

SITE DATA
 PROPERTY OWNER: PEACHTREE VENTURES, LLC
 PROJECT ADDRESS: 1510 SOUTH THIRD STREET
 PIN NUMBER: R05417-013-004-000
 ZONING DISTRICT: UMX
 FLOOD AREA: THIS LOT IS LOCATED IN ZONE "X" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 3720311700K PANEL 3117, DATED: 6/2/2006 (PER BATEMAN CIVIL SURVEY COMPANY, PC)
 MAXIMUM ALLOWABLE BUILDING HEIGHT: 4 STORIES OR 45' (ALONG ARTERIAL STREETS), 35' OR 2 STORIES (ALONG RESIDENTIAL & COLLECTOR STREETS)
 MAXIMUM EXISTING BUILDING HEIGHT: 27' (APPROX. PER GOOGLE EARTH; FROM EXISTING GROUND TO TOP OF BUILDING ALONG WILLARD STREET)
 BUILDING SETBACKS REQUIRED (FOR SIDE OF BUILDING ABUTTING A SINGLE-FAMILY ZONING DISTRICT): FRONT=5' OR AVERAGE SETBACK OF EXISTING BUILDINGS WITHIN THE BLOCK OR FACE (BUT NOT MORE THAN 10'), REAR=5', SIDE=5'
 BUILDING SETBACKS, EXISTING: FRONT=0.04'
 SITE AREA: 105,703.64 SF = 2.43 ACRES ±
 MAXIMUM ALLOWABLE DENSITY: NONE (VERTICALLY INTEGRATED MIXED-USE BUILDING)
 TOTAL UNITS: 43 (ONE BEDROOM APARTMENTS), 10 (TWO BEDROOM APARTMENTS) & 1 (RETAIL SPACE)
 NUMBER OF PROPOSED BUILDINGS: 0
 NUMBER OF EXISTING BUILDINGS: 2
 BUILDING SIZE:

BUILDING	POST DEVELOPMENT SQUARE FOOTAGE (1ST STORY)	POST DEVELOPMENT SQUARE FOOTAGE (2ND STORY)
1	5,769	11,329
2	5,841	N/A

TOTAL AMOUNT & PERCENT OF IMPERVIOUS SURFACE AREAS ON-SITE (REPLACEMENT OF EXISTING PARKING AREAS DUE TO STORM DRAIN PIPE SYSTEM INSTALLATION REMAIN LISTED/TREATED AS EXISTING, NOT PROPOSED):

BEFORE DEVELOPMENT			AFTER DEVELOPMENT				
BUILDINGS	AREA (SF)	% OF SITE	BUILDINGS	EX. (SF)	PROPOSED (SF)	TOTAL (SF)	% OF SITE
BUILDINGS	59,079	55.89	BUILDINGS	58,404	0	58,404	55.28
PARKING	29,886	28.25	PARKING	24,544	7,742	32,408	30.68
DRIVEWAY	7,785	7.36	PARKING-PERVIOUS (AFTER CREDIT REDUCTION)	0	259	259	0.24
SIDEWALK	187	0.18	GRAVEL	0	0	0	0
OTHER	1,858	1.76	SIDEWALK	187	1,227	1,414	1.34
TOTAL	100,470	95.05	OTHER (WALL/DUMPSTER)	1,075	350	1,425	1.35
			TOTAL	84,330	9,584	93,914	88.85

TOTAL PROPOSED IMPERVIOUS AREAS OFF-SITE (DOES NOT INCLUDE REPLACEMENT OF EXISTING SIDEWALK AREAS OR EXISTING DRIVEWAY AREAS DUE TO STORM DRAIN PIPE SYSTEM INSTALLATION, GRADE ADJUSTMENTS, AND/OR ANY REQUIRED REPLACEMENTS PER CITY OF WILMINGTON):

DRIVEWAY	AREA (SF)
DRIVEWAY	132
SIDEWALK (INCLUDES BICYCLE PARKING AREAS)	4,115
TOTAL	4,247

OFF STREET PARKING CALCULATIONS:
 MIN. PARKING REQ. = N/A
 MAX. PARKING ALLOWED = 2.5 SPACES/UNIT x 53 UNITS + 1 SPACE/200 SF x 3,922 SF = 152 SPACES
 NUMBER OF PROPOSED PARKING SPACES (OFF-STREET) = 92 (18 ARE INDIVIDUAL GARAGE SPACES & 16 ARE ARETAL SPACES)
 NUMBER OF PROPOSED PARKING SPACES (ON-STREET, STRIPE ON EXISTING SOUTH SECOND STREET) = 16
 MIN. NUMBER OF REQ. HANDICAPPED SPACES PER ADA STANDARDS FOR ACCESSIBLE DESIGN = 5
 NUMBER OF PROPOSED HANDICAPPED SPACES = 6
 NUMBER OF REQ. BICYCLE PARKING SPACES = 1 SPACE/UNIT x 53 UNITS + (1 SPACE/1,000 SF x 3,922 SF OR 5 SPACES, WHICHEVER IS GREATER) = 58
 NUMBER OF PROPOSED BICYCLE PARKING SPACES = 58 (INCLUDES 1 SPACE IN EACH INDIVIDUAL GARAGE SPACE)
 THIS SITE IS NOT WITHIN A SPECIAL HIGHWAY OVERLAY DISTRICT OR ANY OTHER ZONING OVERLAY DISTRICT
 PER THE CITY OF WILMINGTON ZONING MAP (MAP 3117-4, DATED: MAY 8, 2015)
 CAMA LAND USE CLASSIFICATION PER THE 2006 CAMA PLAN UPDATE LAND CLASSIFICATION MAP IS URBAN.

- CITY OF WILMINGTON STANDARD NOTES**
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 - NO LAND DISTURBANCE INCLUDING TREE REMOVAL IS TO OCCUR OUTSIDE THE LIMITS OF DISTURBANCE SHOWN ON THE PLANS. NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.
 - PROTECTIVE TREE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
 - LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS AND METHODS.
 - ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
 - IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL.
 - CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
 - TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
 - CALL TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY APRON PANELS, OR CURB AND OPEN SECTION(S) SHALL BE REPLACED.
 - CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
 - PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 332-6558 FOR INFORMATION.
 - IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE & MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
 - ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA WATER SHALL COMPLY WITH THE CFPWA CROSS CONNECTION CONTROL REGULATIONS. CALL 332-6558 FOR INFORMATION.
 - ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCOCHOR OR ASSE.
 - ALL TRAFFIC CONTROL SIGNS & MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - ALL PAVEMENT MARKINGS REGULATING TRAFFIC FLOW MUST BE THERMOPLASTIC.
 - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET (CONTACT 341-5888 FOR MORE DETAILS). IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
 - A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
 - CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING. 1-800-632-4949.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS.

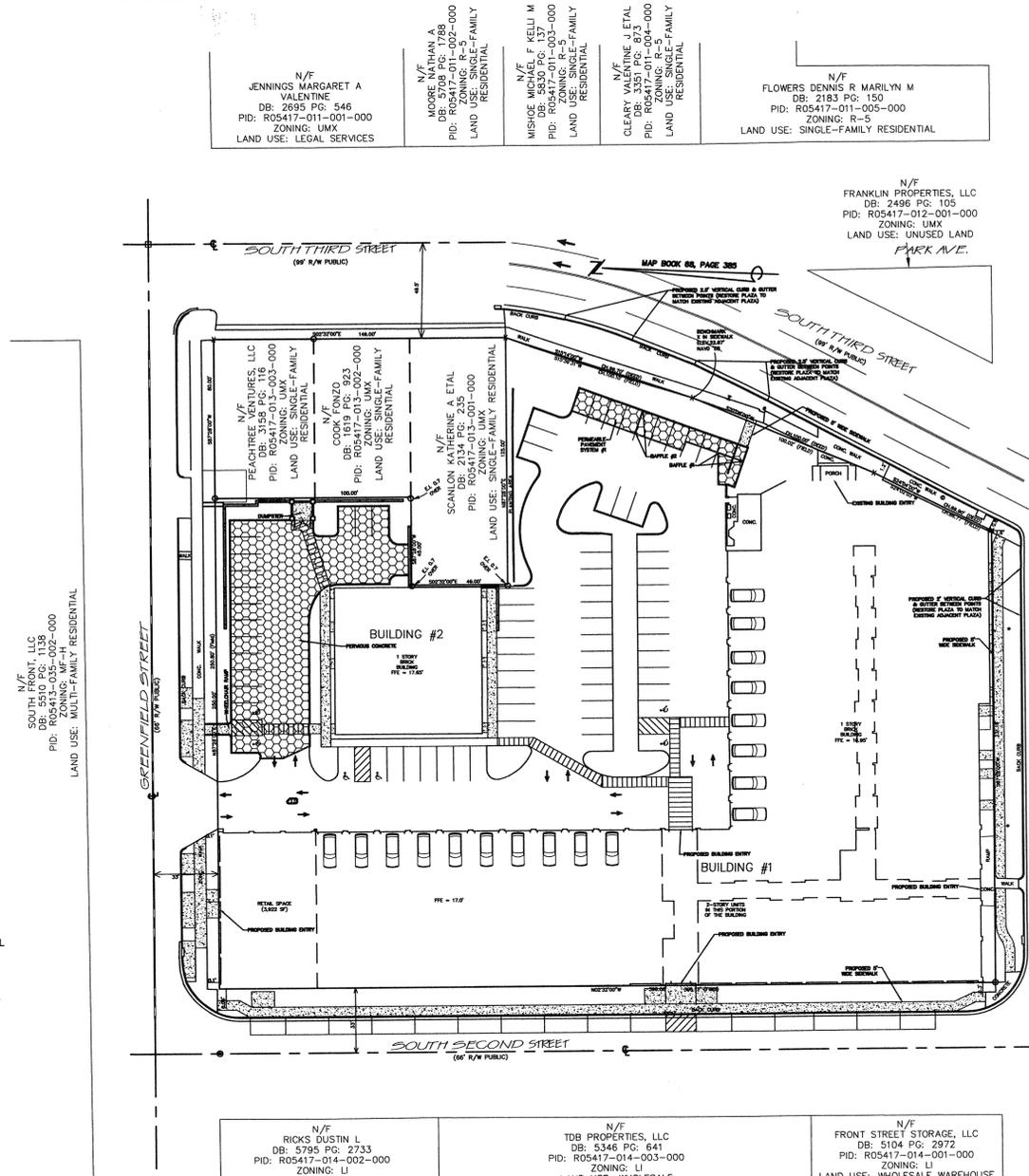
- SITE INVENTORY NOTES**
- SOIL ON SITE PER THE NEW HANOVER COUNTY SOIL SURVEY IS URBAN LAND (U).
 - THERE ARE NO CAMA AEC'S, TO WHICH SETBACKS WOULD BE MEASURED, ASSOCIATED WITH THIS PROPERTY PER SOUTHERN ENVIRONMENTAL GROUP, INC.
 - THE SUBJECT PARCEL IS NOT ASSOCIATED WITH ANY OF THE CONSERVATION RESOURCES LISTED IN SECTION 18-34(C) OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE PER SOUTHERN ENVIRONMENTAL GROUP, INC.
 - THE PROPERTY HAS BEEN DEVELOPED FOR MANY YEARS, THEREFORE IT IS NOT ANTICIPATED THAT THERE ARE HISTORICAL OR ARCHAEOLOGICAL CONCERNS ASSOCIATED WITH THIS PROPERTY PER SOUTHERN ENVIRONMENTAL GROUP, INC.
 - THERE ARE NO CEMETERIES WITHIN THE SUBJECT PROPERTY LIMITS PER SOUTHERN ENVIRONMENTAL GROUP, INC.
 - THE SITE IS AN EXISTING COMMERCIAL SITE WITH NO FORESTED AREAS.
 - THERE ARE NO FEDERAL, STATE OR LOCALLY REGULATED WETLANDS, WATERS OR CONSERVATION RESOURCES ON THE PROPERTY PER SOUTHERN ENVIRONMENTAL GROUP, INC.
 - THERE ARE NO ENDANGERED SPECIES OR CRITICAL HABITAT WITHIN THE PROPERTY BOUNDARIES PER SOUTHERN ENVIRONMENTAL GROUP, INC.
 - THIS LOT IS LOCATED IN ZONE(S) "X" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 3720311700K PANEL 3117, DATED: 6/2/2006 (PER BATEMAN CIVIL SURVEY COMPANY, PC)
 - EXISTING FRONTAGE SIDEWALKS ARE LOCATED ALONG SOUTH 3RD STREET & GREENFIELD. FRONTAGE SIDEWALKS ALONG SOUTH 2ND STREET & WILLARD STREET ARE PROPOSED AS PART OF THE DEVELOPMENT PLAN FOR THIS PROPERTY.
 - THE TRACT IS WITHIN THE CAPE FEAR RIVER BASIN & DRAINS TO GREENFIELD CREEK (SC:SW).
 - CAMA LAND USE CLASSIFICATION PER THE 2006 CAMA PLAN UPDATE LAND CLASSIFICATION MAP IS URBAN.

