 *SEE LANDSCAPE PLAN FOR PROVIDED PLANTINGS

FOUNDATION PLANTING-WEST SIDE OF BUILDING #2
 REQUIRED AREA = (75.11' x 16.6') x 0.12 = 149.62 SF
 PROVIDED AREA = 169.01 SF
 *SEE LANDSCAPE PLAN FOR PROVIDED PLANTINGS

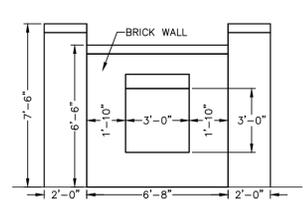
FOUNDATION PLANTING-SOUTH SIDE OF BUILDING #2
 REQUIRED AREA = (75.13' x 15.8') x 0.12 = 142.45 SF
 PROVIDED AREA = 156.40 SF
 *SEE LANDSCAPE PLAN FOR PROVIDED PLANTINGS



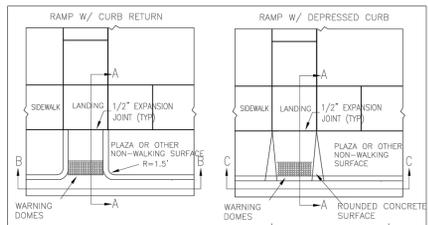
DUMPSTER SCREENING DETAIL (FRONT VIEW ELEVATION)
 NOT TO SCALE



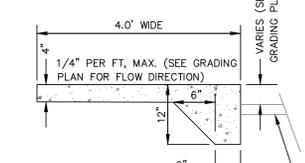
DUMPSTER SCREENING DETAIL (REAR VIEW ELEVATION)
 NOT TO SCALE



DUMPSTER SCREENING DETAIL (SIDE VIEW ELEVATION)
 NOT TO SCALE



WARNING DOME NOTES:
 1. USE CONTRASTING COLORS, RED OR BLACK ON WHITE PAVEMENT.
 2. USE CAST IN PLACE PAVERS FOR NEW CONSTRUCTION.
 3. RUBBER MATS ARE PERMITTED FOR RETROFIT.
 4. LANDING AND RAMP WIDTH MAY BE REDUCED TO 3' WHERE SPACE IS LIMITED AND DESIGN IS APPROVED BY THE CITY ENGINEER.



TURNDOWN SIDEWALK DETAIL
 NOT TO SCALE

STANDARD DETAIL
 PERPENDICULAR CURB RAMP ADJACENT TO PLAZA
 WILMINGTON NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 100 S. MARKET ST., 28402
 WILMINGTON, NC 28402
 (910) 341-7657
 SD3-08

Date: _____ Permit # _____
 Signed: _____
Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

REV. NO.	DESCRIPTION	DATE
1	REVISED PER CLIENT.	8-24-15
2	REVISED PER THE COMMENTS.	9-18-15
3	REVISED PER THE COMMENTS & TO ADJUST DUMPSTER PAD & RETAINING WALL.	10-04-15
4	REVISED PER THE COMMENTS.	10-28-15
5	REVISED PER THE COMMENTS.	10-13-15
6	REVISED PER NCDOT TO LABEL R/W & WITH OF ROAD.	12-7-15
7	REVISED PER CLIENT.	1-29-16
8	REVISED TO SHOW PROPOSED COLUMNS NEAR BUILDING ENTRY, EX. STAIRS, & EX. WALL.	2-14-16
9	REVISED PER CLIENT TO ADJUST SIDEWALK NORTH OF BUILDING #2, ADD WALK ALONG GREENFIELD ST., AND FENCE ALONG REAR OF LOT 2 & NORTH SIDE OF LOT 2 & ADD TURNDOWN SIDEWALK DETAIL.	6-29-16
10	REVISED PER CLIENT TO REMOVE PROPOSED FENCE ALONG 3RD STREET & ADD PROPOSED WALL.	7-28-16

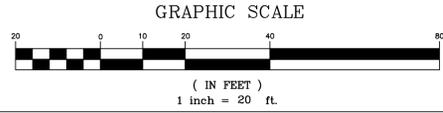
SITE PLAN
SOUTH FRONT II
 WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

