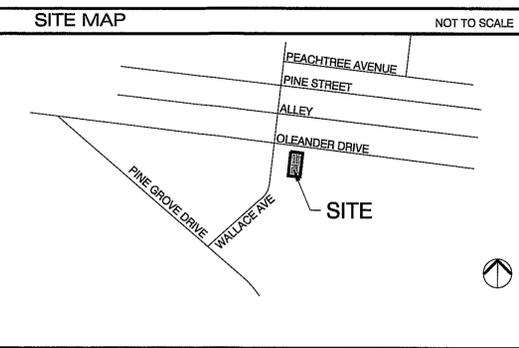
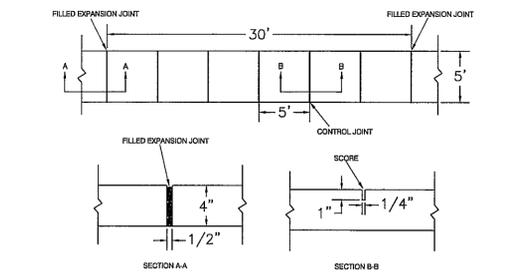


LEGEND

1. 1 x 6 TOP PLATE
 2. 2 x 4 STRINGER
 3. 1 x 6 STRINGER
 4. 1 x 6 VERTICAL BOARDS - 1" OVERLAP
 5. 6 x 6 POSTS AT 8'-0" O.C.
 6. FINISH GRADE
 7. CONCRETE FOOTING
 8. COMPACTED SUBGRADE
- NOTES:**
- ALL CONNECTORS, FASTENERS AND OTHER HARDWARE SHALL BE HOT DIPPED GALVANIZED.
 - ALL WOOD TO BE #2 OR BETTER PRESSURE TREATED SOUTHERN YELLOW PINE
 - ALL WOOD TO BE STAINED COLOR: TO BE SELECTED

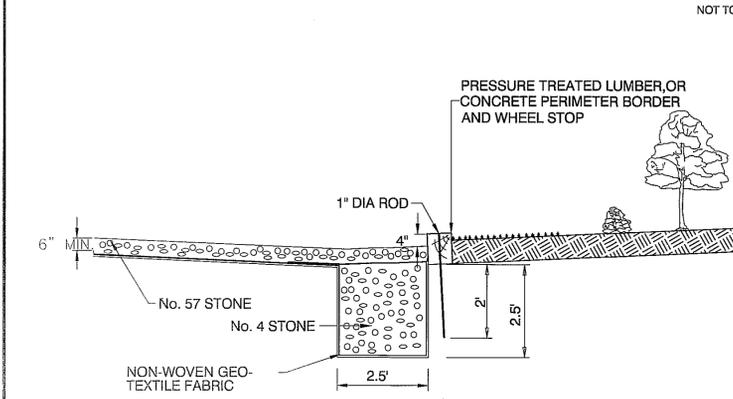


SD 3-10. STANDARD SIDEWALK DETAIL NOT TO SCALE

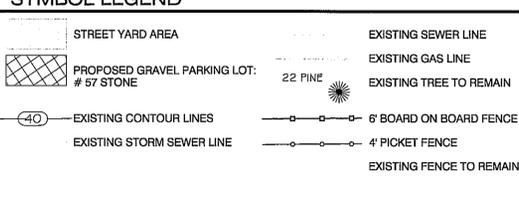
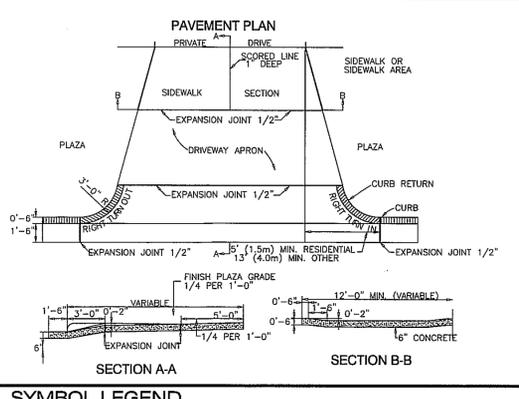