- FIRE AND LIFE SAFETY NOTES**
- PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS OR FDC'S. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
 - FIRE HYDRANTS CANNOT BE FURTHER THAN 8' FROM THE CURB.
 - NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
 - ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
 - PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE & LIFE SAFETY DIVISION AT 910-343-0898.
 - A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
 - FDC'S CAN BE NO FURTHER THAN 150' FROM A FIRE HYDRANT.
 - FDC'S CAN BE NO FURTHER THAN 40' FROM FIRE DEPARTMENT VEHICLE PLACEMENT.
 - BUILDING CONSTRUCTION TYPE ACCORDING TO THE INTERNATIONAL BUILDING CODE IS IIBB.
 - TAMPER SWITCHES SHALL BE INSTALLED ON ALL VALVES THAT ARE CAPABLE OF TURNING THE WATER SUPPLY OFF TO THE SPRINKLER SYSTEMS.
 - ALL GATES USED FOR VEHICULAR INGRESS AND/OR EGRESS SHALL BE ALARM/SIREN ACTIVATED. WHEN THE INGRESS & EGRESS GATES ARE OPEN THERE SHALL BE NO VERTICAL OBSTRUCTION IN THE ENTIRE WIDTH OF THE DRIVE AISLE.
 - KNOX BOX WITH A KEY FOR MANUAL OVERRIDE OF THE VEHICULAR GATE(S) SHALL BE PROVIDED.
 - SENSORS FOR PREVENTING THE GATE(S) FROM OPENING AND CLOSING ON VEHICLES SHALL BE PROVIDED.
 - PROVISION MUST BE MADE FOR AUTOMATIC OPENING OF THE GATE(S) IN THE EVENT OF POWER OUTAGES.
 - KNOX BOX WITH A KEY FOR MANUAL OVERRIDE OF THE PEDESTRIAN GATE AT 3RD STREET SHALL BE PROVIDED.
 - HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.
 - IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.

SURVEYOR NOTES:
 1. THIS LOT IS LOCATED IN ZONE(S) "X" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 3720311700K PANEL 3117, DATED: 6/2/2006.
 2. AREA=2.43 AC.
 3. RATIO OF PRECISION = 1:10000 +.

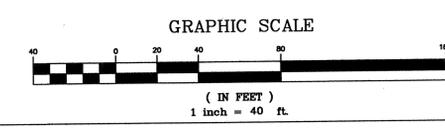
SURVEY REF: TRACT #1:
 BOOK 946 PAGE 32
 BOOK 268 PAGE 35
 BOOK 774 PAGE 454
 BOOK 86 PAGE 214

Surveyor:
Bateman Civil Survey Company, PC
 Engineers Surveyors Planners
 200 N. Main Street, Holly Springs, NC 27540
 (919) 577-1080
 NCBELS C 2378



- NOTES**
- BOUNDARY, TOPOGRAPHICAL, & TREE SURVEY PROVIDED BY BATEMAN CIVIL SURVEY COMPANY, PC (MAP TITLED "SURVEY OF A PORTION OF BLOCK 'E' AS SHOWN ON THAT MAP ENTITLED WILMINGTON SUBURBAN CO.S PROPERTY" WITH SEAL DATE OF 7/2/15).
 - ALL ELEVATIONS ARE FEET UNLESS OTHERWISE INDICATED.
 - ALL CITY, STATE, & FEDERAL REGULATIONS SHALL BE FOLLOWED.
 - EXISTING SANITARY SEWER MAINS ARE OWNED BY CFPWA.
 - EXISTING WATER MAINS ARE OWNED BY CFPWA.
 - SLOPE ON HANDICAP ACCESS SHALL BE 1:50 OR FLATTER.
 - TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
 - DISTURBED AREAS WITHIN RIGHT-OF-WAY OF SOUTH THIRD STREET, SOUTH SECOND STREET, GREENFIELD STREET, AND/OR WILLARD STREET SHALL BE IMMEDIATELY SEEDED & STABILIZED WITH MULCH OR EXCELISUR MAT PRIOR TO ANY RAINFALL EVENT.
 - UPON COMPLETION OF ANY PHASE OF ACTIVITY SIDE SLOPES WILL BE SEEDED/STABILIZED.
 - RETAINING WALL SHALL BE DESIGNED BY OTHERS. MALPASS ENGINEERING & SURVEYING, P.C. IS NOT RESPONSIBLE FOR RETAINING WALL DESIGN.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE & TECHNICAL STANDARDS MANUAL EXCEPT WHERE EXEMPTED OR VARIANCES ARE OBTAINED.
 - THE PROPOSED CURB ON THE SITE IS 4" VERTICAL CURB (SD 3-11).
 - MANHOLES, CATCH BASINS, & DROP INLETS SHALL BE SIZED APPROPRIATELY TO ACCOMMODATE OVERSIZED PIPES.
 - ALL DROP INLETS TO BE TRAFFIC BEARING WITH HEAVY DUTY 2x3" FRAME & GRATE (GENERAL FOUNDRIES INC., ITEM #24364 OR EQUIVALENT).
 - IT IS THE APPLICANT'S/DEVELOPER'S RESPONSIBILITY TO BE COMPLIANT WITH ALL APPLICABLE ADA REQUIREMENTS.
 - ALL PLANTED & RETAINED LIVING MATERIAL REQUIRED TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE SHALL BE PERPETUALLY PROTECTED & MAINTAINED TO PROFESSIONALLY ACCEPTED STANDARDS BY THE APPLICANT & SEVERAL RESPONSIBILITY OF THE OWNER, OCCUPANT, TENANT, & RESPECTIVE AGENTS OF THE PROPERTY ON WHICH THE MATERIAL IS LOCATED.
 - CONTRACTOR SHALL CONTACT & COORDINATE WITH POWER COMPANY REGARDING REMOVAL OF EXISTING POWER POLE & BURIAL OF EXISTING OVERHEAD POWER LINES ON SITE.
 - ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISION SIGHT LINES FROM 30'-10'.
 - THREE BOLLARDS SHALL BE PROVIDED IN LANDSCAPE ISLAND (LI) 1, FOUR IN LI-5, FIVE IN LI-6, & NINE IN LI-7 WHERE SHOWN ON THE SITE PLAN.
 - YARD INLET SHALL BE INSTALLED WHERE SHOWN ON DRAINAGE PLAN & DISCHARGE INTO CB-1.
 - PROPOSED FENCE TO BE 7-FOOT TALL BLACK ALUMINUM BAR FENCE. FENCE SHALL BE SET BACK A MINIMUM OF 10' FROM RIGHT-OF-WAY. FENCE TO BE FENCE SHOWN ON DETAIL (ON SHEET B) OR SIMILAR.
 - PROPOSED 16" PVC GOES THROUGH BASEMENT IN BUILDING #1 SUPPORTS FOR 16" PVC IN BASEMENT SHALL BE DESIGNED BY OTHERS. MALPASS ENGINEERING & SURVEYING, P.C. IS NOT RESPONSIBLE FOR PIPE SUPPORT DESIGN.
 - PROPOSED VEHICULAR GATES SHALL BE SWING GATES & BE SIMILAR IN MATERIAL & APPEARANCE TO THE PROPOSED FENCE (BLACK ALUMINUM BARS). INGRESS GATE SHALL OPEN BY USE OF KEYPAD. EGRESS GATE SHALL OPEN BY USE OF GROUND SENSOR. INGRESS & EGRESS GATES SHALL BOTH AUTOMATICALLY CLOSE.
 - THE LOCATION OF THE PROPOSED WALKWAY FROM EACH UNIT IN BUILDING #2 TO THE PROPOSED SIDEWALK ADJACENT TO THE BUILDING IS APPROXIMATE. THE LOCATION OF THE PROPOSED WALKWAY FROM UNITS IN BUILDING #1 TO THE PROPOSED SIDEWALK ALONG WILLARD STREET IS APPROXIMATE. CONTRACTOR TO COORDINATE WITH ARCHITECTURAL DRAWINGS & ADJUST LOCATIONS AS NECESSARY TO MATCH DOOR LOCATIONS.
 - STAIRS SHALL BE PROVIDED FROM BUILDING #1 UNITS TO PROPOSED SIDEWALK ALONG WILLARD ST. AS NECESSARY.
 - IF EXTERIOR SITE LIGHTING IS PROPOSED, IT SHALL MEET THE CITY OF WILMINGTON'S UMX STANDARD FOR SITE LIGHTING, WHICH IS AS FOLLOWS: "ALL SITE LIGHTING SHALL BE LOCATED, ANGLED, SHIELDED, AND/OR LIMITED IN INTENSITY SO AS TO CAST NO DIRECT LIGHT UPON ADJACENT PROPERTIES, SHALL MINIMIZE OFF-SITE BACKLIGHTING GLARE, AND UP-LIGHTING. LIGHT POSTS SHALL BE NO TALLER THAN TWELVE (12) FEET."
 - DUMPSLOTS FOR THE NORTHERN HALF OF BUILDING #2 SHALL DISCHARGE INTO CB-1.
 - ARCHITECTURAL DRAWINGS & ADJUST LOCATIONS AS NECESSARY TO MATCH DOOR LOCATIONS.
 - DUMPSLOT PLAN/LAYOUT & SCREENING DETAILS (SEE SHEET 4) PER COTHRAN HARRIS ARCHITECTURE. MALPASS ENGINEERING & SURVEYING, P.C. IS NOT RESPONSIBLE FOR DUMPSLOT PLAN/LAYOUT & SCREENING.

WATER & SEWER CAPACITY	
EXISTING WATER CAPACITY:	42 EMPLOYEES x 25 GPD/EMPLOYEE = 1,050 GPD
EXISTING SEWER CAPACITY:	42 EMPLOYEES x 25 GPD/EMPLOYEE = 1,050 GPD
PROPOSED WATER CAPACITY:	53 UNITS x 400 GPD/UNIT + 3,922 SF x 100 GPD / 1,000 SF = 21,592 GPD
PROPOSED SEWER CAPACITY:	53 UNITS x 240 GPD/UNIT + 3,922 SF x 100 GPD / 1,000 SF = 13,112 GPD
ADDITIONAL WATER CAPACITY REQUESTED:	20,542 GPD
ADDITIONAL SEWER CAPACITY REQUESTED:	12,062 GPD



SHEET INDEX

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2	EXISTING CONDITIONS & DEMOLITION PLAN
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9	SANITARY SEWER DETAIL SHEET
10	WATER DETAIL SHEET
11	WATER DETAIL SHEET
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE PLAN



- LEGEND**
- EXISTING SPOT ELEVATION
 - EXISTING IRON
 - CONC. MONUMENT (CONTROL POINT)
 - SET "X" MARK IN CONCRETE
 - SET IRON
 - EXISTING BOLLARD
 - EXISTING DROP INLET
 - EXISTING WATER VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING STORM DRAIN MH
 - EXISTING WATER VALVE MH
 - EXISTING TELEPHONE MH
 - EXISTING WATER MONITOR
 - EXISTING SS CLEANOUT
 - EXISTING LIGHT POLE
 - EXISTING POWER POLE W/ GUY
 - EXISTING POWER POLE
 - EXISTING ELECTRICAL PANEL
 - EXISTING SIGN
 - EXISTING TELEPHONE PEDESTAL
 - EXISTING WATER METER
 - EXISTING FENCE
 - EXISTING WOODS LINE
 - EXISTING OVERHEAD ELECTRIC LINE
 - EXISTING UNDERGROUND GAS LINE
 - EXISTING WATER LINE
 - EXISTING SANITARY SEWER LINE
 - EXISTING STORM DRAIN PIPE
 - CENTER LINE
 - ADJACENT PROPERTY LINE
 - ROW
 - SUBJECT BOUNDARY LINE
 - EXISTING CONTOUR LINE
 - PROPOSED SIDEWALK/CONCRETE
 - PROPOSED PERVIOUS CONCRETE
 - PROPOSED FIRE HYDRANT
 - PROPOSED FENCE
 - PROPOSED LIMITS OF DISTURBANCE
 - PROPOSED FOUNDATION PLANTING AREA
 - PROPOSED ASPHALT SAW CUT LINE

City of Wilmington
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 11/5/15 Permit: 2015010
 Signed: [Signature]

Approved Construction Plan
 Name: [Signature] Date: 11/5/15
 Planning: [Signature] 11/5/15
 Traffic: [Signature] 11/5/15
 Fire: [Signature] 11/5/15

