

ROBBIE B HODGES
DB4284 PG 270
ZONING: CS
USE: COMMERCIAL

GLENN W HODGES
DB4284 PG 226
ZONING: CS
USE: COMMERCIAL

GLENN W HODGES
DB4284 PG 230
ZONING: CS
USE: COMMERCIAL

INTERNATIONAL EMBASSY OF
HOLINESS, INC
DB5763 PG 985
ZONING: CS
USE: VACANT

INTERNATIONAL EMBASSY OF
HOLINESS, INC
DB5763 PG 985
ZONING: O&I
USE: COMMERCIAL

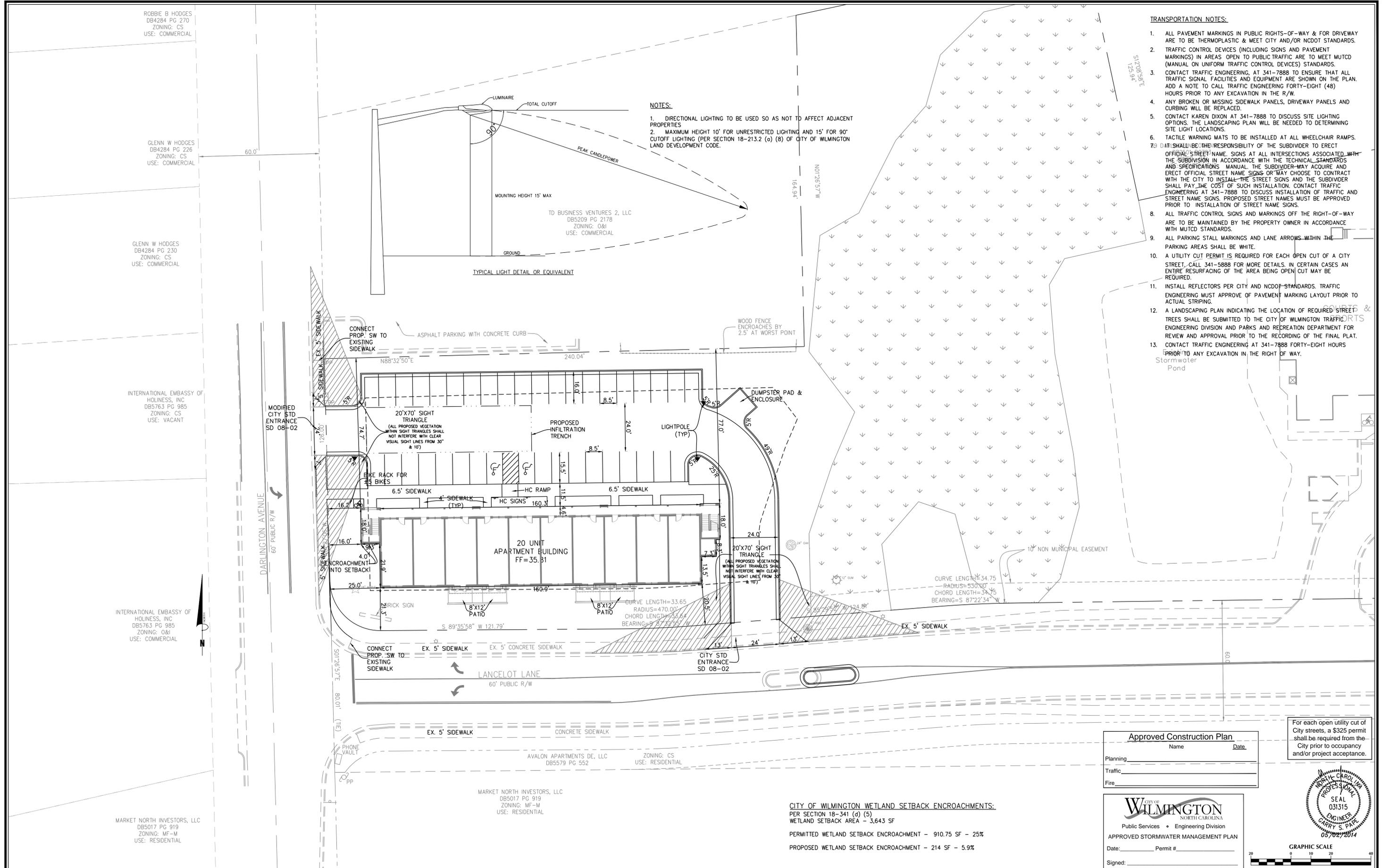
MARKET NORTH INVESTORS, LLC
DB5017 PG 919
ZONING: MF-M
USE: RESIDENTIAL

NOTES:

1. DIRECTIONAL LIGHTING TO BE USED SO AS NOT TO AFFECT ADJACENT PROPERTIES
2. MAXIMUM HEIGHT 10' FOR UNRESTRICTED LIGHTING AND 15' FOR 90° CUTOFF LIGHTING (PER SECTION 18-213.2 (a) (8) OF CITY OF WILMINGTON LAND DEVELOPMENT CODE.

TRANSPORTATION NOTES:

1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY ARE TO BE THERMOPLASTIC & MEET CITY AND/OR NCDOT STANDARDS.
2. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
3. CONTACT TRAFFIC ENGINEERING, AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. ADD A NOTE TO CALL TRAFFIC ENGINEERING FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE R/W.
4. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
5. CONTACT KAREN DIXON AT 341-7888 TO DISCUSS SITE LIGHTING OPTIONS. THE LANDSCAPING PLAN WILL BE NEEDED TO DETERMINE SITE LIGHT LOCATIONS.
6. TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.
7. D&F SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
8. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
9. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
10. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CALL 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
11. INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
12. A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED TREES & TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT.
13. CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.