FINAL DRAWING FOR REVIEW PURPOSES ONLY

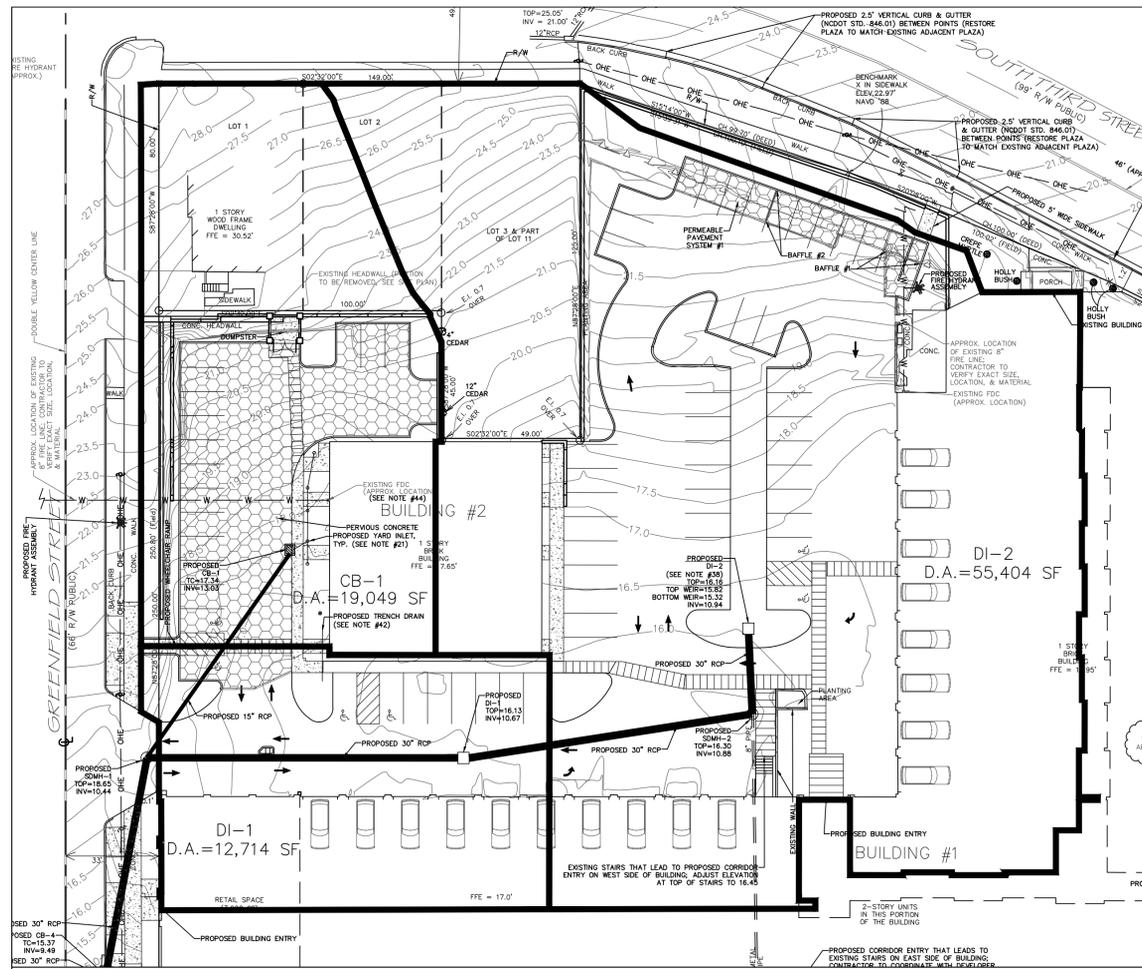
MALPASS ENGINEERING & SURVEYING, P.C.
 1134 SHIPYARD BOULEVARD
 WILMINGTON, NORTH CAROLINA 28412
 Phone: 910-392-5245 Fax: 910-392-5203 License No. C-2320