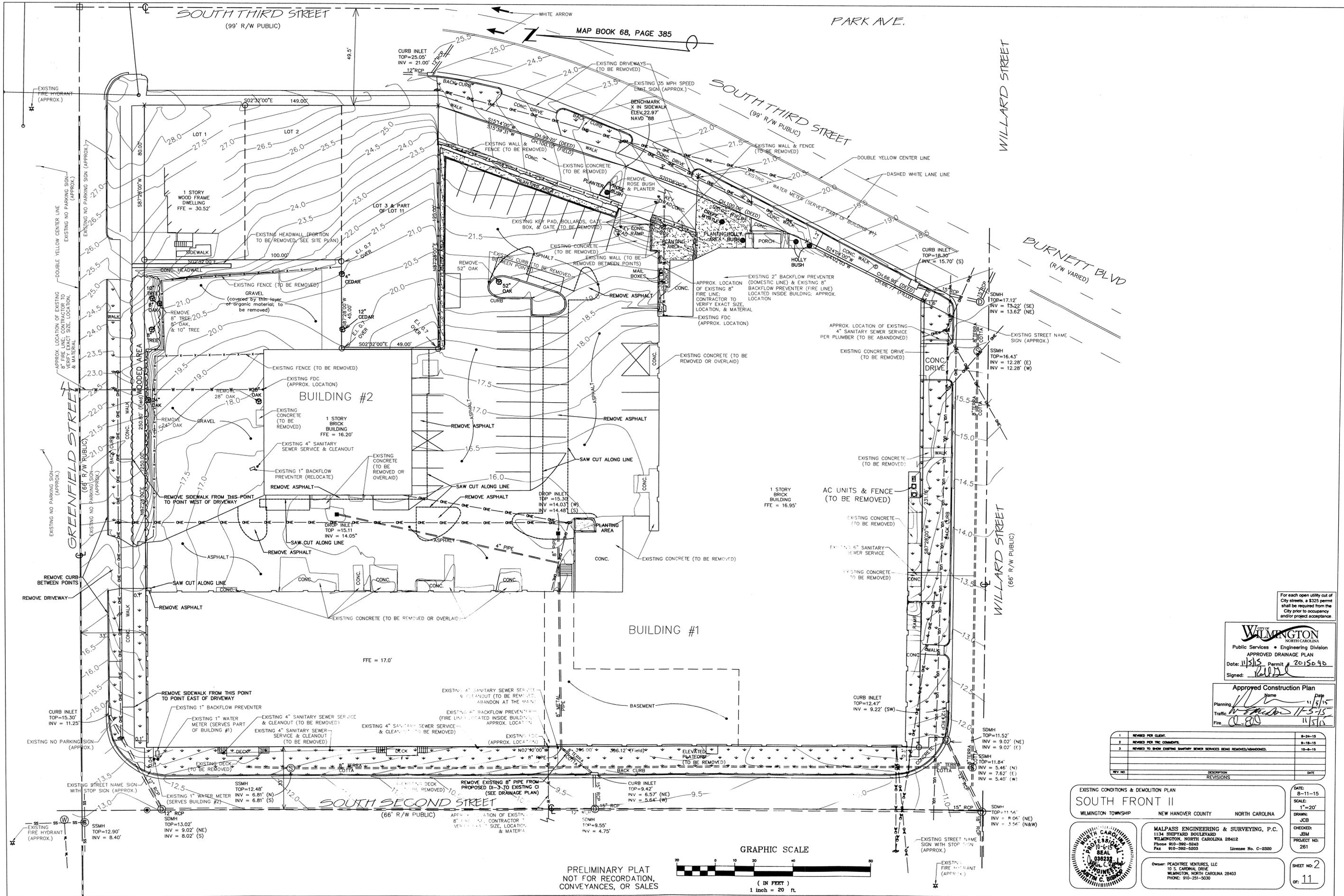
REV. NO.	DESCRIPTION	DATE
1	REVISED TO ADD SHEETS TO SHEET INDEX.	8-12-15
2	REVISED PER CLIENT.	8-24-15
3	REVISED PER TRC COMMENTS.	8-18-15
4	REVISED TO ADJUST DUMPSLOT PAD & RETAINING WALL.	10-8-15
5	REVISED PER TRC COMMENTS.	10-15-15
6	REVISED PER TRC COMMENTS.	10-13-15
7	REVISED TO ADD NOTES 833-37.	10-22-15

COVER SHEET
 SOUTH FRONT II
 WILMINGTON TOWNSHIP
 NEW HANOVER COUNTY NORTH CAROLINA

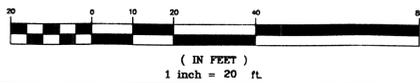
MALPASS ENGINEERING & SURVEYING, P.C.
 1154 SHEPPARD BOULEVARD
 WILMINGTON, NORTH CAROLINA 28412
 Phone 910-398-6243
 Fax 910-398-6000 License No. C-2320

Owner: PEACHTREE VENTURES, LLC
 10 S. CARDINAL DRIVE
 WILMINGTON, NORTH CAROLINA 28403
 Phone: 910-251-5030

CHECKED: JBM
 PROJECT NO: 261
 SHEET NO: 1
 OF: 11



PRELIMINARY PLAT
NOT FOR RECORDATION,
CONVEYANCES, OR SALES



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 11/5/15 Permit # 2015040
Signed: [Signature]

Approved Construction Plan
Name: [Name] Date: 11/5/15
Planning: [Signature] Date: 11/5/15
Traffic: [Signature] Date: 11/5/15
Fire: [Signature] Date: 11/5/15

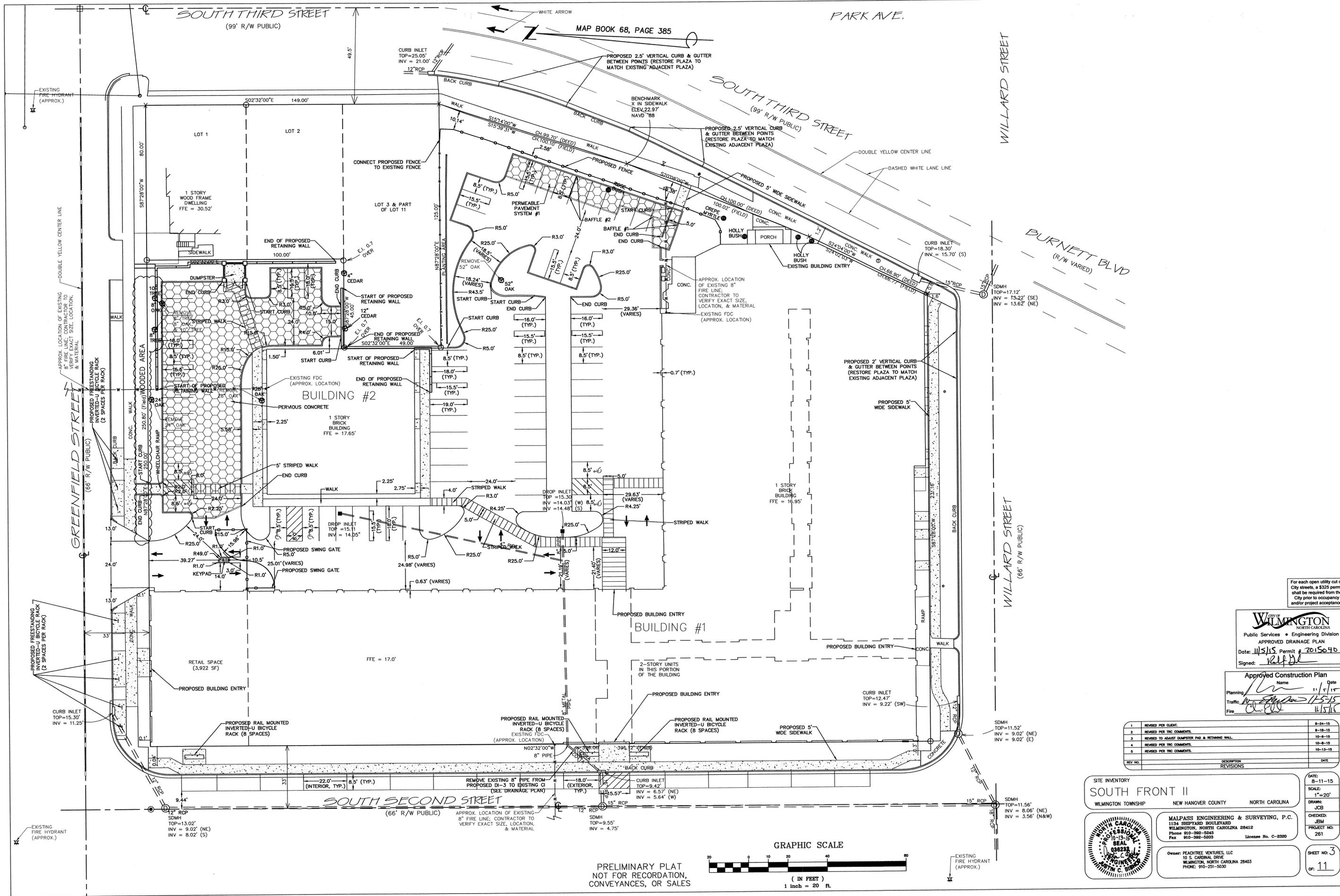
NO.	DESCRIPTION	DATE
1	REVISED PER CLIENT	8-24-15
2	REVISED PER THE CONTRACTOR	8-18-15
3	REVISED TO SHOW CHANGING SANITARY SEWER SERVICES BEING REMOVED/ABANDONED	10-6-15
REV. NO.	DESCRIPTION	DATE

EXISTING CONDITIONS & DEMOLITION PLAN
SOUTH FRONT II
WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

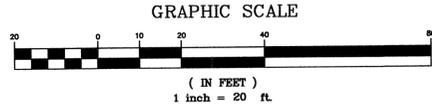
MALPASS ENGINEERING & SURVEYING, P.C.
1134 SHIPYARD BOULEVARD
WILMINGTON, NORTH CAROLINA 28412
Phone 910-392-8243 Fax 910-392-8203 License No. C-2820

Owner: PEACHTREE VENTURES, LLC
10 S. CAROLINA DRIVE
WILMINGTON, NORTH CAROLINA 28403
PHONE: 910-251-5030

DATE: 8-11-15
SCALE: 1"=20'
DRAWN: JCB
CHECKED: JEM
PROJECT NO: 261
SHEET NO: 2
OF: 11



PRELIMINARY PLAT
NOT FOR RECORDATION,
CONVEYANCES, OR SALES



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of WILMINGTON
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 11/5/15 Permit # 2015040
Signed: [Signature]

Approved Construction Plan
Name: [Signature] Date: 11/5/15
Traffic: [Signature] 11/5/15
Fire: [Signature] 11/5/15

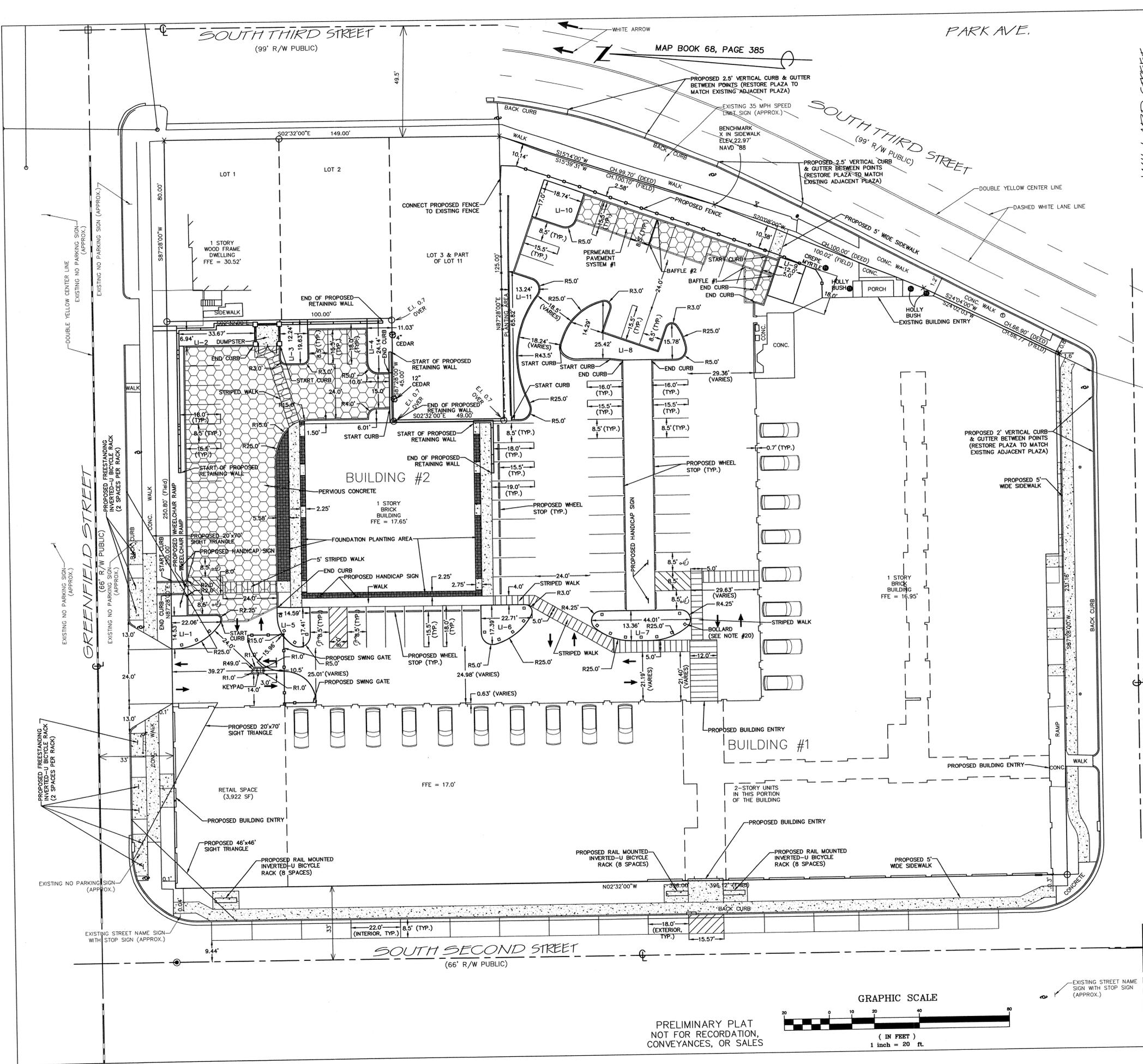
REV. NO.	DESCRIPTION	DATE
1	REVISED PER CLIENT	8-24-15
2	REVISED PER INC COMMENTS	8-11-15
3	REVISED TO ADJUST DUMPSTER PAD & RETAINING WALL	10-8-15
4	REVISED PER INC COMMENTS	10-8-15
5	REVISED PER INC COMMENTS	10-13-15