CITY OF WILMINGTON WETLAND SETBACK ENCROACHMENTS:
PER SECTION 18-341 (d) (5)
WETLAND SETBACK AREA - 3,643 SF
PERMITTED WETLAND SETBACK ENCROACHMENT - 910.75 SF - 25%
PROPOSED WETLAND SETBACK ENCROACHMENT - 214 SF - 5.9%

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

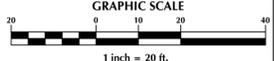
Fire _____

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



No.	Revision	Date	By

Designer	GSP	Scale	1" = 20'
Drawn By	GSP	Date	February 2014
License #	P-0718	Job No.	2013-0012

SAXON PLACE
New Hanover County
Wilmington, North Carolina

SITE PLAN

PREPARED FOR:
DBNC HOLDINGS, LLC
5123 ORIOLE DRIVE
WILMINGTON, NC 28403
910-793-7544

GSP CONSULTING, PLLC
ENGINEERING
6626 Gordon Road Unit C Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659

Sheet No.
C-3

GENERAL NOTES

I. LOCATION OF WHEELCHAIR RAMPS:

- IN ACCORDANCE WITH THE RATIFIED HOUSE BILL 1296, ALL STREET CURBS IN NORTH CAROLINA BEING CONSTRUCTED OR RECONSTRUCTED FOR MAINTENANCE PROCEDURES, TRAFFIC OPERATIONS, REPAIRS, CORRECTION OF UTILITIES OR ALTERED FOR ANY REASON AFTER SEPTEMBER 1, 1973 SHALL PROVIDE WHEELCHAIR RAMPS FOR THE PHYSICALLY HANDICAPPED AT ALL INTERSECTIONS WHERE BOTH CURB AND GUTTERS AND SIDEWALKS ARE PROVIDED AND AT OTHER MAJOR POINTS OF PEDESTRIAN FLOW.
- WHEELCHAIR RAMPS SHOULD BE LOCATED AS INDICATED IN DETAIL DRAWINGS, HOWEVER EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. MAY AFFECT PLACEMENT.

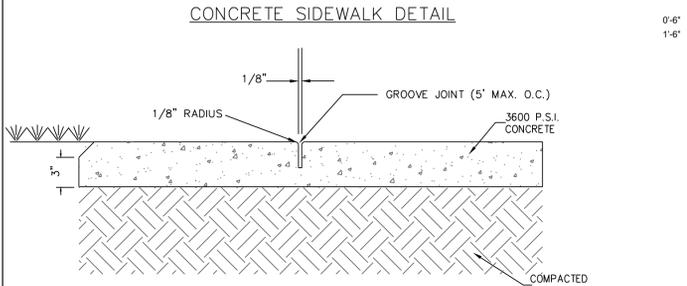
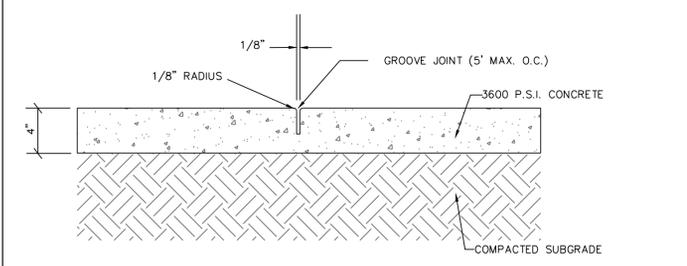
II. CONSTRUCTION NOTES:

- NO SLOPE SHALL EXCEED 1"-1" (12:1) ON THE RAMP OR SIDEWALK.
- IN NO CASE SHALL THE WIDTH OF WHEELCHAIR RAMPS BE LESS THAN 40" (3'-4"). WIDTHS MAY EXCEED 40" IF NECESSARY.
- USE CLASS "A" CONCRETE WITH THE SURFACE HAVING A ROUGH, NON-SKID TYPE FINISH.
- 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE CONCRETE WHEELCHAIR RAMP JOINS ANY RIGID PAVEMENT OR STRUCTURE.
- CONSTRUCTION METHODS SHALL CONFORM WITH THOSE OF THE GOVERNING BODY WHICH HAS JURISDICTION OF THE PARTICULAR STREET.

III. ADDITIONAL NOTES:

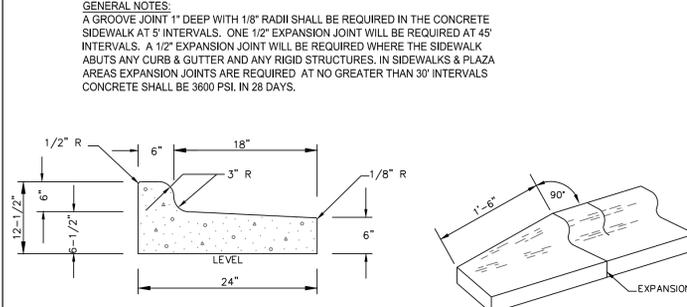
- THE INSIDE PEDESTRIAN CROSSWALK LINES SHALL BE ESTABLISHED BY BISECTING THE INTERSECTION RADII WHERE MARKED (SEE NOTE 6).
- THE WHEELCHAIR RAMP SHALL BE LOCATED SO THAT THE BEGINNING OF THE WHEEL CHAIR RAMP WILL BE TWO FEET FROM THE INSIDE PEDESTRIAN CROSSWALK LINE.
- THE WIDTH OF THE PEDESTRIAN CROSSWALK SHALL BE 10 FEET UNLESS A GREATER WIDTH IS REQUIRED TO ACCOMMODATE THE PEDESTRIAN TRAFFIC.
- STOP BARS SHALL BE USED WHERE IT IS IMPORTANT TO INDICATE THE POINT BEHIND WHICH VEHICLES ARE REQUIRED TO STOP IN COMPLIANCE WITH A TRAFFIC SIGNAL, STOP SIGN, OR OTHER LEGAL REQUIREMENTS.
- PARKING SHALL BE ELIMINATED A MINIMUM OF 20 FEET BACK OF PEDESTRIAN CROSSWALK.
- ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION. THIS IS AVAILABLE FROM THE SUPERINTENDENT OF DOCUMENTS, U.S GOVERNMENT PRINTING OFFICE, WASHINGTON, D.C. 20402.

GUIDELINES FOR WHEELCHAIR RAMPS



CONCRETE SIDEWALK

GENERAL NOTES:
A GROOVE JOINT 1" DEEP WITH 1/8" RADII SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 45' INTERVALS. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK ABUTS ANY CURB & GUTTER AND ANY RIGID STRUCTURES. IN SIDEWALKS & PLAZA AREAS EXPANSION JOINTS ARE REQUIRED AT NO GREATER THAN 30' INTERVALS CONCRETE SHALL BE 3600 PSI. IN 28 DAYS.