Owner: PEACHTREE VENTURES, LLC
 10 S. CARDINAL DRIVE
 WILMINGTON, NORTH CAROLINA 28403
 PHONE: 910-251-5030

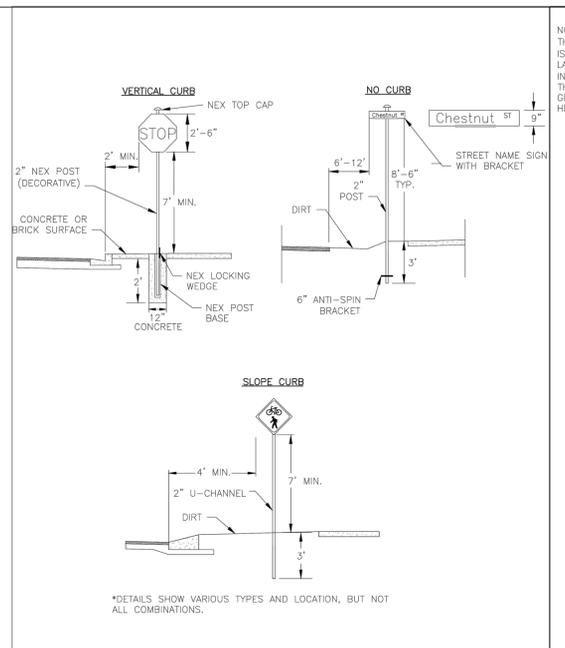
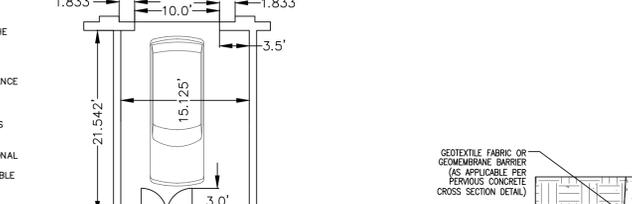
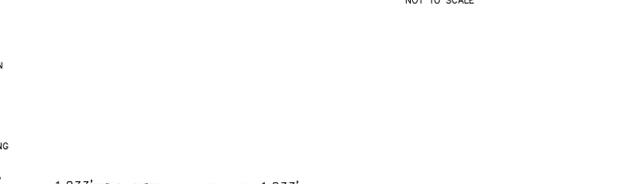
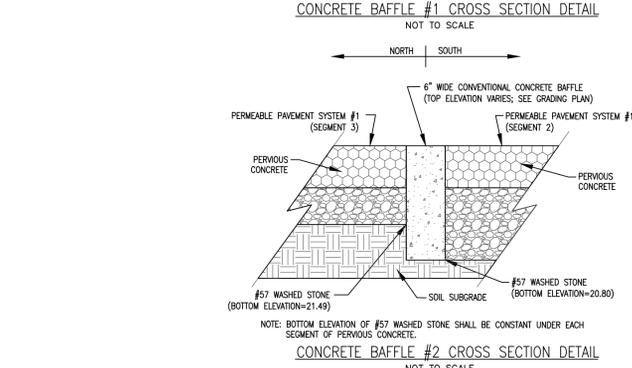
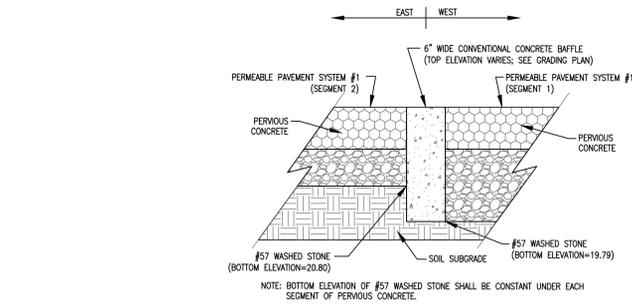
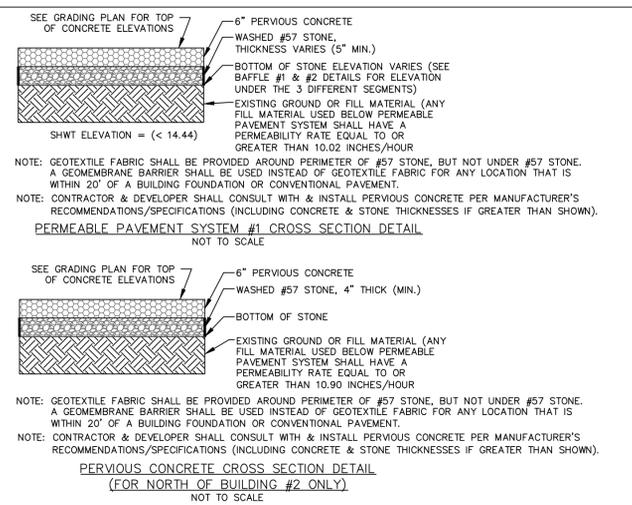
DATE: 8-11-15
 SCALE: 1"=20'
 DRAWN: JCB
 CHECKED: JBM
 PROJECT NO: 261
 SHEET NO: 4
 OF: 11



PRELIMINARY PLAT
 NOT FOR RECORDATION,
 CONVEYANCES, OR SALES



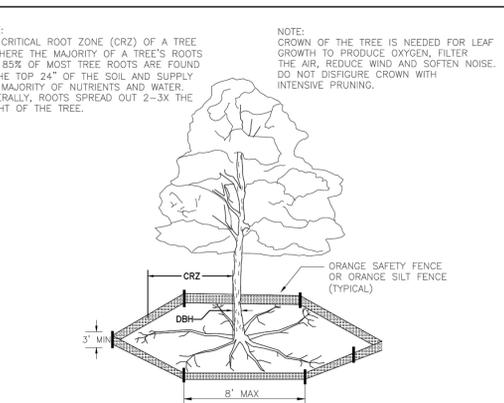
DRAINAGE AREA MAP
SCALE: 1"=30'