SITE INVENTORY
SOUTH FRONT II
WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

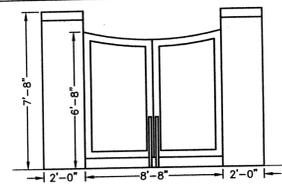
MALPASS ENGINEERING & SURVEYING, P.C.
1154 SHIPPYARD BOULEVARD
WILMINGTON, NORTH CAROLINA 28412
Phone 910-392-5243
Fax 910-392-5203 License No. C-2320

Owner: PEACHTREE VENTURES, LLC
10 S. CARDINAL DRIVE
WILMINGTON, NORTH CAROLINA 28403
PHONE: 910-251-5030

DATE: 8-11-15
SCALE: 1"=20'
DRAWN: JCB
CHECKED: JEM
PROJECT NO: 261
SHEET NO: 3
OF: 11



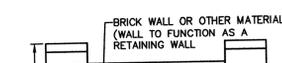
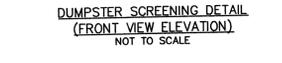
INTERIOR LANDSCAPE ISLANDS			
LANDSCAPE ISLAND	TOTAL AREA (SF)	IMPERVIOUS AREA (SF)	PERCENT IMPERVIOUS
LI-1	247.24	3	1.22
LI-2	264.76	0	0
LI-3	235.16	11.57	4.92
LI-4	261.92	16.25	6.21
LI-5	217.46	4	1.84
LI-6	307.76	5	1.63
LI-7	500.12	9	1.80
LI-8	708.21	0	0
LI-9	216.00	0	0
LI-10	314.23	0	0
LI-11	417.37	0	0



FOUNDATION PLANTING—NORTH SIDE OF BUILDING #2
 REQUIRED AREA = (75.12' x 15.5') x 0.12 = 139.73 SF
 PROVIDED AREA = 480.99 SF
 *SEE LANDSCAPE PLAN FOR PROVIDED PLANTINGS

FOUNDATION PLANTING—WEST SIDE OF BUILDING #2
 REQUIRED AREA = (75.11' x 16.6') x 0.12 = 149.52 SF
 PROVIDED AREA = 159.01 SF
 *SEE LANDSCAPE PLAN FOR PROVIDED PLANTINGS

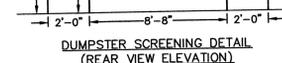
FOUNDATION PLANTING—SOUTH SIDE OF BUILDING #2
 REQUIRED AREA = (75.13' x 15.8') x 0.12 = 142.45 SF
 PROVIDED AREA = 158.40 SF
 *SEE LANDSCAPE PLAN FOR PROVIDED PLANTINGS



FOUNDATION PLANTING—NORTH SIDE OF BUILDING #1
 REQUIRED AREA = (75.12' x 15.5') x 0.12 = 139.73 SF
 PROVIDED AREA = 480.99 SF
 *SEE LANDSCAPE PLAN FOR PROVIDED PLANTINGS

FOUNDATION PLANTING—WEST SIDE OF BUILDING #1
 REQUIRED AREA = (75.11' x 16.6') x 0.12 = 149.52 SF
 PROVIDED AREA = 159.01 SF
 *SEE LANDSCAPE PLAN FOR PROVIDED PLANTINGS

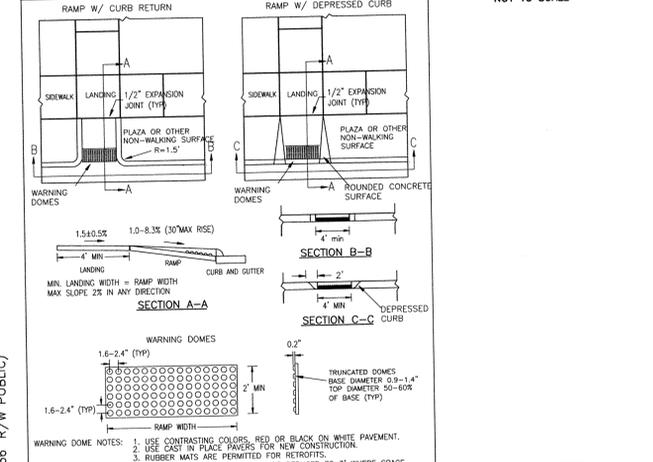
FOUNDATION PLANTING—SOUTH SIDE OF BUILDING #1
 REQUIRED AREA = (75.13' x 15.8') x 0.12 = 142.45 SF
 PROVIDED AREA = 158.40 SF
 *SEE LANDSCAPE PLAN FOR PROVIDED PLANTINGS



FOUNDATION PLANTING—NORTH SIDE OF BUILDING #1
 REQUIRED AREA = (75.12' x 15.5') x 0.12 = 139.73 SF
 PROVIDED AREA = 480.99 SF
 *SEE LANDSCAPE PLAN FOR PROVIDED PLANTINGS

FOUNDATION PLANTING—WEST SIDE OF BUILDING #1
 REQUIRED AREA = (75.11' x 16.6') x 0.12 = 149.52 SF
 PROVIDED AREA = 159.01 SF
 *SEE LANDSCAPE PLAN FOR PROVIDED PLANTINGS

FOUNDATION PLANTING—SOUTH SIDE OF BUILDING #1
 REQUIRED AREA = (75.13' x 15.8') x 0.12 = 142.45 SF
 PROVIDED AREA = 158.40 SF
 *SEE LANDSCAPE PLAN FOR PROVIDED PLANTINGS



STANDARD DETAIL
PERPENDICULAR CURB RAMP ADJACENT TO PLAZA
 DATE: DECEMBER 2019
 DRAWN: JCB
 CHECKED: JCB
 SCALE: NOT TO SCALE
 WILMINGTON NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 10 S. CAROLINA DRIVE
 WILMINGTON, NC 28402
 (910) 341-7007
 SD3-08

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 11/15/15 permit # 2015040
 Signed: [Signature]

Approved Construction Plan
 Name: [Name]
 Date: 11/15/15
 Planning: [Signature]
 Traffic: [Signature]
 Fire: [Signature]

REV. NO.	DESCRIPTION	DATE
1	REVIEW PER CLIENT	8-24-15
2	REVIEW PER THE COMMENTS	8-18-15
3	REVIEW PER THE COMMENTS & TO ADJUST DUMPSTER PAD & RETAINING WALL	10-8-15
4	REVIEW PER THE COMMENTS	10-8-15
5	REVIEW PER THE COMMENTS	10-13-15

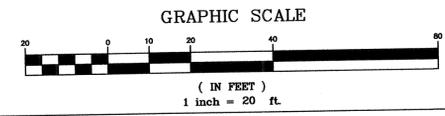
SITE PLAN
SOUTH FRONT II
 WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

MALPASS ENGINEERING & SURVEYING, P.C.
 1134 SHIPYARD BOULEVARD
 WILMINGTON, NORTH CAROLINA 28412
 Phone 910-392-5943
 Fax 910-392-6203 License No. C-2320

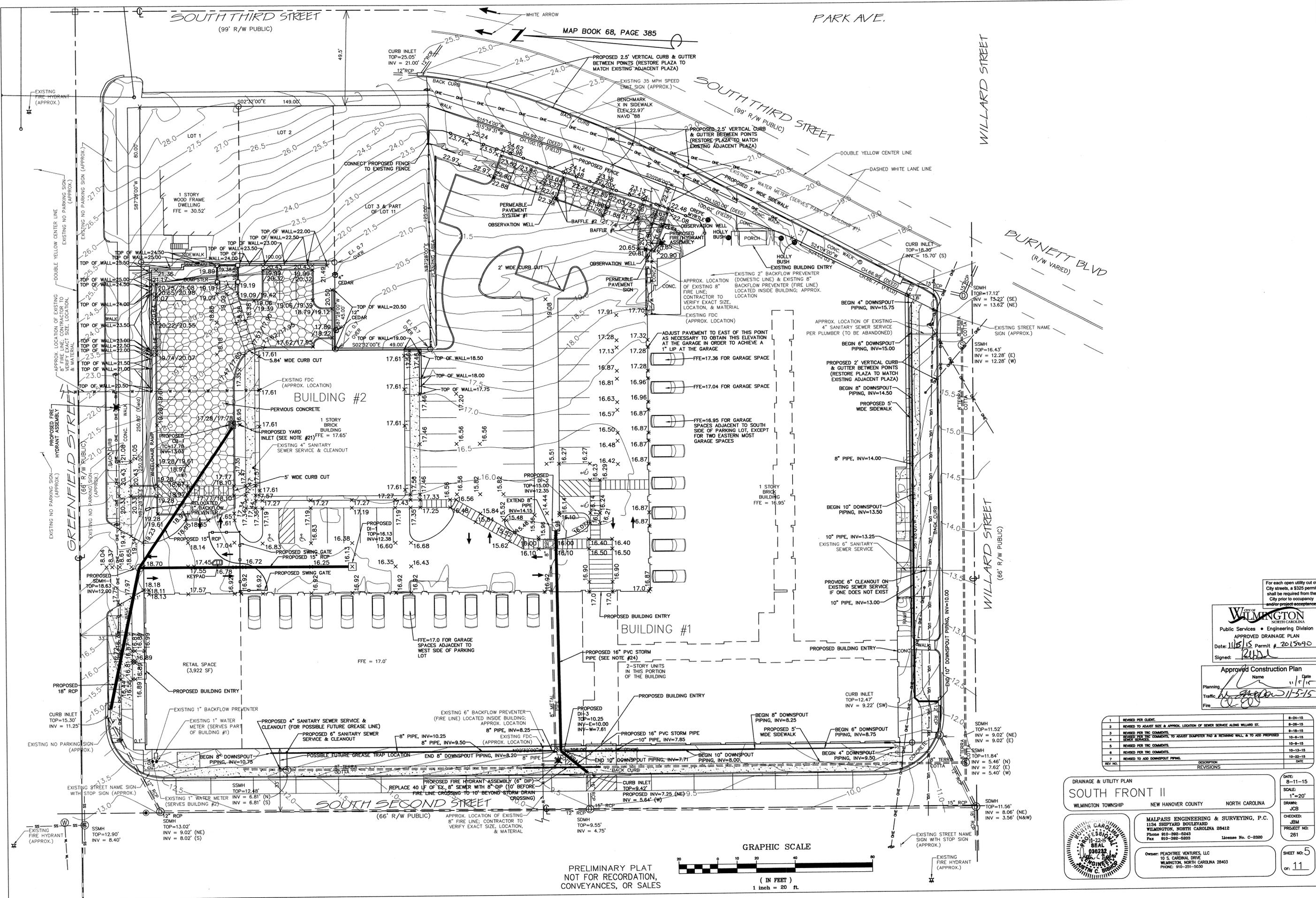


Owner: PEACH TREE VENTURES, LLC
 10 S. CAROLINA DRIVE
 WILMINGTON, NORTH CAROLINA 28403
 PHONE: 910-251-5030

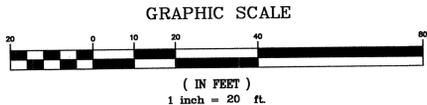
SHEET NO. 4
 OF 11



PRELIMINARY PLAT
 NOT FOR RECORDATION,
 CONVEYANCES, OR SALES



PRELIMINARY PLAT
NOT FOR RECORDATION,
CONVEYANCES, OR SALES



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of WILMINGTON
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 11/5/15 Permit # 2015-90
Signed: *[Signature]*

Approved Construction Plan
Name: *[Signature]* Date: 11/5/15
Planning: *[Signature]*
Traffic: *[Signature]*
File: *[Signature]*

REV. NO.	DESCRIPTION	DATE
1	REVISED PER CLIENT.	8-24-15
2	REVISED TO ADJUST SIZE & APPROX. LOCATION OF SEWER SERVICE ALONG WILLARD ST.	8-28-15
3	REVISED FOR THE COMMENTS.	9-18-15
4	REVISED FOR THE COMMENTS, TO ADJUST DOWNSPUT PAD & RETAINING WALL, & TO ADD PROPOSED 10" PIPE.	10-6-15
5	REVISED FOR THE COMMENTS.	10-9-15
6	REVISED FOR THE COMMENTS.	10-15-15
7	REVISED TO ADD DOWNSPUT PIPING.	10-22-15

DRAINAGE & UTILITY PLAN
SOUTH FRONT II
WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

MALPASS ENGINEERING & SURVEYING, P.C.
1134 SHEDYARD BOULEVARD
WILMINGTON, NORTH CAROLINA 28412
Phone 910-398-6245
Fax 910-398-5005 License No. C-2390