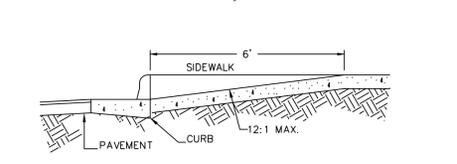
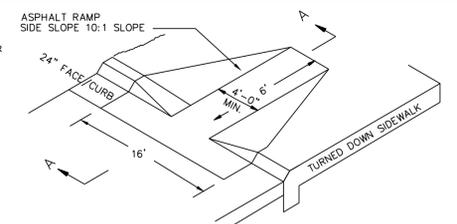
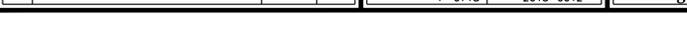
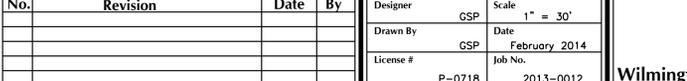
(TO BE USED WHEN PAVEMENT IS SLOPED AWAY FROM ISLAND 1/4" : 1'-0" SLOPE OR AS SHOWN ON PLANS)

24" CURB AND GUTTER (REVERSE SLOPE)

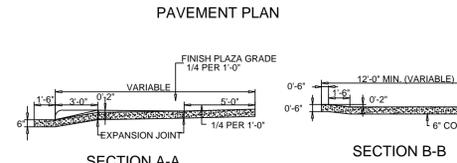
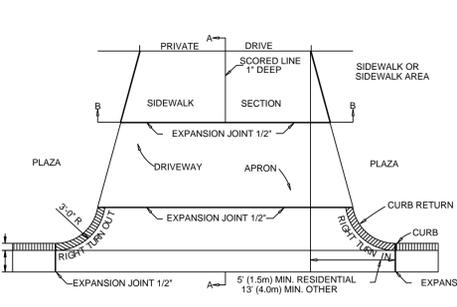


GENERAL NOTES:
CONTRACTION JOINTS SHALL BE SPACED AT MAX. 10' INTERVALS, EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING. CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS, WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1-1/2" SHALL BE OBTAINED. ALL CONTRACTION JOINTS EXCEPT IN 8" X 6" MEDIAN CURB SHALL BE FILLED WITH JOINT SEALER. EXPANSION JOINTS SHALL BE SPACED AT 90' INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.

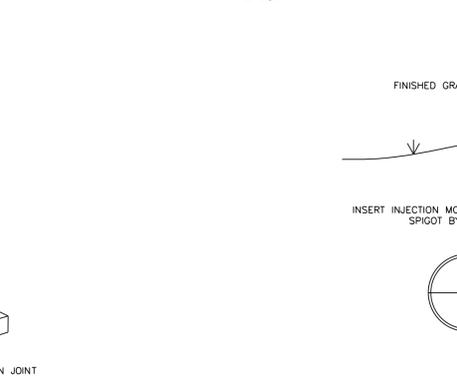
CONSTRUCTION JOINT



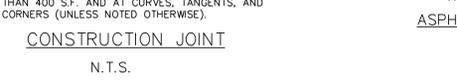
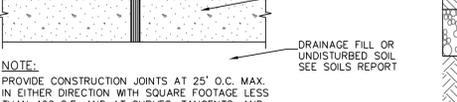
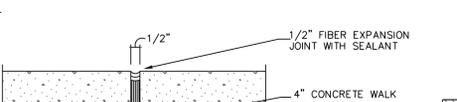
WHEELCHAIR RAMP



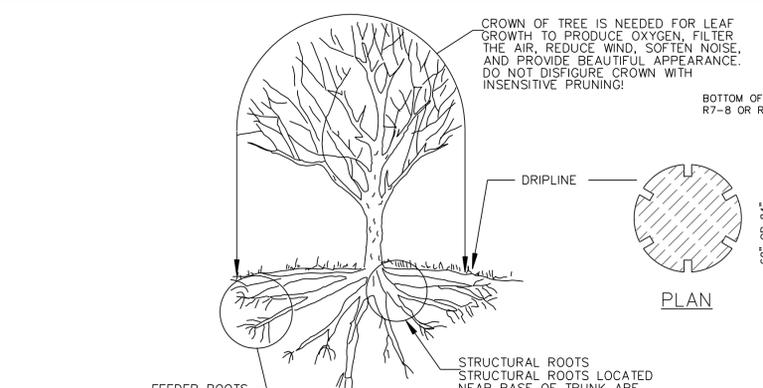
STANDARD DRIVEWAY DETAIL



ROOF DRAIN DETAIL WITH CLEANOUT



CONSTRUCTION JOINT



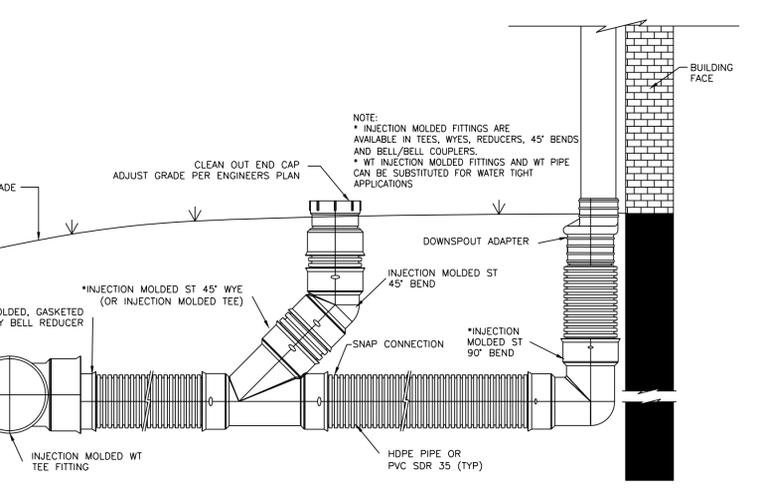
TREE PROTECTION DURING CONSTRUCTION

- DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO HEAVY MATERIALS SHALL BE STORED BENEATH TREES. RESULTS OF COMPACTION CAUSE WATER AND AIR NOT TO REACH THE ROOTS AND THE TREE WILL DIE. THESE "FEEDING ROOTS" OCCUR WELL AWAY FROM THE BASE OF THE TREE TO THE EDGE OF THE OVERHEAD BRANCH CANOPY. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. A PROTECTIVE BARRIER SHOULD PREVENT DAMAGE FROM OCCURRING DURING CONSTRUCTION.
- NO CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK. THESE ARE ESSENTIAL IN SUPPORTING THE TREE AND HOLDING IT UPRIGHT IN HIGH WINDS. REMOVAL OF THESE ROOTS ALONG ONE SIDE IS OFTEN DONE BECAUSE OF A WALK, PAVING OR BUILDING WHICH IS BEING CONSTRUCTED.
- AVOID CUT AND FILL WITHIN DIAMETER OF TREE CROWN DURING EXCAVATION.