DATE: NOVEMBER, 2011	STANDARD DETAIL	CITY OF WILMINGTON	DATE: JAN, 2015	STANDARD DETAIL	CITY OF WILMINGTON
DRAWN BY: JSR	STREET SIGNS AND LOCATION	CITY OF WILMINGTON ENGINEERING	DRAWN BY: JSR	TREE PROTECTION DURING CONSTRUCTION	CITY OF WILMINGTON ENGINEERING
CHECKED BY: BDR, P.E.	SHEET 1 of 2	PO BOX 1810 WILMINGTON, NC 28402	CHECKED BY: RDG, P.E.	SHEET 1 of 2	PO BOX 1810 WILMINGTON, NC 28402
SCALE: NOT TO SCALE		(910) 341-7807	SCALE: NOT TO SCALE		(910) 341-7807

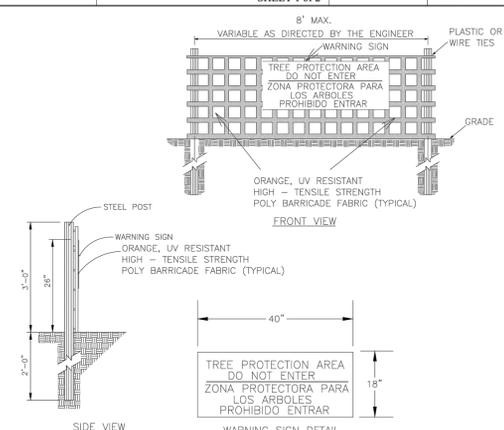
- SIGNS**
- All signs shall meet the requirements of MUTCD and City Traffic Engineering in effect at the time of construction.
 - All Traffic Control Signs including multi-use paths shall be fabricated with 0.080 inch aluminum blanks using high intensity prismatic reflective sheeting Type IV or better. STOP signs shall be a minimum of 30"x30".
 - SPECIAL DESIGNATION signs by location and type shall adhere to a City of Wilmington signage plan (i.e. downtown, historic, cross-city trail, parks, riverfront, scenic by-way, parking, etc.) and all associated policies.
 - POST MOUNTED STREET NAME SIGNS shall be fabricated with 9" extruded aluminum street name sign blanks using a standard cut-out. Minimum sign length is 18" long and increasing in 6" increments to 54" maximum as dictated by the number of letters in the name. The color scheme shall be white letters on a green background without a border. Generally, in the downtown and historic areas or as designated in the City of Wilmington signage plan the background shall be blue and contain a topper.
 - Decorative sign posts shall consist of the NEX sign support system, 2" octagonal tube, 14 gauge, powder coated glossy black and include cap, post, base and wedge.
 - All other sign posts shall be U-channel posts made of galvanized steel with 8" posts 2lbs/ft or 12 posts 3lbs/ft. Galvanized NEX post may be substituted with approval from the City Signs and Markings Engineer.
 - OVERHEAD STREET NAME SIGNS shall be fabricated with 0.080 inch aluminum flat sign blanks 18" in height using a standard cut-out. Sign length will be dictated by the number of letters in the name. For first-arm type traffic signal supports and other overhead support systems refer to the design plans for maximum sign length.
 - All sign lettering, colors and fonts shall adhere to the MUTCD in effect at the time of construction. Fluorescent Yellow-Green shall be used on signs, in place of Yellow, when listed as an optional color in the MUTCD. Generally, the font will be FHWA series fonts (Highway Gothic.) Other font types require prior City Signs and Markings Engineer approval.
- LOCATION**
- Sign locations depend on the edge of road condition. Generally, signs shall be a minimum 2' from face of a vertical curb, 4' from front of slope face curb, and 6' from edge of pavement without curb. Signs shall not be located more than 12' from any of these locations.
 - Sign posts installed in dirt shall be buried a minimum of 36". Octagonal posts shall utilize an anti-sign device, 6" in length minimum. Sign posts installed in concrete or brick shall utilize a base cast in concrete 24" x 12" diameter.
 - Street name signs shall be installed 8'-6" from the ground to the bottom of the sign. Street name signs co-located with STOP signs shall be installed above the STOP sign. A 6" space shall be maintained between the STOP sign and a Street name sign that is parallel to the STOP sign face. All other signs should be mounted per MUTCD guidelines for Urban Areas.