Owner: PEACHTREE VENTURES, LLC
10 S. CARDINAL DRIVE
WILMINGTON, NORTH CAROLINA 28403
PHONE: 910-251-5030

DATE: 8-11-15
SCALE: 1"=20'
DRAWN: JCB
CHECKED: JEM
PROJECT NO: 261
SHEET NO: 5
OF: 11

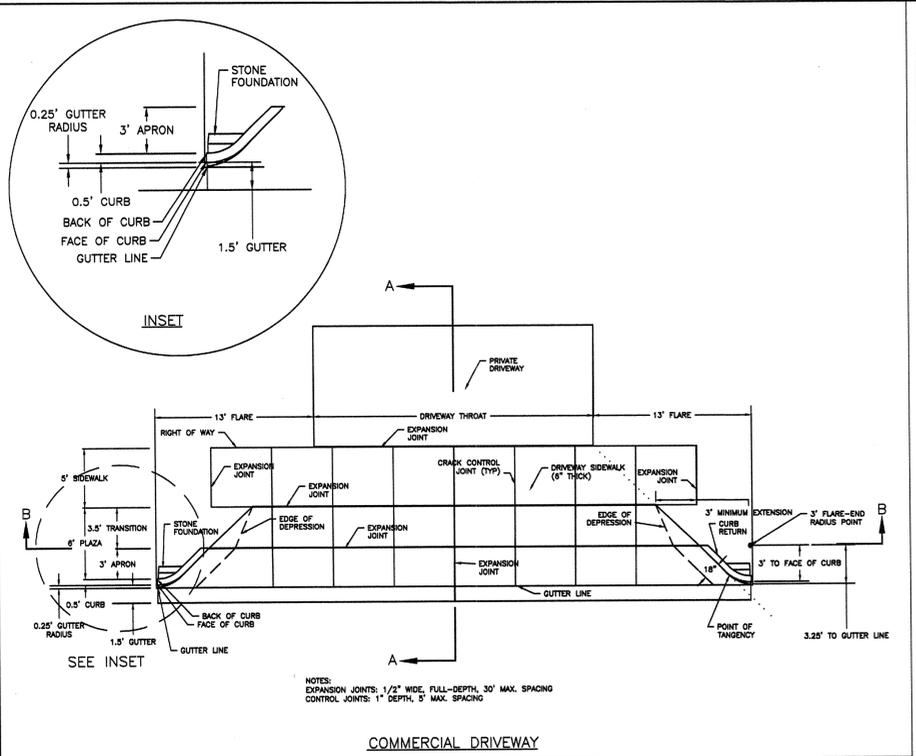
DATE: JUNE 1, 2015
 DRAWN BY: JSR
 CHECKED BY: D.E.C., P.E.
 SCALE: NOT TO SCALE

COMMERCIAL DRIVEWAY PLAN

1 of 2

SD 3-03.3

SCALE: NOT TO SCALE



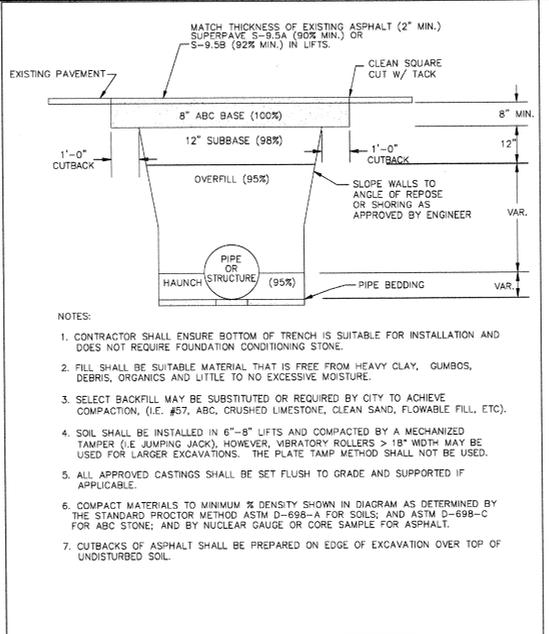
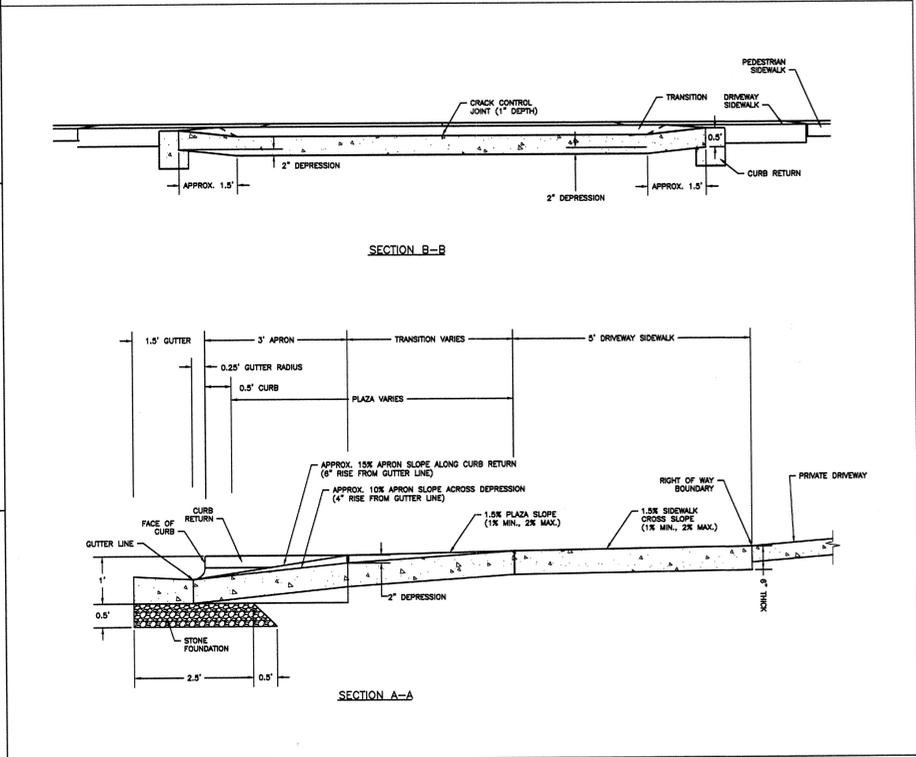
DATE: JUNE 1, 2015
 DRAWN BY: JSR
 CHECKED BY: D.E.C., P.E.
 SCALE: NOT TO SCALE

COMMERCIAL DRIVEWAY SECTIONS

2 of 2

SD 3-03.4

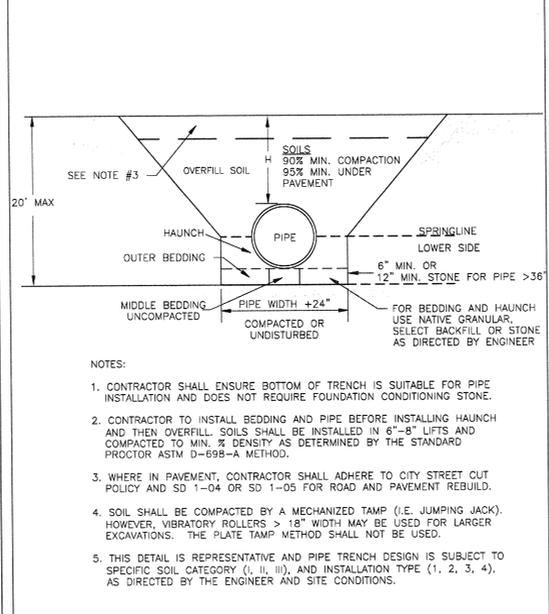
SCALE: NOT TO SCALE



DATE: MAY, 2013
 DRAWN BY: JSR
 CHECKED BY: D.E.C., P.E.
 SCALE: NOT TO SCALE

STANDARD DETAIL
PAVEMENT REPAIRS - UTILITY CUTS

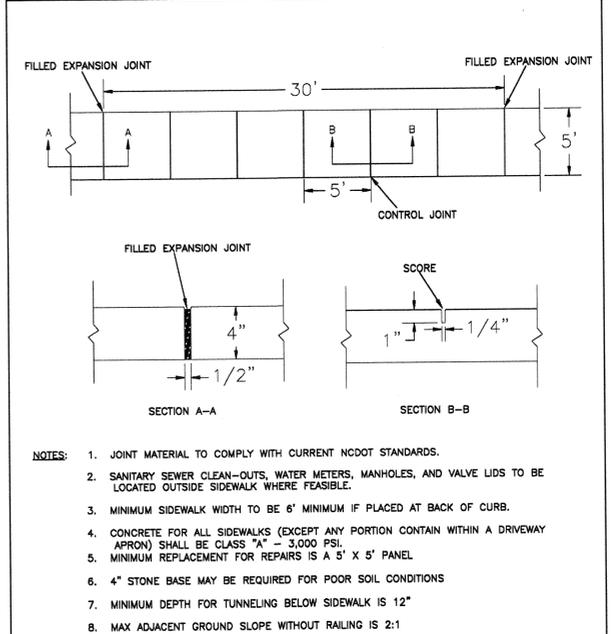
SD I-05



DATE: MAY, 2013
 DRAWN: JSR
 CHECKED: BDR, P.E.
 SCALE: NOT TO SCALE

STANDARD DETAIL
PIPE TRENCH TYPICAL

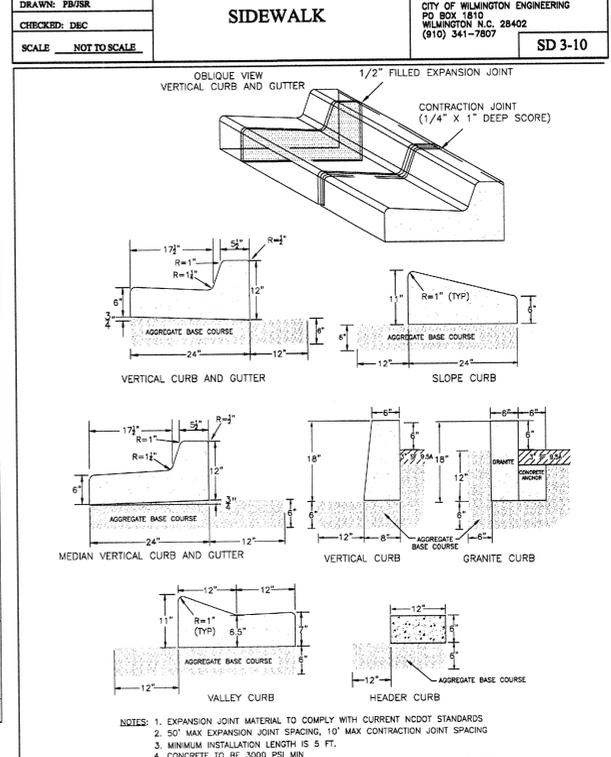
SD I-07



DATE: OCTOBER, 2010
 DRAWN: PB/JSR
 CHECKED: DEC
 SCALE: NOT TO SCALE

STANDARD DETAIL
SIDEWALK

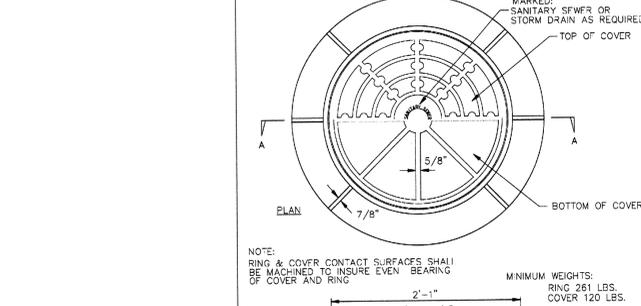
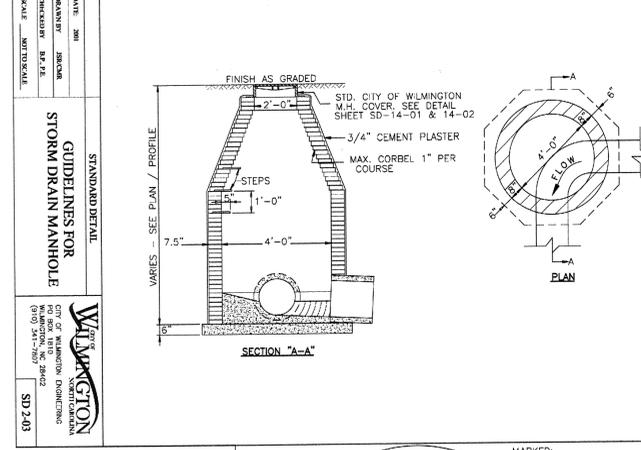
SD 3-10