- NOTES:**
1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
 2. SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
 3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
 4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY)
 5. MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL
 6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS
 7. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
 8. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
 9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

SD- 15-10. STANDARD UNPAVED PARKING FACILITY, UNDER 25 STALLS NOT TO SCALE



SD 8-02. STANDARD DRIVEWAY DETAIL NOT TO SCALE



SITE DATA		
ADDRESS:	5004 OLEANDER DRIVE	
PARCEL ID:	R05108-009-008-000 (0.45 AC.)	
CURRENT OWNER:	DORIS M. PICKARD HEIR BY JEAN P. CREDELE, (ADMINISTRATOR)	
TOTAL PROJECT AREA:	19,602 SF (0.45 AC.)	
EXISTING ZONING:	RESIDENTIAL OFFICE DISTRICT (ROD)	
CAMA LAND CLASSIFICATION:	URBAN	
NUMBER OF BUILDINGS:	1	
OFFICE SPACE PROPOSED:	1,754 SF	
EXISTING IMPERVIOUS AREA:	1,754 SF	
BUILDING:	1,754 SF	
WALKWAYS:	329 SF	
BACK PORCH:	1,239 SF	
ASPHALT DRIVEWAY:	2,274 SF	
TOTAL:	5,596 SF	
PROPOSED IMPERVIOUS AREA:	2,381 SF	
GRAVEL PARKING:	291 SF	
CONCRETE PARKING:	209 SF	
TOTAL PROPOSED IMPERVIOUS:	2,881 SF	
WATER/SEWER USAGE		
	CURRENT	PROPOSED
SEWER:	(210 GAL./DAY)	(210 GAL./DAY)
WATER:	(210 GAL./DAY)	(210 GAL./DAY)

BULK REQUIREMENTS		REQUIRED	PROVIDED
MIN. LOT AREA	15,000 SF	15,000 SF	19,602 SF (0.45 AC.)
MIN. LOT WIDTH	100'	80'	100'
MIN. FRONT SETBACK *	35'	84.6'	10'
MIN. SIDE SETBACK	10'	15'	N/A
MIN. SIDE CORNER SETBACK	15'	72'	2 STORIES OR 35'
MIN. REAR SETBACK	25'	14.8'	1 STORY, 22'
MAX. BUILDING HEIGHT	2 STORIES OR 35'	50%	1,829 SF (9.33%)
MAX. LOT COVERAGE (BUILDINGS)	50%		

* FRONT SETBACKS SHALL BE EQUAL TO THE PREDOMINANT FRONT SETBACK FOR THAT BLOCK FACE ON THE SAME SIDE OF THE STREET PER SEC. 18-203.R0.

OFF-STREET PARKING REQUIREMENTS		REQUIRED	PROVIDED
OFFICE: 1,300 SF, 1,754 SF/300 =	5 MIN.	4**	
HANDICAP PARKING	1	1	
**THE REQUEST TO REDUCE PARKING BY 25% WAS GRANTED BY TRC (PER, SEC. 18-203)			

LANDSCAPE REQUIREMENTS		REQUIRED	PROVIDED
STREET YARD			
PRIMARY STREET YARD (OLEANDER DR.)	1,386 SF	1,386 SF	
TREES: 1,386/600	(77 LF X 18)	3	1 EXISTING TO REMAIN, 1 PROPOSED
SHRUBS: (1,386/600)*6		14	14