DATE: NOVEMBER, 2011	STANDARD DETAIL	CITY OF WILMINGTON	DATE: JAN, 2015	STANDARD DETAIL	CITY OF WILMINGTON
DRAWN BY: JSR	STREET SIGNS AND LOCATION	CITY OF WILMINGTON ENGINEERING	DRAWN BY: JSR	TREE PROTECTION DURING CONSTRUCTION	CITY OF WILMINGTON ENGINEERING
CHECKED BY: BDR, P.E.	SHEET 2 of 2	PO BOX 1810 WILMINGTON, NC 28402	CHECKED BY: RDG, P.E.	SHEET 2 of 2	PO BOX 1810 WILMINGTON, NC 28402
SCALE: NOT TO SCALE		(910) 341-7807	SCALE: NOT TO SCALE		(910) 341-7807



- NOTES:**
- PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
 - CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
 - IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
 - WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
 - FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES, DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
 - FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY, DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

DATE: NOVEMBER, 2011	STANDARD DETAIL	CITY OF WILMINGTON	DATE: JAN, 2015	STANDARD DETAIL	CITY OF WILMINGTON
DRAWN BY: JSR	STREET SIGNS AND LOCATION	CITY OF WILMINGTON ENGINEERING	DRAWN BY: JSR	TREE PROTECTION DURING CONSTRUCTION	CITY OF WILMINGTON ENGINEERING
CHECKED BY: BDR, P.E.	SHEET 1 of 2	PO BOX 1810 WILMINGTON, NC 28402	CHECKED BY: RDG, P.E.	SHEET 1 of 2	PO BOX 1810 WILMINGTON, NC 28402
SCALE: NOT TO SCALE		(910) 341-7807	SCALE: NOT TO SCALE		(910) 341-7807



- NOTES:**
- THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
 - WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAIL.
 - SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
 - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
 - TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
 - ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

DATE: NOVEMBER, 2011	STANDARD DETAIL	CITY OF WILMINGTON	DATE: JAN, 2015	STANDARD DETAIL	CITY OF WILMINGTON
DRAWN BY: JSR	STREET SIGNS AND LOCATION	CITY OF WILMINGTON ENGINEERING	DRAWN BY: JSR	TREE PROTECTION DURING CONSTRUCTION	CITY OF WILMINGTON ENGINEERING
CHECKED BY: BDR, P.E.	SHEET 2 of 2	PO BOX 1810 WILMINGTON, NC 28402	CHECKED BY: RDG, P.E.	SHEET 2 of 2	PO BOX 1810 WILMINGTON, NC 28402
SCALE: NOT TO SCALE		(910) 341-7807	SCALE: NOT TO SCALE		(910) 341-7807



DETAIL SHEET & DRAINAGE MAP
SOUTH FRONT II
WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