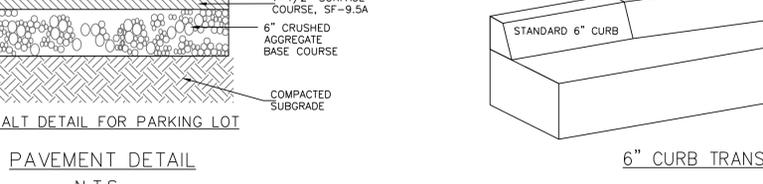
METHOD OF TREE PROTECTION DURING CONSTRUCTION
SD 15-09
NOT TO SCALE



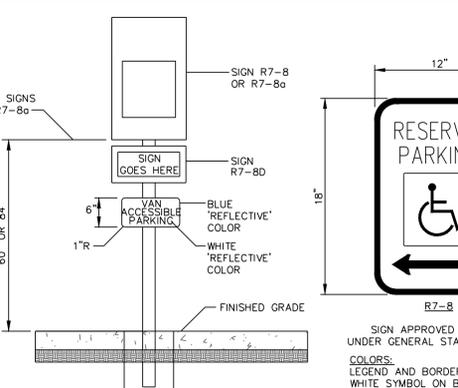
METHOD OF TREE PROTECTION DURING CONSTRUCTION



METHOD OF TREE PROTECTION DURING CONSTRUCTION

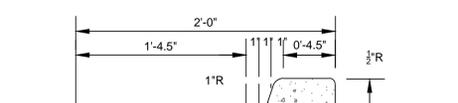


METHOD OF TREE PROTECTION DURING CONSTRUCTION



HANDICAP PARKING SIGNAGE
N.T.S.

Labels: SIGN APPROVED FOR USE UNDER GENERAL STATUTE 20.37.5, COLORS: LEGEND AND BORDER-GREEN, WHITE SYMBOL ON BLUE BACKGROUND, BACKGROUND-WHITE.



STANDARD CURB SECTION TYPE "A"



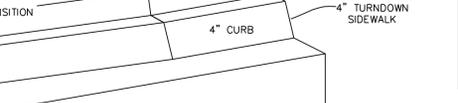
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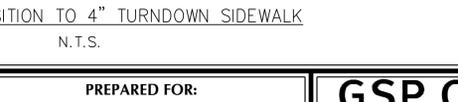
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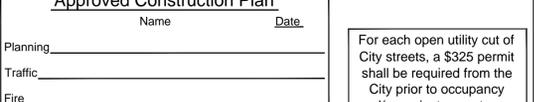
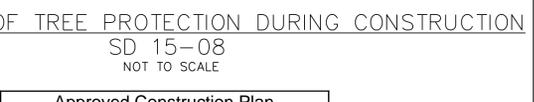
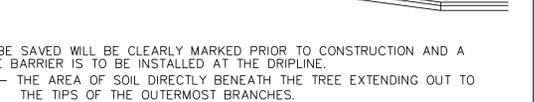
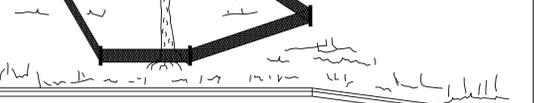
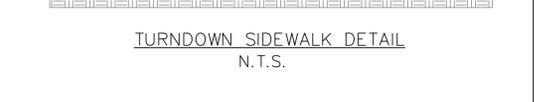
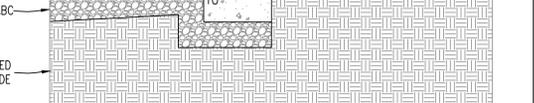
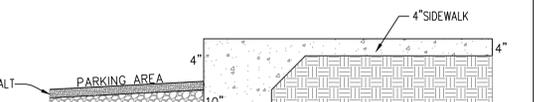
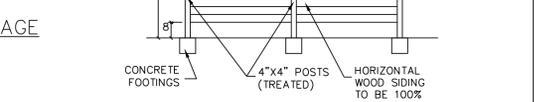
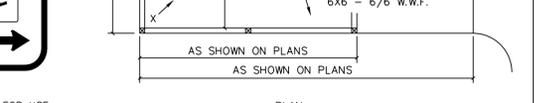
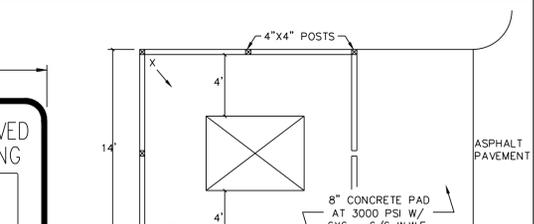
STANDARD CURB SECTION TYPE "A"



STANDARD CURB SECTION TYPE "A"



STANDARD CURB SECTION TYPE "A"



No.	Revision	Date	By

Designer	GSP	Scale	1" = 30'
Drawn By	GSP	Date	February 2014
License #	P-0718	Job No.	2013-0012

Wilmington **Saxon Place** **New Hanover County** **North Carolina**

STANDARD DETAILS

PREPARED FOR:
DBNC HOLDINGS, LLC
5123 ORIOLE DRIVE
WILMINGTON, NC 28403
910-793-7544

GSP CONSULTING, PLLC
ENGINEERING

6626 Gordon Road Unit C Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659

Sheet No.
C-7

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of **WILMINGTON** NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

Professional Engineer Seal

SEAL 031315

ENGINEER CARRY S. PARK

05/02/2014

ROBBIE B HODGES
DB4284 PG 270
ZONING: CS
USE: COMMERCIAL

GLENN W HODGES
DB4284 PG 226
ZONING: CS
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INTERNATIONAL EMBASSY OF
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INTERNATIONAL EMBASSY OF
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DB5763 PG 985
ZONING: O&I
USE: COMMERCIAL

MARKET NORTH INVESTORS, LLC
DB5017 PG 919
ZONING: MF-M
USE: RESIDENTIAL

Landscape Calculations:

(Note: All regulated & significant trees have been field located and are labeled.)