DATE: AUGUST, 2011
 DRAWN: PB/JSR
 CHECKED: DEC
 SCALE: NOT TO SCALE

STANDARD DETAIL
CURBING

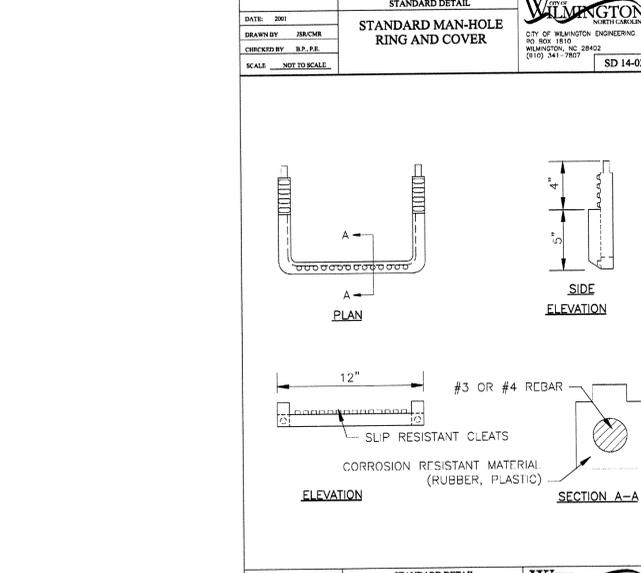
SD 3-11



DATE: 2001
 DRAWN BY: JSR/CK
 CHECKED BY: B.P., P.E.
 SCALE: NOT TO SCALE

STANDARD DETAIL
RING AND COVER

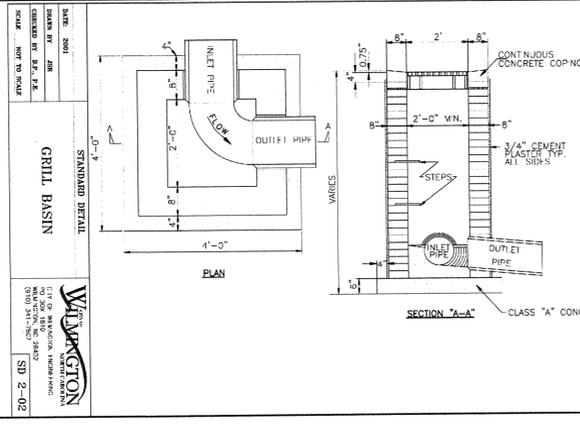
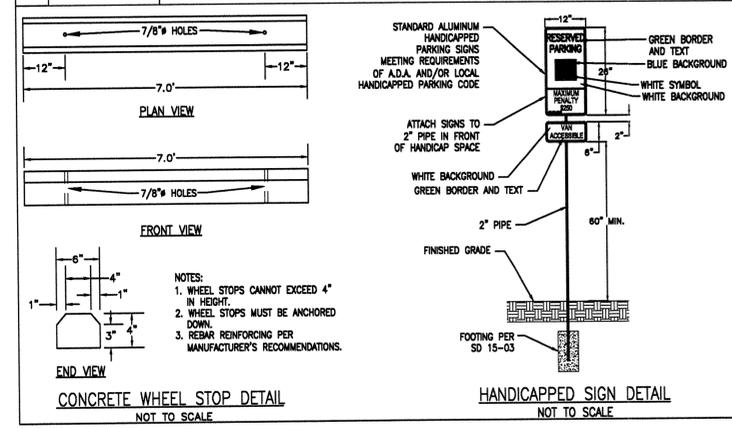
SD 14-02



DATE: 2001
 DRAWN BY: JSR/CK
 CHECKED BY: B.P., P.E.
 SCALE: NOT TO SCALE

STANDARD DETAIL
SLIP RESISTANT MANHOLE STEP

SD 14-10



DATE: 11/5/15
 DRAWN: WJS
 CHECKED: WJS
 SCALE: NOT TO SCALE

STANDARD DETAIL
ASPHALT PAVEMENT DETAIL
 NOT TO SCALE

SD 2-02

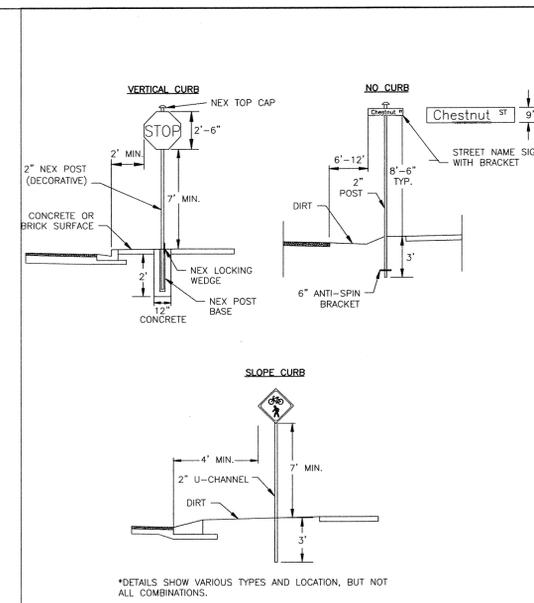
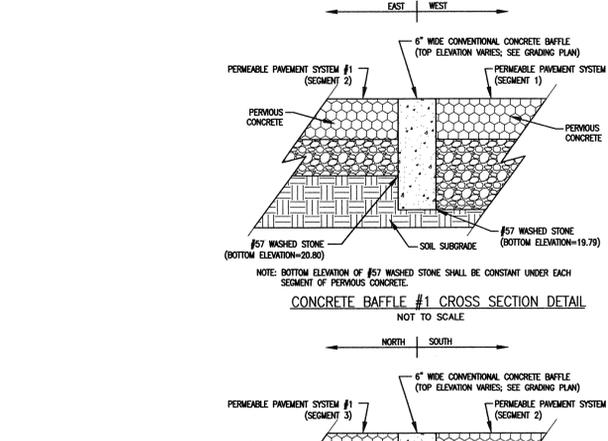
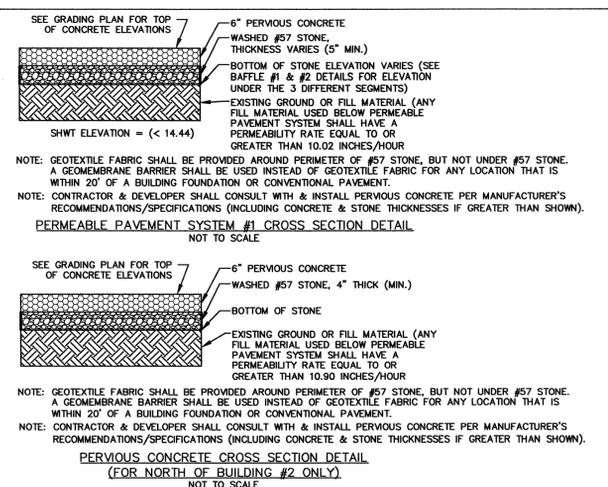
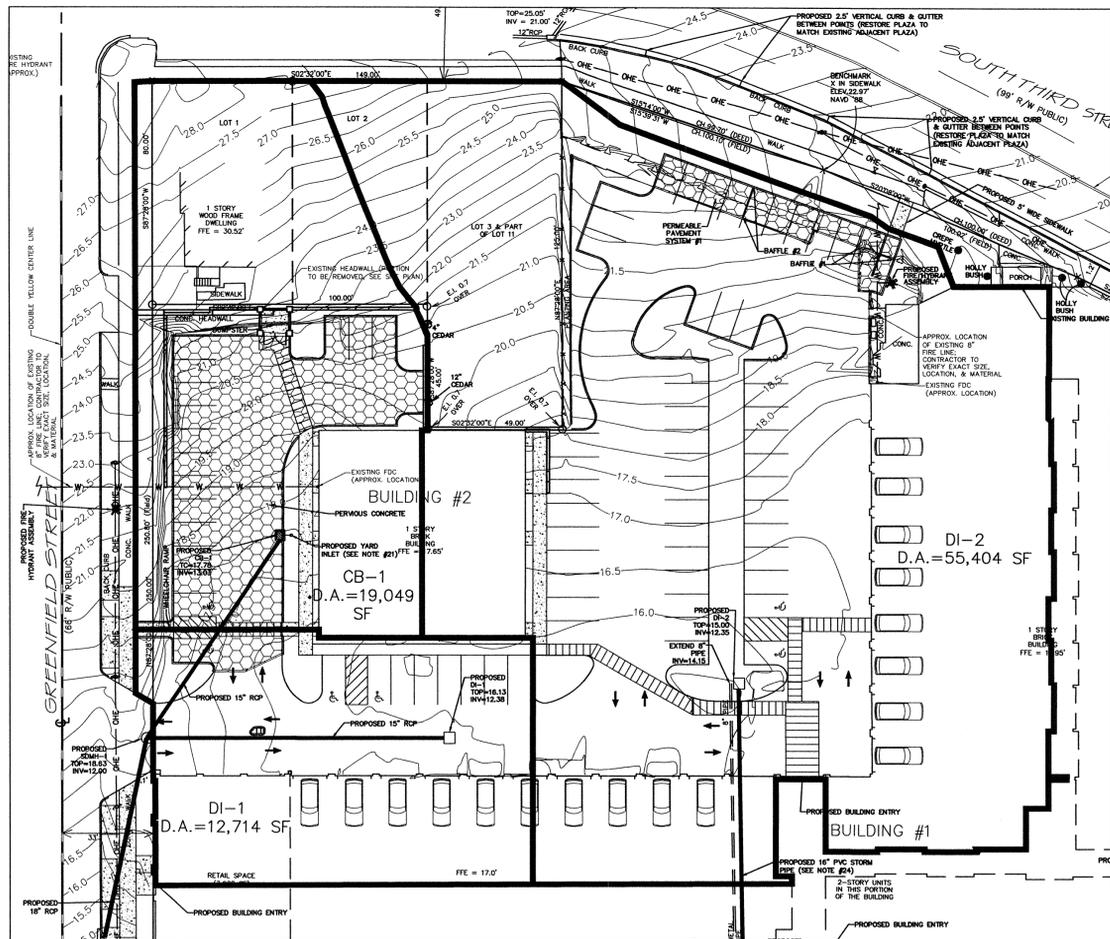
DATE: 9-18-15
 SCALE: N.T.S.
 DRAWN: JCB
 CHECKED: JBM
 PROJECT NO: 261
 SHEET NO: 6
 OF: 11

DETAIL SHEET
SOUTH FRONT II
 WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

APPROVED CONSTRUCTION PLAN
 Name: [Signature] Date: 11/5/15
 Planning: [Signature] 11/5/15
 Traffic: [Signature] 11/5/15
 Fire: [Signature] 11/5/15

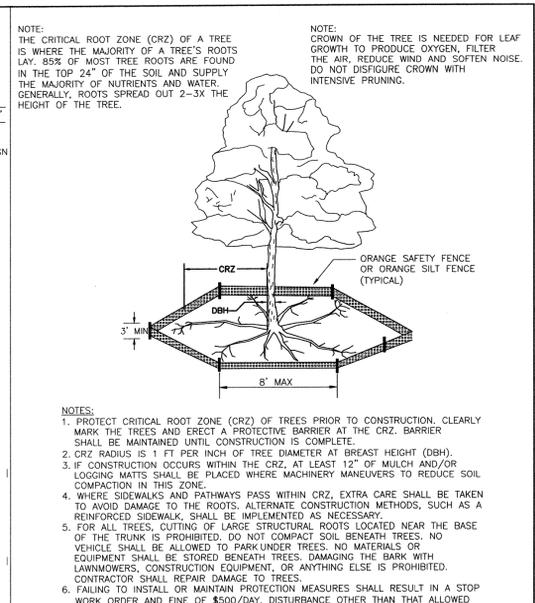
MALPASS ENGINEERING & SURVEYING, P.C.
 1154 SHEPPARD BOULEVARD
 WILMINGTON, NORTH CAROLINA 28412
 Phone 910-898-8843
 Fax 910-898-8808 License No. C-8880

Owner: PEACHTREE VENTURES, LLC
 10 S. CARDINAL DRIVE
 WILMINGTON, NORTH CAROLINA 28403
 PHONE: 910-251-5030



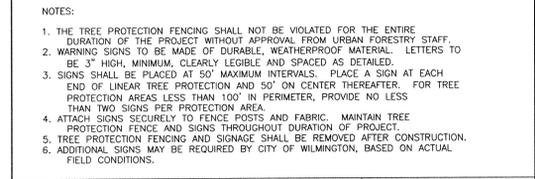
DATE: NOVEMBER, 2011	STANDARD DETAIL	CITY OF WILMINGTON	DATE: JAN, 2015	STANDARD DETAIL	CITY OF WILMINGTON
DRAWN BY: JSR	STREET SIGNS AND LOCATION	CITY OF WILMINGTON ENGINEERING	DRAWN BY: JSR	TREE PROTECTION DURING CONSTRUCTION	CITY OF WILMINGTON ENGINEERING
CHECKED BY: BDR, P.E.	SHEET 1 of 2	PO BOX 1810 WILMINGTON, NC 28402	CHECKED BY: RDG, P.E.	SHEET 1 of 2	PO BOX 1810 WILMINGTON, NC 28402
SCALE: NOT TO SCALE		(910) 341-7807	SCALE: NOT TO SCALE		(910) 341-7807

- SIGNS**
- All signs shall meet the requirements of MUTCD and City Traffic Engineering in effect at the time of construction.
 - All Traffic Control Signs including multi-use paths shall be fabricated with 0.080 inch aluminum blanks using high intensity prismatic reflective sheeting Type IV or better. STOP signs shall be a minimum of 30"x30".
 - SPECIAL DESIGNATION signs by location and type shall adhere to City of Wilmington signage plan (i.e. downtown, historic, cross-city trail, parks, riverfront, scenic-by-way, parking, etc.) and all associated policies.
 - POST MOUNTED STREET NAME SIGNS shall be fabricated with 9" extruded aluminum street name sign blanks using a standard cut-out. Minimum sign length is 18" long and increasing in 6" increments to 54" maximum as dictated by the number of letters in the name. The color scheme shall be white letters on a green background without a border. Generally, in the downtown and historic areas or as designated in the City of Wilmington signage plan the background shall be blue and contain a topper.
 - Decorative sign posts shall consist of the NEX sign support system, 2" octagonal tube, 14 gauge, powder coated glossy black and include cap, post, base and wedge.
 - All other sign posts shall be u-channel posts made of galvanized steel with 8" posts 2lbs/ft or 12" posts 3lbs/ft. Galvanized NEX post may be substituted with approval from the City Signs and Markings Engineer.
 - OVERHEAD STREET NAME SIGNS shall be fabricated with 0.080 inch aluminum flat sign blanks 18" in height using a standard cut-out. Sign length will be dictated by the number of letters in the name. For most-arms type traffic signal supports and other overhead support systems refer to the design plans for maximum sign length.
 - All sign lettering, colors and fonts shall adhere to the MUTCD in effect at the time of construction. Fluorescent Yellow-Green shall be used on signs, in place of yellow, when listed as an optional color in the MUTCD. Generally, the font will be FHWA series fonts (Highway Gothic). Other font types require City Signs and Markings Engineer approval.