GENERAL NOTES

1. SITE BOUNDARY, STRUCTURES, TREES, ADJACENT PROPERTY LINES, CONTOURS, EXISTING STREETS AND UTILITY INFORMATION TAKEN FROM SURVEY PROVIDED BY PATRICK C. BRISTOW LAND SURVEYING, P.C., DATED JUNE 15, 2014.
2. THIS PARCEL IS LOCATED IN ZONE "X" AS PER FIRM PANEL 3720314600.J COMMUNITY ID # 370171, PANEL EFFECTIVE DATE: APRIL 3, 2006.
3. ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO MEAN SEA LEVEL, NAVD 1988.
4. ALL DISTANCES ARE GROUND HORIZONTAL.
5. THIS LOT IS SUBJECT TO ALL UTILITY EASEMENTS, RESTRICTIONS OR COVENANTS OF RECORD.
6. STORMWATER IS MOVED BY SHEET FLOW AS INDICATED BY CONTOURS.
7. EXISTING TREES WERE FIELD LOCATED AND ARE OF TYPE AND SIZE INDICATED. TREE SIZES ARE DIAMETERS IN INCHES TAKEN AT BREAST HEIGHT.
8. SEWER AND WATER SERVICES FOR THIS LOT ARE IN PLACE AND PROVIDED BY THE CAPE FEAR PUBLIC UTILITY AUTHORITY. METERS AND CLEANOUTS WERE FIELD LOCATED AND ARE SHOWN ON THE DRAWINGS.
9. PARCEL INFORMATION FROM NEW HANOVER COUNTY ONLINE TAX RECORD SEARCH.
10. ALL PROTECTED TREES WILL BE PRESERVED OR MITIGATED.
11. SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE.
12. SITE IS NOT LOCATED WITHIN A CONSERVATION OVERLAY DISTRICT.
13. GARBAGE TO BE STORED IN ROLL-OUT CONTAINER(S) WITHIN BUILDING.
14. ALL SIGNS WILL BE LOCATED AND APPROVED BY THE CITY OF WILMINGTON PLANNING DEPARTMENT.
15. TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
16. NO EXISTING DRIVEWAYS ARE TO BE CLOSED.
17. HEATING/AIR EQUIPMENT WILL BE LOCATED WITHIN THE BUILDING FOOTPRINT.
18. CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
19. NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
20. WATER AND SEWER SERVICE SHALL MEET CPDPA DETAILS AND SPECIFICATIONS. LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS AND METHODS.
21. ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING AND GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
22. NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.
23. REGULATED AND SIGNIFICANT TREES IN THE STREET YARD AND ANY TREES IN ANY REQUIRED BUFFERS ARE REQUIRED TO BE RETAINED.
24. NO EXISTING EASEMENTS PERTAIN TO THE SITE.
25. ALL SIGNS WILL BE LOCATED AND APPROVED BY THE CITY OF WILMINGTON PLANNING DEPARTMENT.
26. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10' (SEC. 18-566).

STORMWATER MANAGEMENT PLAN

APPROVED

CITY OF WILMINGTON
ENGINEERING DEPARTMENT

DATE _____ PERMIT # _____

RECEIVED
AUG 01 2014
PLANNING DIVISION

Approved Construction Plan

Name _____ Date _____

Planning _____

Public Utilities _____

Traffic _____

Fire _____

SCALE: 1" = 20'

NORTH

MIHALY LAND DESIGN
PLANNING + LANDSCAPE ARCHITECTURE
330 Military Cutoff Rd. Suite A3
Wilmington, NC 28403 910.392.4355