	Req'd	Prov'd.
Lancelot Lane Primary Streetyard 215 l.f. frontage - 25' driveway =190 l.f. X 18' (O&I District factor) ● 1 tree / 600 s.f. ● 6 shrubs / 600 s.f.	3,420 s.f.	3,526 s.f.
Darlington Avenue Secondary Streetyard 111 l.f. frontage - 25' driveway =86 l.f. X 9' (O&I District factor) ● 1 tree / 600 s.f. ● 6 shrubs / 600 s.f.	774 s.f.	849 s.f.
Parking Area Interior (20% Shading)- 12,618 s.f. X 20% 4 PROPOSED CHERRY LAURELS AT FULL CREDIT (0707 SF)	2,524 s.f.	2,828 s.f.
Foundation Plantings - 218 l.f. bldg. facade @ 35' hgt. x 12% 4 EXISTING	916 s.f.	922 s.f.
Overall Development Area - 0.70 ac.± development area x 15 trees/ac.	11	12 PROPOSED 4 EXISTING 16 TOTAL

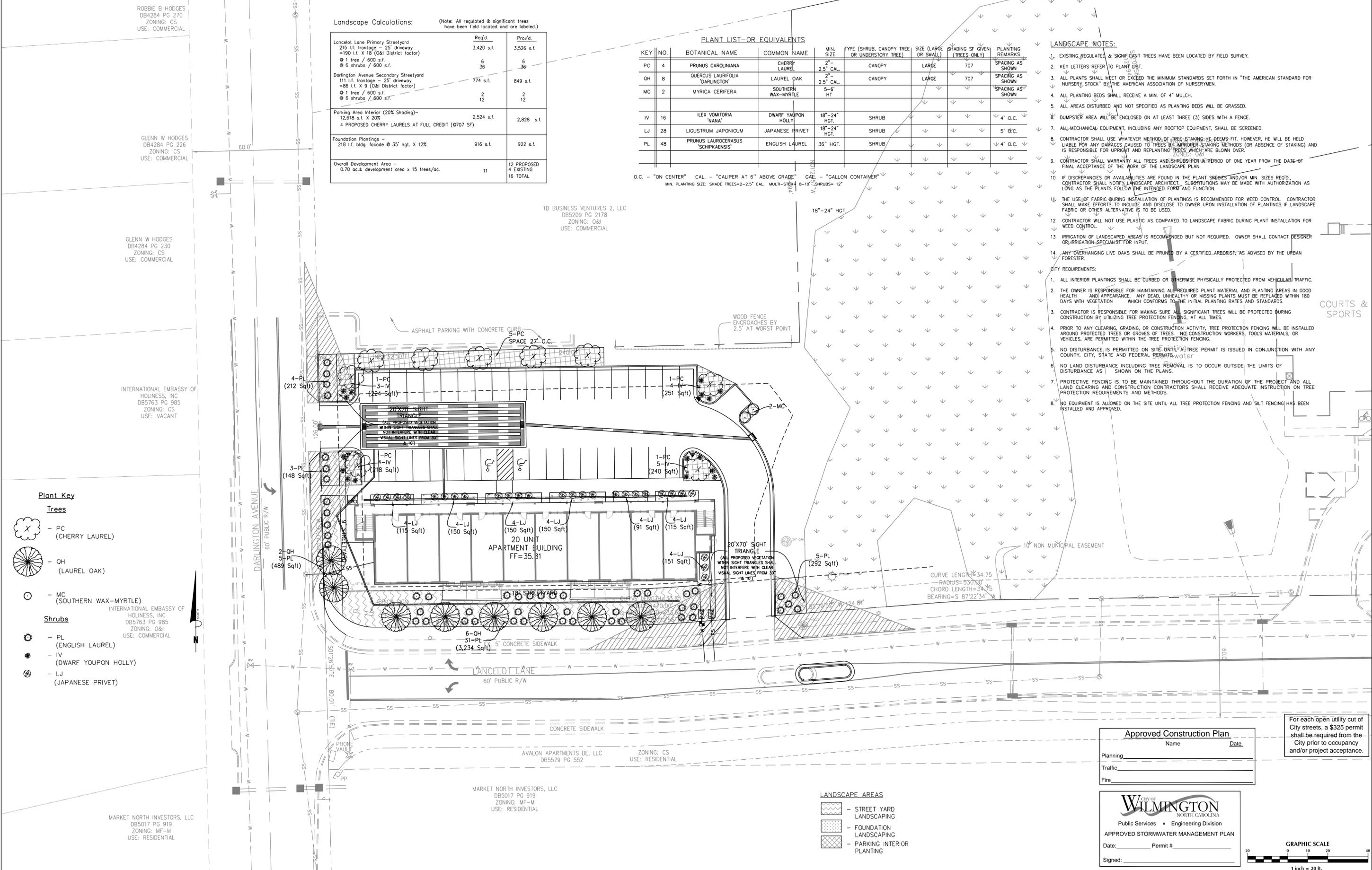
PLANT LIST-OR EQUIVALENTS

KEY	NO.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	TYPE (SHRUB, CANOPY TREE OR UNDERSTORY TREE)	SIZE (LARGE OR SMALL)	SHADING SF GIVEN (TREES ONLY)	PLANTING REMARKS
PC	4	PRUNUS CAROLINIANA	CHERRY LAUREL	2"-2.5" CAL.	CANOPY	LARGE	707	SPACING AS SHOWN
QH	8	QUERCUS LAURIFOLIA 'DARLINGTON'	LAUREL OAK	2"-2.5" CAL.	CANOPY	LARGE	707	SPACING AS SHOWN
MC	2	MYRICA CERIFERA	SOUTHERN WAX-MYRTLE	5'-6" HT.				SPACING AS SHOWN
IV	16	ILEX VOMITORIA 'NANA'	DWARF YAUPOH HOLLY	18"-24" HGT.	SHRUB			4' O.C.
LJ	28	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	18"-24" HGT.	SHRUB			5' O.C.
PL	48	PRUNUS LAUROCERASUS 'SCHIPKAENSIS'	ENGLISH LAUREL	36" HGT.	SHRUB			4' O.C.