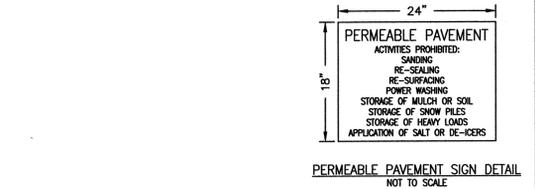


DATE: NOVEMBER, 2011	STANDARD DETAIL	CITY OF WILMINGTON	DATE: JAN, 2015	STANDARD DETAIL	CITY OF WILMINGTON
DRAWN BY: JSR	STREET SIGNS AND LOCATION	CITY OF WILMINGTON ENGINEERING	DRAWN BY: JSR	TREE PROTECTION DURING CONSTRUCTION	CITY OF WILMINGTON ENGINEERING
CHECKED BY: BDR, P.E.	SHEET 1 of 2	PO BOX 1810 WILMINGTON, NC 28402	CHECKED BY: RDG, P.E.	SHEET 1 of 2	PO BOX 1810 WILMINGTON, NC 28402
SCALE: NOT TO SCALE		(910) 341-7807	SCALE: NOT TO SCALE		(910) 341-7807

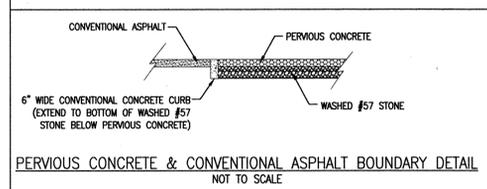
- LOCATION**
- Sign locations depend on the edge of road condition. Generally, signs shall be a minimum 2' from face of a vertical curb, 4' from post to slope face curb, and 6' from edge of pavement without curb. Signs shall not be located more than 12' from any of these locations.
 - Sign posts installed in dirt shall be buried a minimum of 36". Octagonal posts shall utilize an anti-spin device, 6" in length minimum. Sign posts installed in concrete or brick shall utilize a base cast in concrete 24" x 12" diameter.
 - Street name signs shall be installed 8'-6" from the ground to the bottom of the sign. Street name signs co-located with STOP signs shall be installed above the STOP sign. A 6" space shall be maintained between the STOP sign and a Street name sign that is parallel to the STOP sign face. All other signs should be mounted per MUTCD guidelines for Urban Areas.



DATE: NOVEMBER, 2011	STANDARD DETAIL	CITY OF WILMINGTON	DATE: JAN, 2015	STANDARD DETAIL	CITY OF WILMINGTON
DRAWN BY: JSR	STREET SIGNS AND LOCATION	CITY OF WILMINGTON ENGINEERING	DRAWN BY: JSR	TREE PROTECTION DURING CONSTRUCTION	CITY OF WILMINGTON ENGINEERING
CHECKED BY: BDR, P.E.	SHEET 2 of 2	PO BOX 1810 WILMINGTON, NC 28402	CHECKED BY: RDG, P.E.	SHEET 2 of 2	PO BOX 1810 WILMINGTON, NC 28402
SCALE: NOT TO SCALE		(910) 341-7807	SCALE: NOT TO SCALE		(910) 341-7807



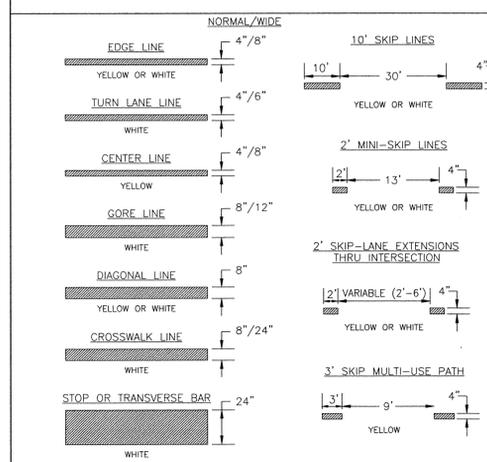
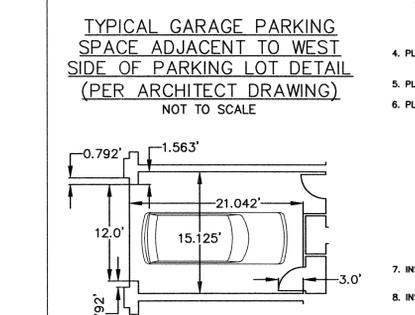
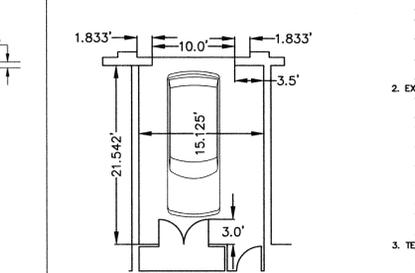
DATE: NOVEMBER, 2011	STANDARD DETAIL	CITY OF WILMINGTON	DATE: JAN, 2015	STANDARD DETAIL	CITY OF WILMINGTON
DRAWN BY: JSR	PAVEMENT MARKINGS LINE TYPES	CITY OF WILMINGTON ENGINEERING	DRAWN BY: JSR	TREE PROTECTION DURING CONSTRUCTION	CITY OF WILMINGTON ENGINEERING
CHECKED BY: BDR, P.E.	SHEET 11 of 11	PO BOX 1810 WILMINGTON, NC 28402	CHECKED BY: RDG, P.E.	SHEET 2 of 2	PO BOX 1810 WILMINGTON, NC 28402
SCALE: NOT TO SCALE		(910) 341-7807	SCALE: NOT TO SCALE		(910) 341-7807



TEST LOCATION	EXISTING GROUND ELEVATION (FEET)**	SHWT (INCHES BELOW GROUND SURFACE)**	SHWT ELEVATION (FEET)**	HYDRAULIC CONDUCTIVITY (INCHES PER HOUR)**
SB-1	22.72	> 108	< 13.72	26.16
SB-2	23.44	> 108	< 14.44	10.02
SB-3	16.50	> 108	< 7.50	10.90
SB-4	20.19	> 108	< 11.19	39.29

** INFORMATION PROVIDED BY BATEMAN CIVIL SURVEY COMPANY, PC.
 *** INFORMATION PROVIDED BY APPLIED RESOURCE MANAGEMENT, PC.
 **** CALCULATED BASED ON INFORMATION PROVIDED BY OTHERS.

- CONSTRUCTION SEQUENCE FOR INSTALLATION OF PERMEABLE PAVEMENT (NCDOT STORMWATER BMP MANUAL CHAPTER 18)**
- ENSURE ACCEPTABLE CONDITIONS FOR CONSTRUCTION
 - PERVIOUS SURFACES MUST BE GRADED TO DRAIN AWAY FROM THE PERMEABLE PAVEMENT, EXCEPT WHERE THIS IS UNAVOIDABLE, SUCH AS PARKING LOT ISLANDS, AND AREA BETWEEN BUILDINGS & PARKING LOT.
 - IMPERVIOUS AREAS THAT WILL DRAIN TO THE PERMEABLE PAVEMENT ARE COMPLETED.
 - AREAS ADJACENT TO THE PERMEABLE PAVEMENT ARE STABILIZED (VEGETATION, MULCH, STRAW, FIBER BLANKETS, ETC.) IN ORDER TO PREVENT EROSION & POSSIBLE CONTAMINATION WITH SEDIMENTS.
 - CONSTRUCTION ACCESS TO OTHER PORTIONS OF THE SITE IS ESTABLISHED SO THAT NO CONSTRUCTION TRAFFIC PASSES THROUGH THE PERMEABLE PAVEMENT SITE DURING INSTALLATION. INSTALL BARRIERS/FENCES AS NEEDED.
 - WEATHER FORECAST CALLS FOR A WINDOW OF DRY WEATHER TO PREVENT EXCESS COMPACTION OR SHEARING OF THE SOIL SUBGRADE WHILE IT IS EXPOSED.
 - ALL PERMEABLE PAVEMENT AREAS ARE CLEARLY MARKED ON THE SITE.
 - EXCAVATE PERMEABLE PAVEMENT AREA & PREPARE SUBGRADE SURFACE
 - EXCAVATE TO DRY SUBGRADE CONDITIONS & AVOID EXCAVATING IMMEDIATELY AFTER STORMS WITHOUT A SUFFICIENT DRYING PERIOD.
 - DO NOT ALLOW EQUIPMENT TO CROSS THE PAVEMENT AREA AFTER EXCAVATION HAS BEGUN.
 - OPERATE EXCAVATION EQUIPMENT FROM OUTSIDE THE EXCAVATION AREA OR FROM UNEXCAVATED PORTIONS OF THE AREA USING AN EXCAVATION STAGING PLAN.
 - USE EQUIPMENT WITH TRACKS RATHER THAN TIRES TO MINIMIZE SOIL COMPACTION WHEN EQUIPMENT ON THE SUBGRADE SURFACE IS UNAVOIDABLE.
 - DIG THE FINAL 9" TO 12" INCHES BY USING THE TEETH OF THE EXCAVATOR BUCKET TO LOOSEN SOIL & DO NOT SMEAR THE SUBGRADE SOIL SURFACE. FINAL GRADING OR SMOOTHING OF SUBGRADE SHOULD BE DONE BY HAND IF POSSIBLE.
 - THE FINAL SUBGRADE SLOPE SHALL NOT EXCEED 0.3%. THE FINAL SUBGRADE SHALL BE SURVEYED BEFORE PROCEEDING WITH INSTALLATION.
 - MEASURE THE TIME BETWEEN EXCAVATION AND PLACEMENT OF THE AGGREGATE.
 - AFTER THE SUBGRADE SLOPE IS VERIFIED, SCARIFY THE SOIL SUBGRADE SURFACE TO MAINTAIN THE SOILS PRE-DISTURBANCE INFILTRATION RATE.
 - TO SCARIFY THE PAVEMENT, USE THE EXCAVATOR BUCKET'S TEETH TO RAKE THE SURFACE OF THE SUBGRADE.
 - TEST THE SUBGRADE SOIL INFILTRATION RATE (INFILTRATION SYSTEMS ONLY)
 - IMMEDIATELY AFTER EXCAVATION & BEFORE THE AGGREGATE IS PLACED, CONDUCT A DIRECT MEASUREMENT OF THE SOIL'S INFILTRATION RATE. INFILTRATION TESTING SHALL BE PERFORMED BY AN APPROPRIATELY-QUALIFIED PROFESSIONAL.
 - RESULTS OF THE INFILTRATION TESTING SHALL BE PROVIDED TO THE ENGINEER.
 - IF THE SOIL TEST SHOWS INFILTRATION RATE(S) THAT ARE LOWER THAN THE RATE(S) USED IN THE DESIGN, THEN ADDITIONAL SCARIFICATION, RIPPING, OR TRENCHING OF THE SOIL WILL BE NEEDED.
 - CONTRACTOR SHALL CONTACT & RECEIVE APPROVAL FROM ENGINEER OF RECORD TO CONTINUE INSTALLATION OF PERMEABLE PAVEMENT.
 - PLACE GEOTEXTILES AND GEOMEMBRANE (IF APPLICABLE)
 - FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR THE APPROPRIATE OVERLAP BETWEEN ROLLS OF MATERIAL. SECURE THE MATERIAL TO ENSURE IT DOES NOT MOVE OR WRINKLE WHEN PLACING AGGREGATE.
 - PLACE OBSERVATION WELLS(S)
 - PLACE OBSERVATION WELLS(S) ACCORDING TO THE PLAN AND VERIFY THAT THE ELEVATIONS ARE CORRECT.
 - PLACE & COMPACT AGGREGATE BASE
 - INSPECT ALL AGGREGATES TO ENSURE THEY ARE CLEAN, FREE OF FINES, AND CONFORM TO THE PLANS.
 - IF AGGREGATE DELIVERED TO THE SITE CANNOT BE IMMEDIATELY PLACED INTO THE EXCAVATION, THEY SHOULD BE STOCKPILED ON AN IMPERVIOUS SURFACE, GEOTEXTILE, OR ON AN IMPERVIOUS MATERIAL TO KEEP THE AGGREGATE FREE OF SEDIMENT.
 - IF AGGREGATE BECOMES CONTAMINATED WITH SEDIMENT, THEN IT SHALL BE REPLACED WITH CLEAN AGGREGATE.
 - BEFORE PLACING THE AGGREGATE BASE, REMOVE ANY ACCUMULATION OF SEDIMENTS ON THE FINISHED SOIL SUBGRADE.
 - IF THE EXPOSED SUBGRADE HAS BEEN SUBJECT TO RAINFALL BEFORE PLACEMENT OF THE AGGREGATE, THEN THE SUBGRADE SURFACE MUST BE SCARIFIED TO BREAK UP THE RESULTING SURFACE CRUST.
 - SLOPES & ELEVATIONS SHALL BE CHECKED ON THE SOIL SUBGRADE AND THE FINISHED ELEVATION OF BASE (AFTER COMPACTION) OR BEDDING MATERIALS TO ASSURE THEY CONFORM TO THE PLANS AND SPECIFICATIONS.
 - THE AGGREGATE SHALL BE SPREAD (NOT DUMPED) BY A FRONT-END LOADER OR FROM DUMP TRUCKS DEPOSITING FROM NEAR THE EDGE OF THE EXCAVATED AREA OR DIRECTLY ON DEPOSITED AGGREGATE PILES. MOISTEN AND SPREAD THE WASHED STONE WITHOUT DRIVING ON THE SOIL SUBGRADE. BE CAREFUL NOT TO DAMAGE THE OBSERVATION WELLS DURING COMPACTION.
 - BEFORE PLACING THE PERMEABLE PAVEMENT MANUFACTURER OR THAT FROM INDUSTRY GUIDELINES.
 - BE SURE THAT CORNERS, AREAS AROUND UTILITY STRUCTURES AND OBSERVATION WELLS, & TRANSITION AREAS TO OTHER PAVEMENT ARE ADEQUATELY COMPACTED.
 - DO NOT CRUSH AGGREGATES DURING COMPACTION.
 - INSTALL CURB RESTRAINTS AND PAVEMENT BARRIERS
 - SLOPES AND BARRIERS BETWEEN PERMEABLE PAVEMENT SHALL BE INSTALLED PER THE PLAN.
 - BEFORE MOVING ON TO CONSTRUCTION STEP 8, BE CERTAIN THE DESIGN AND INSTALLATION ARE CONSISTENT.
 - INSTALL PERMEABLE PAVEMENT
 - PERVIOUS CONCRETE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST VERSION OF ACI 522.1 SPECIFICATION FOR PERVIOUS CONCRETE.
 - INSTALLATION OF THE PERVIOUS CONCRETE MAY BE ACCOMPLISHED USING EITHER THE ONE-STEP OR THE TWO-STEP METHOD.
 - PROTECT THE PAVEMENT THROUGH PROJECT COMPLETION
 - IF IT IS NOT POSSIBLE TO INSTALL THE PERMEABLE PAVEMENT AT THE END OF THE SITE CONSTRUCTION TIMELINE, THEN PROTECT THE PAVEMENT UNTIL PROJECT COMPLETION. THIS SHALL BE DONE BY:
 - ROUTING CONSTRUCTION ACCESS THROUGH OTHER PORTIONS OF THE SITE SO THAT NO CONSTRUCTION TRAFFIC PASSES THROUGH THE PERMEABLE PAVEMENT SITE (INSTALL BARRIERS/FENCES AS NEEDED).
 - IF THIS IS NOT POSSIBLE, PROTECT THE PAVEMENT PER THE CONSTRUCTION DOCUMENTS. PROTECTION TECHNIQUES THAT MAY BE USED INCLUDE MATS, PLASTIC SHEETING, BARRIERS TO LIMIT ACCESS, OR MOVING THE STABILIZED CONSTRUCTION ENTRANCE.
 - SCHEDULE STREET SWEEPING DURING AND AFTER CONSTRUCTION TO PREVENT SEDIMENT FROM ACCUMULATING ON THE PAVEMENT.