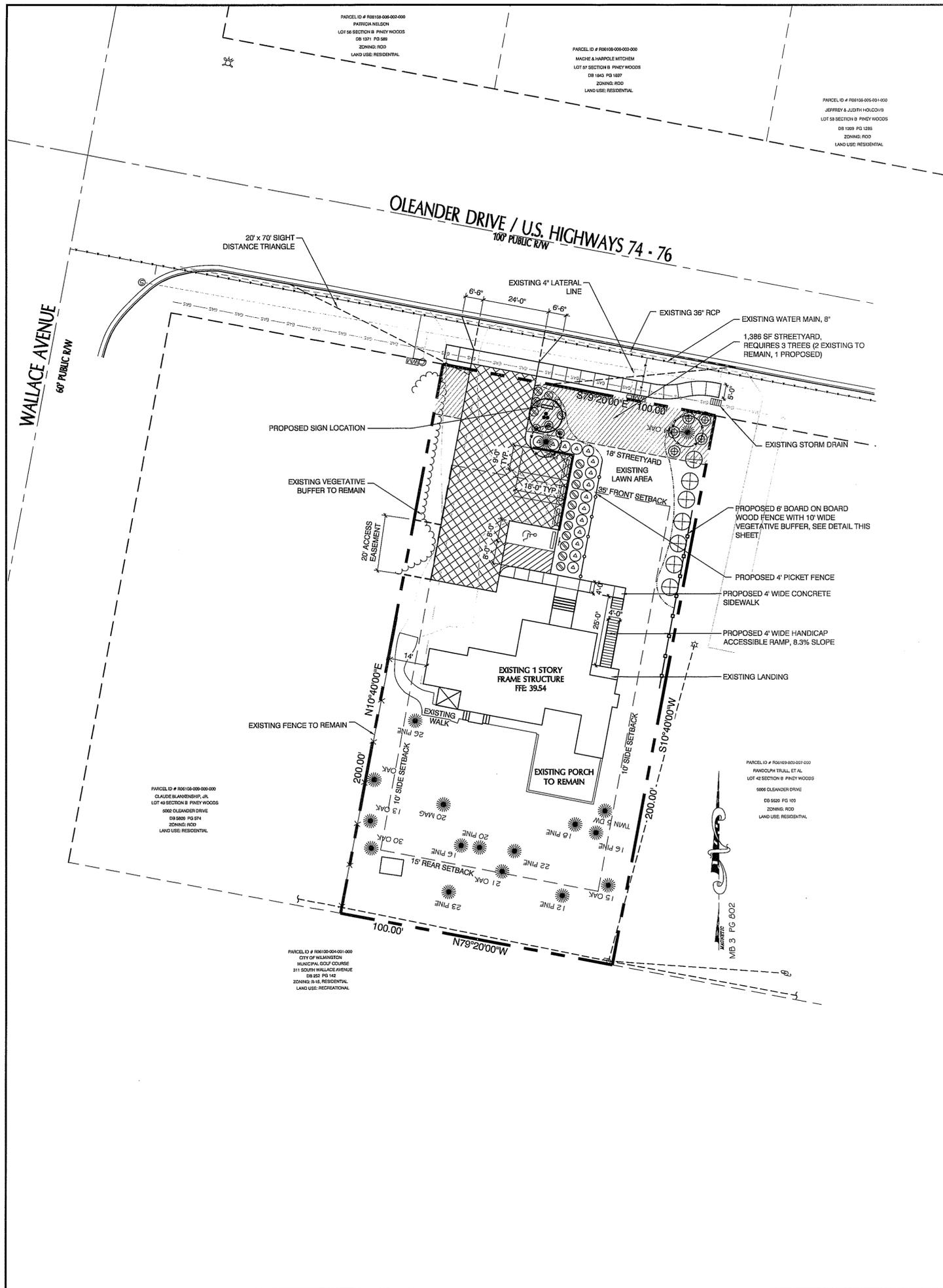
Revisions

1. 2014-07-31: REVISED HANDICAP RAMP, SIDEWALK AND PARKING LAYOUT. REVISED PLANTING PER SITE LAYOUT CHANGES. REVISED PLANS, LABELS, SITE DATA INFORMATION TO MEET CITY REQUIREMENTS.

CLIENT
DAWN BERARD
110 HINTON AVE, 2ND FLOOR
WILMINGTON, NC 28403
PHONE: (910) 367-2965

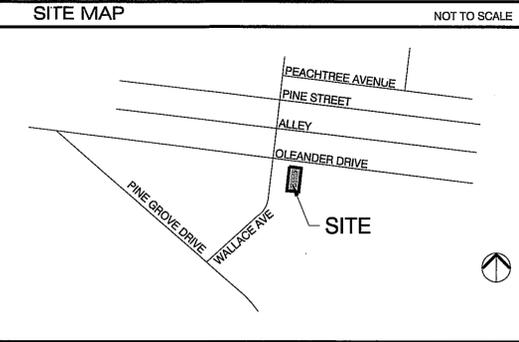
PROJECT
SOLD BUY THE SEA REALTY
5004 OLEANDER DRIVE
WILMINGTON, NC
SITE PLAN

Date: 06.16.2014
Phase: 000
Job Number: 100-760
Designed by: MLD
Drawn by: ALM
Checked by: JWM
Sheet Title: SITE PLAN
Sheet Number: **L1.1** of 2 sheets