O.C. - "ON CENTER" CAL. - "CALIPER AT 6" ABOVE GRADE" GAL. - "GALLON CONTAINER"
MIN. PLANTING SIZE: SHADE TREES=2-2.5" CAL. MULTI-STEM 8-10" SHRUBS= 12"

LANDSCAPE NOTES:

- EXISTING, REGULATED & SIGNIFICANT TREES HAVE BEEN LOCATED BY FIELD SURVEY.
 - KEY LETTERS REFER TO PLANT LIST.
 - ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET FORTH IN "THE AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - ALL PLANTING BEDS SHALL RECEIVE A MIN. OF 4" MULCH.
 - ALL AREAS DISTURBED AND NOT SPECIFIED AS PLANTING BEDS WILL BE GRASSED.
 - DUMPSTER AREA WILL BE ENCLOSED ON AT LEAST THREE (3) SIDES WITH A FENCE.
 - ALL MECHANICAL EQUIPMENT, INCLUDING ANY ROOFTOP EQUIPMENT, SHALL BE SCREENED.
 - CONTRACTOR SHALL USE WHATEVER METHOD OF TREE STAKING HE DEEMS FIT. HOWEVER, HE WILL BE HELD LIABLE FOR ANY DAMAGES CAUSED TO TREES BY IMPROPER STAKING METHODS (OR ABSENCE OF STAKING) AND IS RESPONSIBLE FOR UPRIGHT AND REPLANTING TREES WHICH ARE BLOWN OVER.
 - CONTRACTOR SHALL WARRANT ALL TREES AND SHRUBS FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK OF THE LANDSCAPE PLAN.
 - IF DISCREPANCIES OR AVAILABILITIES ARE FOUND IN THE PLANT SPECIES AND/OR MIN. SIZES REQ'D, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT. SUBSTITUTIONS MAY BE MADE WITH AUTHORIZATION AS LONG AS THE PLANTS FOLLOW THE INTENDED FORM AND FUNCTION.
 - THE USE OF FABRIC DURING INSTALLATION OF PLANTINGS IS RECOMMENDED FOR WEED CONTROL. CONTRACTOR SHALL MAKE EFFORTS TO INCLUDE AND DISCLOSE TO OWNER UPON INSTALLATION OF PLANTINGS IF LANDSCAPE FABRIC OR OTHER ALTERNATIVE IS TO BE USED.
 - CONTRACTOR WILL NOT USE PLASTIC AS COMPARED TO LANDSCAPE FABRIC DURING PLANT INSTALLATION FOR WEED CONTROL.
 - IRRIGATION OF LANDSCAPED AREAS IS RECOMMENDED BUT NOT REQUIRED. OWNER SHALL CONTACT DESIGNER OR IRRIGATION SPECIALIST FOR INPUT.
 - ANY OVERHANGING LIVE OAKS SHALL BE PRUNED BY A CERTIFIED ARBORIST, AS ADVISED BY THE URBAN FORESTER.
- CITY REQUIREMENTS:**
- ALL INTERIOR PLANTINGS SHALL BE CURBED OR OTHERWISE PHYSICALLY PROTECTED FROM VEHICULAR TRAFFIC.
 - THE OWNER IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED PLANT MATERIAL AND PLANTING AREAS IN GOOD HEALTH AND APPEARANCE. ANY DEAD, UNHEALTHY OR MISSING PLANTS MUST BE REPLACED WITHIN 180 DAYS WITH VEGETATION WHICH CONFORMS TO THE INITIAL PLANTING RATES AND STANDARDS.
 - CONTRACTOR IS RESPONSIBLE FOR MAKING SURE ALL SIGNIFICANT TREES WILL BE PROTECTED DURING CONSTRUCTION BY UTILIZING TREE PROTECTION FENCING, AT ALL TIMES.
 - PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS MATERIALS, OR VEHICLES, ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 - NO DISTURBANCE IS PERMITTED ON SITE UNTIL A TREE PERMIT IS ISSUED IN CONJUNCTION WITH ANY COUNTY, CITY, STATE AND FEDERAL PERMITS.
 - NO LAND DISTURBANCE INCLUDING TREE REMOVAL IS TO OCCUR OUTSIDE THE LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS.
 - PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND ALL LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS AND METHODS.
 - NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.



- Plant Key**
- Trees**
- PC (CHERRY LAUREL)
 - QH (LAUREL OAK)
 - MC (SOUTHERN WAX-MYRTLE)
- Shrubs**
- PL (ENGLISH LAUREL)
 - IV (DWARF YAUPOH HOLLY)
 - LJ (JAPANESE PRIVET)

- LANDSCAPE AREAS**
- STREET YARD LANDSCAPING
 - FOUNDATION LANDSCAPING
 - PARKING INTERIOR PLANTING

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____



No.	Revision	Date	By

Designer: GSP
Scale: 1" = 20'
Drawn By: GSP
Date: February 2014
License #: P-0718
Job No.: 2013-0012

SAXON PLACE
New Hanover County
North Carolina

LANDSCAPE PLAN

PREPARED FOR:
DBNC HOLDINGS, LLC
5123 ORIOLE DRIVE
WILMINGTON, NC 28403
910-793-7544

GSP CONSULTING, PLLC
ENGINEERING
6626 Gordon Road Unit C Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659