DATE: DECEMBER, 2011	STANDARD DETAIL	CITY OF WILMINGTON
DRAWN BY: JSR	PAVEMENT MARKINGS LINE TYPES	CITY OF WILMINGTON ENGINEERING
CHECKED BY: BDR, P.E.	SHEET 11 of 11	PO BOX 1810 WILMINGTON, NC 28402
SCALE: NOT TO SCALE		(910) 341-7807

PRELIMINARY PLAN NOT FOR RECORDATION, CONVEYANCES, OR SALES

1	REVISED TO ADJUST DAMPER PAD & RETAINING WALL	10-6-15
2	REVISED PER TRC COMMENTS	10-15-15

DETAIL SHEET & DRAINAGE MAP

SOUTH FRONT II

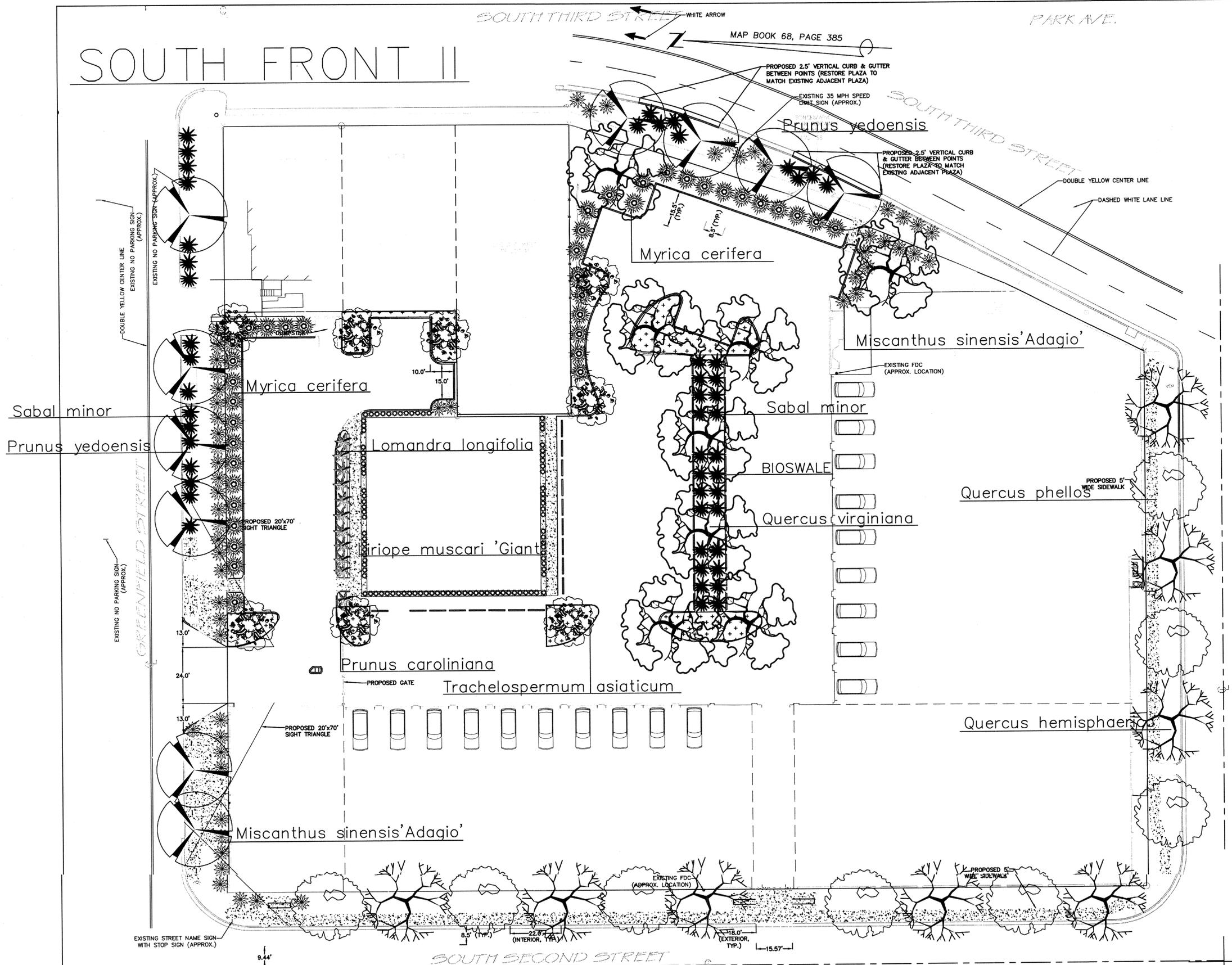
WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

MALPASS ENGINEERING & SURVEYING, P.C.
 1134 SHEPARD BOULEVARD
 WILMINGTON, NORTH CAROLINA 28412
 Phone 910-398-6243
 Fax 910-398-6243 License No. C-8280

Owner: PEACHTREE VENTURES, LLC
 1134 SHEPARD BOULEVARD
 WILMINGTON, NORTH CAROLINA 28403
 PHONE: 910-251-5030

DATE: 9-18-15
 SCALE: N.T.S.
 DRAWN: JCB
 CHECKED: JBM
 PROJECT NO: 261
 SHEET NO: 7
 OF: 11

SOUTH FRONT II



Land Design—South
Landscape Architecture/
Planning
Asla Associate



Donna Clemmons
105 Coral Drive
Wrightsville Beach, N.C.
28480
910 550 8788

Owner:
Peachtree Ventures LLC
10 S. Cardinal Drive
Wilmington, N.C.
28403

SOUTH FRONT II
Landscape Plan

DATE REVISED:
11/3/2015

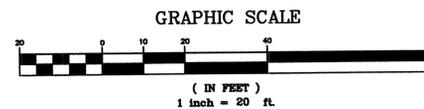
Drawn by; DDC

L-1

City of WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 11/3/15 Permit # 20150410
Signed: [Signature]

Approved Construction Plan
Name: [Name] Date: 11/5/15
Planning: [Signature] Date: 11-5-15
Traffic: [Signature] Date: 11-5-15
Fire: [Signature] Date: 11-5-15

PRELIMINARY PLAT
NOT FOR RECORDATION,
CONVEYANCES, OR SALES



SOUTH FRONT II

Plant Table

Broadleaf Deciduous

Quantity	Symbol	Scientific Name	Common Name	Planting Size
8		Quercus hemisphaerica	Laurel oak	2" caliper
10		Prunus yedoensis	Flowering Yoshino Cherry	2" caliper
8		Quercus virginiana	Southern live oak	2" caliper
8		Quercus phellos	Willow oak	2" caliper

Broadleaf Evergreen

Quantity	Symbol	Scientific Name	Common Name	Planting Size
38		Myrica cerifera	Southern wax-myrtle	3 gal
8		Prunus caroliniana	Carolina cherry laurel	10 to 12'

Palm

Quantity	Symbol	Scientific Name	Common Name	Planting Size
48		Sabal minor	Dwarf palmetto	3 gal

Quantity	Symbol	Scientific Name	Common Name	Planting Size
93		Liriope muscari 'Giant'	Giant blue lily turf	1 gal
52		Miscanthus sinensis 'Adagio'	Maiden grass	3 gal
11		Lomandra longifolia	Breeze grass	3 gal
475		Trachelospermum asiaticum	Asian jasmine	4" pot

LANDSCAPE NOTES:

Contractor shall locate all underground utilities and coordinate with all other trades on site prior to planting.

Create 2' to 1' bioswale in center parking island bed for sabal minors.

All plants shall conform to or exceed the standards for nursery stock as published by the American Association of Nurserymen.

The site shall be acceptable for landscaping when grade is established and areas provide positive drainage.

IRRIGATION NOTES:

Coordinate with construction supervisor to put sleeving for irrigation under parking and sidewalk areas before concrete is poured.

All foundation plantings to be irrigated with drip irrigation on a common timer.

Backflow preventer shall conform to the City of Wilmington for common water supply.

All components of irrigation system shall conform to the manufacturers guidelines including: sedimentation filters, wire gauge, valves and backflow preventers.

SITE DATA

Building site area = 2.43 acres
 S.F. of Parking Area = 11,103
 Shade calculation 20% of parking area re'qd = 2,220.6
 6 Live oaks x 707 = 4242
 3 Cherry laurels x 707 = 2121
 5 Cherry laurels x 353.50 = 1767.50
 1 Live oak x 353.50 = 353.50
 Total shade calculation provided = 8484

BIOSWALE landscape plantings are not to be mulched.
 The BIOSWALE drains directly into a piping system.

PROPOSED 20X70 SITE TRIANGLE - TREE MAINTENANCE

The site proposed triangles at Second and Greenfield Streets must comply with a clear visual sight distance of 30" to 10' of the two trees in the Sight Distance Triangle.

LAND DESIGN - SOUTH
 Landscape Architecture
 Planning
 Asla Associate



Donna Clemmons
 105 Coral Drive
 Wrightsville Beach, N.C.
 28480
 910 550 8788

Owner:

Peachtree Ventures LL
 10 S. Cardinal Drive
 Wilmington, N.C.
 28403

SOUTH FRONT II
 Landscape Plan

DATE REVISED:

11/3/2015

Drawn by; DDC

L-2