SYMBOL LEGEND

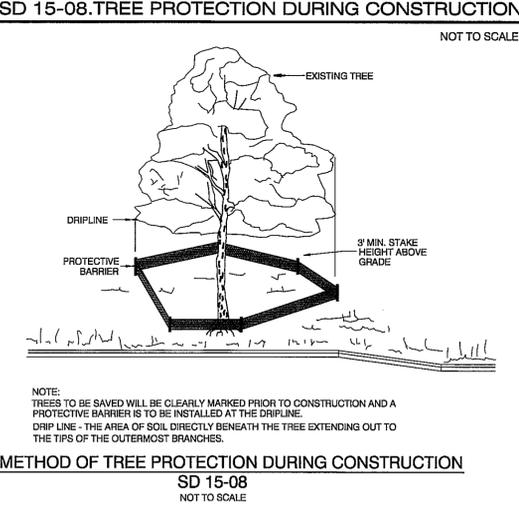
	STREET YARD AREA		EXISTING SEWER LINE
	PROPOSED GRAVEL PARKING LOT: # 57 STONE		EXISTING GAS LINE
	EXISTING CONTOUR LINES		EXISTING TREE TO REMAIN
	EXISTING STORM SEWER LINE		6" BOARD ON BOARD FENCE
	EXISTING FENCE		4" PICKET FENCE
			TREE PROTECTION FENCE



PLANT LEGEND

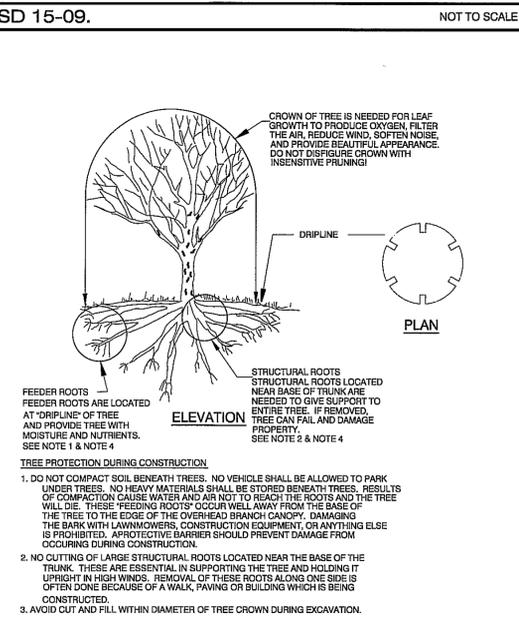
TREES	BOTANICAL/COMMON NAME	SIZE	QTY
	LAGERSTROEMIA I. 'NATCHEZ'	3" CAL.	1
	NATCHEZ CRAPE MYRTLE	8-10' HT	

SHRUBS	BOTANICAL/COMMON NAME	SIZE	QTY
	AZALEA FORMOSA	3 GAL	5
	FORMOSA AZALEA	18-24" HT	
	LIGUSTRUM J. 'RECURVIFOLIUM'	7 GAL	15
	CURLED-LEAF PRIVET	36" MIN.	
	MISCANTHUS S. 'ADAGIO'	3 GAL	17
	ADAGIO GRASS	18-24" HT.	
	MYRICA CERIFERA	7 GAL	7
	WAX MYRTLE	36-48" HT	
	ROSA 'KNOCKOUT'	3 GAL	3
	KNOCKOUT ROSE	18-24" HT	