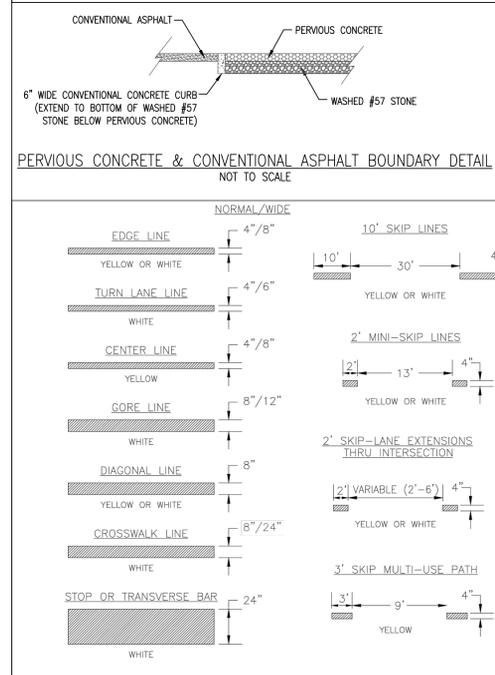
APPROVED CONSTRUCTION PLAN

DATE: 9-18-15
SCALE: N.T.S.
DRAWN: JCB
CHECKED: JBM
PROJECT NO: 261

Owner: PEACHTREE VENTURES, LLC
10 S. CARDINAL DRIVE
WILMINGTON, NORTH CAROLINA 28403
PHONE: 910-251-5030

DATE: 9-18-15
SCALE: N.T.S.
DRAWN: JCB
CHECKED: JBM
PROJECT NO: 261

SHEET NO: 7
OF: 11

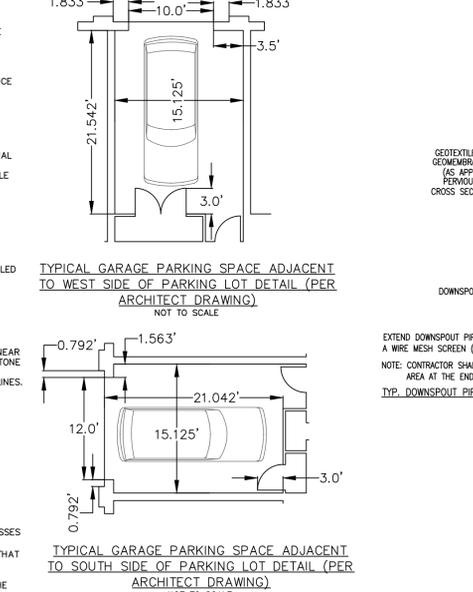


DATE: DECEMBER, 2011	STANDARD DETAIL	CITY OF WILMINGTON
DRAWN BY: JSR	PAVEMENT MARKINGS LINE TYPES	CITY OF WILMINGTON ENGINEERING
CHECKED BY: BDR, P.E.		PO BOX 1810 WILMINGTON, NC 28402
SCALE: NOT TO SCALE		(910) 341-7807

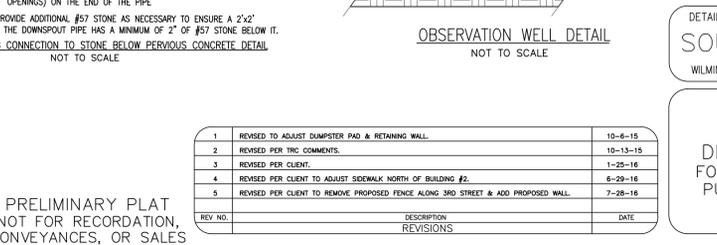
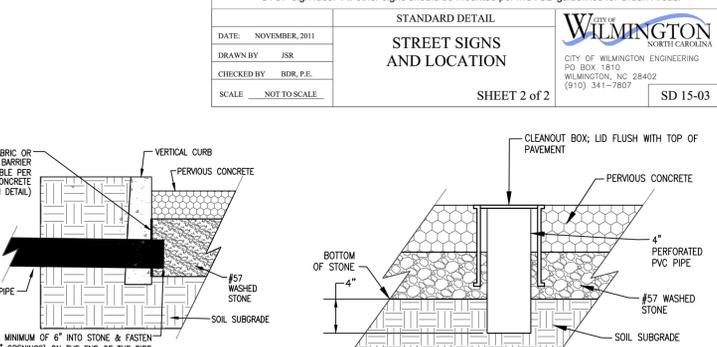
TEST LOCATION	EXISTING GROUND ELEVATION (FEET)**	SHWT (INCHES BELOW GROUND SURFACE)**	SHWT ELEVATION (FEET)***	HYDRAULIC CONDUCTIVITY RATE (INCHES PER HOUR)**
SB-1	22.72	> 10B	< 13.72	26.16
SB-2	23.44	> 10B	< 14.44	10.02
SB-3	16.50	> 10B	< 7.50	10.90
SB-4	20.19	> 10B	< 11.19	39.29

** INFORMATION PROVIDED BY BATEMAN CIVIL SURVEY COMPANY, P.C.
*** INFORMATION PROVIDED BY APPLIED RESOURCE MANAGEMENT, P.C.
**** CALCULATED BASED ON INFORMATION PROVIDED BY OTHERS.