Sheet No.
L-1

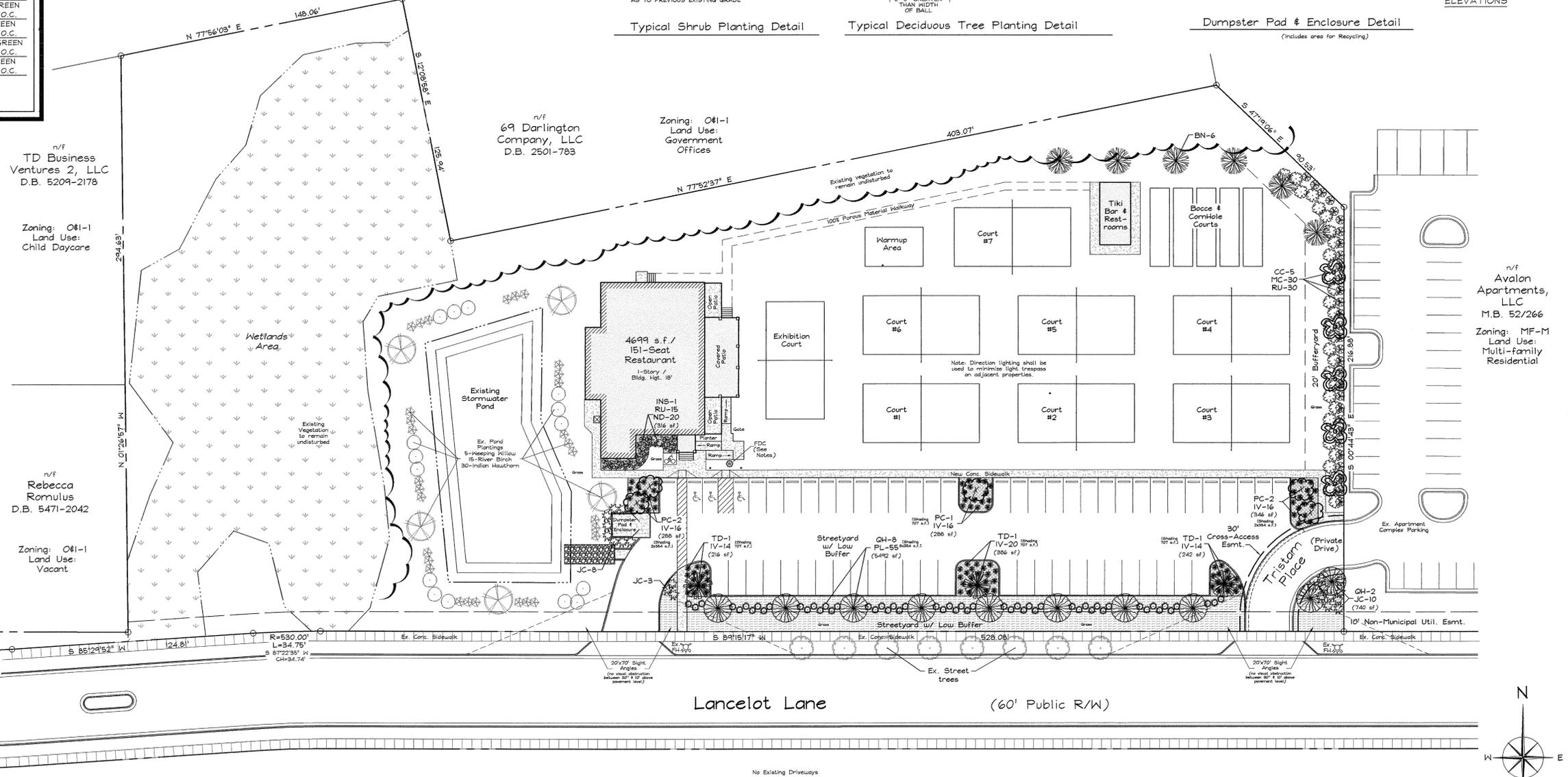
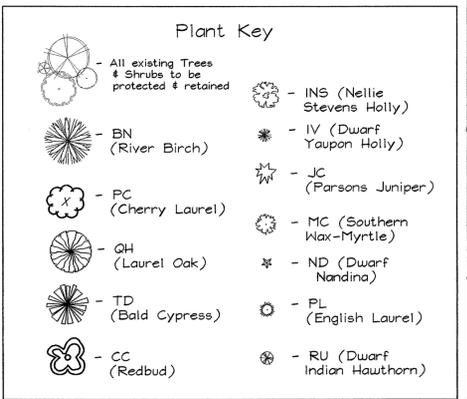
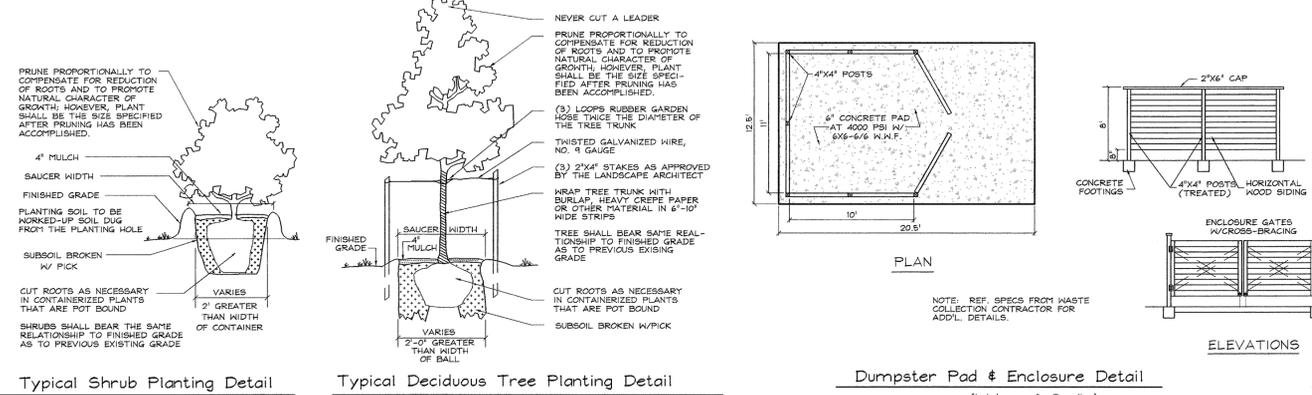
KEY	NO.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	PLANTING REMARKS
BN	6	BETULA NIGRA 'HERITAGE'	RIVER BIRCH	2 1/2" CAL.	DECIDUOUS CANOPY TREE
PC	5	PRUNUS CAROLINIANA	CHERRY	2 1/2" CAL.	EVERGREEN CANOPY TREE
QH	10	QUERCUS LAURIFOLIA 'DARLINGTON'	LAUREL OAK	2 1/2" CAL.	EVERGREEN CANOPY TREE
TD	3	TAXODIUM DISTICHUM	BALD CYPRESS	2 1/2" CAL.	DECIDUOUS CANOPY TREE
CC	5	CERCIS CANADENSIS 'FOREST PANDEY'	REDBUD	2 1/2" CAL.	DECIDUOUS UNDER-STORY TREE
INS	1	ILEX X 'NELLIE R. STEVENS'	NELLIE STEVENS HOLLY	24"-36" HGT.	LG. EVERGREEN SHRUB
IV	26	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	12"-15" HGT.	SM. EVERGREEN SHRUB / 4' O.C.
JC	21	JUNIPERUS CHINENSIS 'NICKS COMPACTA'	CHINESE JUNIPER	18"-24" HGT.	MED. EVERGREEN SHRUB / 6' O.C.
MC	30	MYRICA CERIFERA	SOUTHERN WAX-MYRTLE	36" HGT.	LG. EVERGREEN SHRUB / 8' O.C.
ND	20	NANDINA DOMESTICA 'HARBOR DWARF'	DWARF NANDINA	12"-15" HGT.	SM. EVERGREEN SHRUB / 2' O.C.
PL	55	PRUNUS LAUROCERASUS 'SCHIPKAENSIS'	ENGLISH LAUREL	36" HGT.	MED. EVERGREEN SHRUB / 4' O.C.
RU	45	RHAPHIOLEPIS UMBELLATA 'SNOW WHITE'	DWARF INDIAN HAWTHORN	18"-24" HGT.	SM. EVERGREEN SHRUB / 4' O.C.