LANDSCAPE REQUIREMENTS

	REQUIRED	PROVIDED
STREET YARD		
PRIMARY STREET YARD (OLEANDER DR.)	1,386 SF (77 LF X 18')	1,386 SF
TREES: (1,386/600)'6	3	2 EXISTING TO REMAIN, 1 PROPOSED
SHRUBS: (1,386/600)'6	14	14



- ### PLANTING NOTES
- THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, ETC., AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION.
 - QUANTITIES SHOWN IN PLANT LISTS ARE FOR CONVENIENCE ONLY. PLANS SHALL GOVERN.
 - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANT LOCATIONS OR INSUFFICIENT PLANT QUANTITIES DUE TO DIFFERENCES IN PLAN AND ACTUAL FIELD CONDITIONS.
 - ALL TREE AND SHRUB MATERIAL SPECIFIED MUST MEET STANDARD INDUSTRY SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED. DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT WILL NOT BE ALLOWED.
 - ALL LANDSCAPE AREAS SHALL BE GRADED TO A SMOOTH EVEN SURFACE PRIOR TO ANY PLANT INSTALLATION. ALL PLANT MATERIALS SHALL BE INSTALLED USING GOOD HORTICULTURAL PRACTICES IN ACCORDANCE WITH THE PLANS AND DETAILS.
 - TREES SHALL NOT BE PLANTED CLOSER THAN FOUR (4) FEET FROM ANY WALKWAY OR PUBLIC SIDEWALK EXCEPT WHERE TREE WELLS OR PARKWAYS ARE PROVIDED IN THE SIDEWALK AREA. ALL TREES PLANTED WITHIN FIVE (5) FEET OF WALKS OR PUBLIC UTILITIES SHALL RECEIVE DEEP ROOT BARRIERS.
 - TREE LOCATIONS SHOWN ON PLAN MAY REQUIRE ADJUSTMENT IN THE FIELD. WHENEVER FEASIBLE, TREES SHOULD BE PLANTED A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES, STREETLIGHTS, HYDRANTS, AND OUT OF DRAINAGE FLOW LINES. SHOULD THIS NOT BE POSSIBLE, CONTACT THE LANDSCAPE ARCHITECT FOR DECISION ON PLACEMENT.
 - ALL TREES IN TURF AREAS SHALL HAVE 12" MIN. CLR. CIRCUMFERENCE AROUND THE TRUNK BASE. PROVIDE 2" MIN. THK. MULCH AT BASE OF TRUNK.
 - GROUND COVER TYPE SHOWN SHALL BE PLANTED IN ALL SHRUB AREAS AS SPECIFIED ON PLANS. GROUND COVER SHALL BE PLANTED AT 8" ON-CENTER UNIFORM TRIANGULAR SPACING, AND SHALL BE CONTINUOUS UNDER ALL TREE AND SHRUB MASSES AS SHOWN ON PLAN.
 - MATURE PLANTINGS SHALL NOT INTERFERE WITH UTILITIES AND TRAFFIC SIGHT LINES.
 - PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 - UTILITY METERS, TRANSFORMERS AND FIXED TRASH DISPOSAL RECEPTACLES WHICH CANNOT BE LOCATED OUT OF SIGHT SHALL BE SCREENED.
 - ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINED FROM 30 INCHES TO 10 FEET.

MIHALY LAND DESIGN
 PLANNING + LANDSCAPE ARCHITECTURE
 330 Military Cutoff Rd. Suite A3
 Wilmington, NC 28403 910.392.4355

Revisions

- 2014-07-31: REVISED HANDICAP RAMP, SIDEWALK AND PARKING LAYOUT. REVISED PLANTING PER SITE LAYOUT CHANGES. REVISED PLANS, LABELS, SITE DATA INFORMATION TO MEET CITY REQUIREMENTS.

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Date: 06.16.2014
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 of 2 sheets

STORMWATER MANAGEMENT PLAN

APPROVED

CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____ PERMIT # _____

Approved Construction Plan		
Name	Date	
Planning		
Public Utilities		
Traffic		
Fire		