- CONSTRUCTION SEQUENCE FOR INSTALLATION OF PERMEABLE PAVEMENT (NCDOT STORMWATER BMP MANUAL CHAPTER 18)**
- ENSURE ACCEPTABLE CONDITIONS FOR CONSTRUCTION**
- PERVIOUS SURFACES MUST BE GRADED TO DRAIN AWAY FROM THE PERMEABLE PAVEMENT, EXCEPT WHERE THIS IS UNAVOIDABLE, SUCH AS PARKING ISLANDS, AND AREA BETWEEN BUILDINGS & PARKING LOT.
 - IMPERVIOUS AREAS THAT WILL DRAIN TO THE PERMEABLE PAVEMENT ARE COMPLETED.
 - AREAS ADJACENT TO THE PERMEABLE PAVEMENT ARE STABILIZED (VEGETATION, MULCH, STRAW, FIBER BLANKETS, ETC.) IN ORDER TO PREVENT EROSION & POSSIBLE CONTAMINATION WITH SEDIMENTS.
 - CONSTRUCTION ACCESS TO OTHER PORTIONS OF THE SITE IS ESTABLISHED SO THAT NO CONSTRUCTION TRAFFIC PASSES THROUGH THE PERMEABLE PAVEMENT SITE DURING INSTALLATION. INSTALL BARRIERS/FENCES AS NEEDED.
 - WEATHER FORECAST CALLS FOR A DRY WEATHER TO PREVENT EXCESS COMPACTION OR SWEARING OF THE SOIL SUBGRADE WHILE IT IS EXPOSED.
2. EXCAVATE PERMEABLE PAVEMENT AREA & PREPARE SUBGRADE SURFACE
 - EXCAVATE TO DRY SUBGRADE CONDITIONS & AVOID EXCAVATING IMMEDIATELY AFTER STORMS WITHOUT A SUFFICIENT DRYING PERIOD.
 - DO NOT ALLOW EQUIPMENT TO CROSS THE PAVEMENT AREA AFTER EXCAVATION HAS BEGUN.
 - OPERATE EXCAVATION EQUIPMENT FROM OUTSIDE THE EXCAVATION AREA OR FROM UNEXCAVATED PORTIONS OF THE AREA USING AN EXCAVATION STAGING PLAN.
 - USE EQUIPMENT WITH TRACKS RATHER THAN TIRES TO MINIMIZE SOIL COMPACTION WHEN EQUIPMENT ON THE SUBGRADE SURFACE IS UNAVOIDABLE.
 - DIG THE FINAL 9 TO 12 INCHES BY USING THE TEETH OF THE EXCAVATOR BUCKET TO LOOSEN SOIL & DO NOT SMEAR THE SUBGRADE SOIL SURFACE. FINAL GRADING OR SMOOTHING OF SUBGRADE SHOULD BE DONE BY HAND IF POSSIBLE.
 - THE FINAL SUBGRADE SURFACE SHALL NOT EXCEED 0.5% SLOPE. THE FINAL SUBGRADE SHALL BE SURVEYED BEFORE PROCEEDING WITH INSTALLATION.
 - MINIMIZE THE TIME BETWEEN EXCAVATION AND PLACEMENT OF THE AGGREGATE.
 - TO SCARIFY THE PAVEMENT, USE THE EXCAVATOR BUCKET'S TEETH TO MAINTAIN THE SOILS PRE-DISTURBANCE INFILTRATION RATE.
 - TO SCARIFY THE PAVEMENT, USE THE EXCAVATOR BUCKET'S TEETH TO RAKE THE SURFACE OF THE SUBGRADE.
 3. TEST THE SUBGRADE SOIL INFILTRATION RATE (INFILTRATION SYSTEMS ONLY)
 - IMMEDIATELY AFTER EXCAVATION & BEFORE THE AGGREGATE IS PLACED, CONDUCT A DIRECT MEASUREMENT OF THE SOIL'S INFILTRATION RATE. INFILTRATION TESTING SHALL BE PERFORMED BY AN APPROPRIATELY-QUALIFIED PROFESSIONAL.
 - IF THE RESULTS OF THE INFILTRATION TESTING SHALL BE PROVIDED TO THE ENGINEER.
 - IF THE SOIL TEST SHOWS INFILTRATION RATE(S) THAT ARE LOWER THAN THE RATE(S) USED IN THE DESIGN, THEN ADDITIONAL SCARIFICATION, RIPPERING OR TRENCHING SHALL BE NEEDED.
 - CONTRACTOR SHALL CONTACT & RECEIVE APPROVAL FROM ENGINEER OF RECORD TO CONTINUE INSTALLATION OF PERMEABLE PAVEMENT.
 4. PLACE GEOTEXTILES AND GEOMEMBRANE (IF APPLICABLE)
 - FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR THE APPROPRIATE OVERLAP BETWEEN ROLLS OF MATERIAL. SECURE THE MATERIAL TO ENSURE IT DOES NOT MOVE OR WRINKLE WHEN PLACING AGGREGATE.
 5. PLACE OBSERVATION WELLS
 - PLACE OBSERVATION WELL(S) ACCORDING TO THE PLAN AND VERIFY THAT THE ELEVATIONS ARE CORRECT.
 6. PLACE & COMPACT AGGREGATE BASE
 - INSPECT ALL AGGREGATES TO ENSURE THEY ARE CLEAN, FREE OF FINES, AND CONFORM TO THE PLANS.