Landscape Calculations:

Category	Req'd	Prov'd
Landscape Lane Primary Streetyard (400 l.f. frontage = driveways = 345 x 10 (20'11" District factor) @ 1 tree / 600 s.f. @ 6 shrubs / 600 s.f. (Low Buffer))	6210 s.f.	6232 s.f.
Parking Area Interior (18,140 s.f. @ 258 Shrubs/Canopy @ 314 s.f.)	4,786 s.f.	8,484 s.f.
Parking Area Perimeter - N/A	5	0
Foundation Plantings (Kills adj. to parking - 84 l.f. x 18" facade hgt. x 12x)	151 s.f.	316 s.f.
Bufferyard - 20' Width / 172' @ 3 Min. 20' High Trees/100 l.f. 2 Rows Evergreen Shrubs @ 12' O.C. 1 Row Evergreen Shrubs @ 6' O.C.	5	5
Pond Perimeter - Existing	30	30
Development Site - 1.9 ac.± development area x 15 trees/ac.	29	29
Mitigation - n/a		

Landscape Notes:

- Key letters refer to Plant List.
 - All plants shall meet or exceed the minimum standards set forth in the 'American Standards for Nursery Stock' by the American Association of Nurserymen.
 - All planting beds shall receive a min. of 4" pine bark mulch.
 - All areas disturbed and not specified as mulched planting beds will be grassed. Lawn areas may be seeded or sodded.
 - Contractor shall use whatever method of tree staking he deems fit. However, he will be held liable for any damages caused to trees by improper staking methods, or absence or staking, and is responsible for uprighting and replanting trees which are blown over.
 - Contractor shall warranty all trees and shrubs for a period of one (1) year from the date of final acceptance for the work of the Landscape Plan.
 - If discrepancies or unavailability are found in the plant species and/or sizes req'd, contractor shall notify Landscape Architect. Substitutions may be made, with authorization, as long as the plants follow the intended form & function of the requirement.
- Additional City Requirements -
- All plantings shall be curbed or otherwise physically protected from vehicular traffic.
 - The owner is responsible for maintaining all required plant material and planting areas in good health and appearance. Any dead, unhealthy or missing plants must be replaced within sixty (60) days with vegetation which conforms to the initial planting rates & standards.



Development Data:

Lot Area - 3.76 ac.±

Proposed Land Use: 151-Seat Restaurant & Recreation Facility

Bldg. Coverage:

Restaurant -	5,812 s.f.
Tiki Bar -	512 s.f.
Total -	6,324 s.f. (3.9%)

Bldg. Floor Area:

Restaurant -	4,699 s.f.
Tiki Bar -	181 s.f.
Total -	4,880 s.f.

Bldg. Hgt. - 1-Story Restaurant - 18' Tiki Bar - 12'

Impervious Surfaces -

Existing Coverage	1,680 s.f.
Coverage to be Removed	0
Subtotal -	1,680 s.f.
New Bldgs. -	6,010 s.f.
New Asphalt -	19,140 s.f.
New Concrete -	3,649 s.f.
Subtotal -	28,799 s.f.
** Max. Future Surfaces Permitted = 28,865 s.f. **	
Total -	30,479 s.f. (10.6%)

Market North Investors, LLC
D.B. 5017-919

Zoning: MF-M
Land Use: Multi-family Residential

Approved Construction Plan

Name: *[Signature]* Date: 6-22-11

Planning: *[Signature]* Date: 6-22-11

Traffic: *[Signature]* Date: 6-22-11

Fire: *[Signature]* Date: 6-22-11

STORMWATER MANAGEMENT PLAN

APPROVED

CITY OF WILMINGTON
ENGINEERING DEPARTMENT

DATE 6/23/11 PERMIT # 2011 017

SIGNED *[Signature]*

General Notes:

- New Hanover County Parcel No.: PIN 313705.29.2583 PID R04917-004-017-000
- Total Tract Area: 3.76 ac.±
- Zoning District: O41-1 Setbacks - 20' Front, 20' Corner, 25' Rear, 10' Interior Side
- CAMA Land Classification: Urban

Graphic Scale: 0 5 10 15 30 60

Property Address: 3525 Lancelot Lane

No.	Revision	Date	By

Designer: C Wolf Scale: 1" = 30'
Drawn By: C Wolf Date: 06/20/11
Checked By: Job No. 0310002

WITHERS & RAVENEL
ENGINEERS | PLANNERS | SURVEYORS

2410 Commonwealth Dr., Unit 101, Wilmington, NC 28403 tel: 910-256-9277 www.witthersravenel.com License No. C-0832

Owner: DBNC Holdings, Inc.
439 Whitebridge Road
Hampstead, NC 28443
D.B. 5545-568

Landscape Plan

Courts & Sports Bar & Grill
Wilmington Township / New Hanover County / North Carolina