 - IF AGGREGATE DELIVERED TO THE SITE CANNOT BE IMMEDIATELY PLACED INTO THE EXCAVATION, THEY SHOULD BE STOCKPILED ON AN IMPERVIOUS SURFACE, GEOTEXTILE, OR ON AN IMPERVIOUS MATERIAL TO KEEP THE AGGREGATE FREE OF SEDIMENT.
 - IF AGGREGATE BECOMES CONTAMINATED WITH SEDIMENT, THEN IT SHALL BE REPLACED WITH CLEAN AGGREGATE.
 - BEFORE PLACING THE AGGREGATE BASE, REMOVE ANY ACCUMULATION OF SEDIMENTS ON THE FINISHED SOIL SUBGRADE.
 - IF THE EXPOSED SUBGRADE HAS BEEN SUBJECT TO RAINFALL BEFORE PLACEMENT OF THE AGGREGATE, THEN THE SUBGRADE SURFACE MUST BE SCARIFIED TO BREAK UP THE RESULTING SURFACE CRUST.
 - SLOPES & ELEVATIONS SHALL BE CHECKED ON THE SOIL SUBGRADE AND THE FINISHED ELEVATION OF BASE (AFTER COMPACTION) OR BEDDING MATERIAL TO ASSURE THEY CONFORM TO THE PLANS AND SPECIFICATIONS.
 - THE AGGREGATE SHALL BE SPREAD (NOT DUMPED) BY A FRONT-END LOADER OR FROM DUMP TRUCKS DEPOSITING FROM NEAR THE EDGE OF THE EXCAVATED AREA OR DIRECTLY ON DEPOSITED AGGREGATE PILES. MOISTEN AND SPREAD THE WASHED STONE WITHOUT DRIVING ON THE SOIL SUBGRADE. DO NOT EXCEED 0.5% SLOPE. THE OBSERVATION WELLS DURING COMPACTION.
 - FOLLOW COMPACTION RECOMMENDATIONS BY THE PERMEABLE PAVEMENT MANUFACTURER OR THAT FROM INDUSTRY GUIDELINES.
 - BE SURE THAT CORNERS, AREAS AROUND UTILITY STRUCTURES AND OBSERVATION WELLS, & TRANSITION AREAS TO OTHER PAVEMENTS ARE ADEQUATELY COMPACTED.
 - DO NOT CRUSH AGGREGATES DURING COMPACTION.
 7. INSTALL PAVEMENT RESTRAINTS AND BARRIERS
 - EDGE RESTRAINTS AND BARRIERS BETWEEN PERMEABLE IMPERVIOUS PAVEMENT SHALL BE INSTALLED PER THE PLAN.
 - BEFORE MOVING ON TO CONSTRUCTION STEP 8, BE CERTAIN THE DESIGN AND INSTALLATION ARE CONSISTENT.
 8. INSTALL PAVEMENT COURSE
 - PERVIOUS CONCRETE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST VERSION OF AC 522.1 SPECIFICATION FOR PERVIOUS CONCRETE.
 - INSTALLATION OF THE PERVIOUS CONCRETE MAY BE ACCOMPLISHED USING ONE-STEP OR TWO-STEP METHOD.
 9. PROTECT THE PAVEMENT THROUGHOUT PROJECT COMPLETION
 - IF IT IS NOT POSSIBLE TO INSTALL THE PERMEABLE PAVEMENT AT THE END OF THE SITE CONSTRUCTION TIMELINE, THEN PROTECT THE PAVEMENT UNTIL PROJECT COMPLETION. THIS SHALL BE DONE BY:
 - A) ROUTING CONSTRUCTION ACCESS THROUGH OTHER PORTIONS OF THE SITE SO THAT NO CONSTRUCTION TRAFFIC PASSES THROUGH THE PERMEABLE PAVEMENT SITE (INSTALL BARRIERS/FENCES AS NEEDED).
 - B) IF THIS IS NOT POSSIBLE, PROTECT THE PAVEMENT PER THE CONSTRUCTION DOCUMENTS. PROTECTION TECHNIQUES THAT MAY BE USED INCLUDE MATS, PLASTIC SHEETING, BARRIERS TO LIMIT ACCESS, OR MOVING THE STABILIZED CONSTRUCTION ENTRANCE.
 - C) SCHEDULE STREET SWEEPING DURING AND AFTER CONSTRUCTION TO PREVENT SEDIMENT FROM ACCUMULATING ON THE PAVEMENT.



TYPICAL GARAGE PARKING SPACE ADJACENT TO WEST SIDE OF PARKING LOT DETAIL (PER ARCHITECT DRAWING)
NOT TO SCALE



TYPICAL GARAGE PARKING SPACE ADJACENT TO SOUTH SIDE OF PARKING LOT DETAIL (PER ARCHITECT DRAWING)
NOT TO SCALE

REV. NO.	DESCRIPTION	DATE
1	REVISED TO ADJUST DAMPER PAD & RETAINING WALL	10-6-15
2	REVISED PER TRC COMMENTS	10-13-15
3	REVISED PER CLIENT	1-25-16
4	REVISED PER CLIENT TO ADJUST SIDEWALK NORTH OF BUILDING #2	8-29-16
5	REVISED PER CLIENT TO REMOVE PROPOSED FENCE ALONG 3RD STREET & ADD PROPOSED WALL	7-28-16

FINAL DRAWING FOR REVIEW PURPOSES ONLY

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