

PROPERTY OWNER: PEACHTREE VENTURES, LLC
 PROJECT ADDRESS: 1510 SOUTH THIRD STREET
 PIN NUMBER: R05417-013-004-000
 ZONING DISTRICT: UMX
 FLOOD AREA: THIS LOT IS LOCATED IN ZONE "X" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 3720311700K PANEL 3117, DATED: 6/2/2008 (PER BATEMAN CIVIL SURVEY COMPANY, PC)
 MAXIMUM ALLOWABLE BUILDING HEIGHT: 4 STORIES OR 45' (ALONG ARTERIAL STREETS), 35' OR 2 STORIES (ALONG RESIDENTIAL & COLLECTOR STREETS)
 MAXIMUM EXISTING BUILDING HEIGHT: 27' (APPROX. PER GOOGLE EARTH; FROM EXISTING GROUND TO TOP OF BUILDING ALONG WILLARD STREET)
 BUILDING SETBACKS, REQUIRED (FOR SIDE OF BUILDING ABUTTING A SINGLE-FAMILY ZONING DISTRICT): FRONT-5' OR AVERAGE SETBACK OF EXISTING BUILDINGS WITHIN THE BLOCK OR FACE (BUT NOT MORE THAN 10'), REAR-5', SIDE-5'
 BUILDING SETBACKS, EXISTING: FRONT-0.04'
 SITE AREA: 105,703.64 SF = 2.43 ACRES ±
 MAXIMUM ALLOWABLE DENSITY: NONE (VERTICALLY INTEGRATED MIXED-USE BUILDING)
 TOTAL UNITS: 44 (ONE BEDROOM APARTMENTS), 10 (TWO BEDROOM APARTMENTS) & 1 (RETAIL SPACE)
 NUMBER OF PROPOSED BUILDINGS: 0
 NUMBER OF EXISTING BUILDINGS: 2
 BUILDING SIZE:

| BUILDING | POST DEVELOPMENT SQUARE FOOTAGE (1ST STORY) | POST DEVELOPMENT SQUARE FOOTAGE (2ND STORY) |
|----------|---|---|
| 1 | 52,769 | 11,329 |
| 2 | 5,841 | N/A |

TOTAL AMOUNT & PERCENT OF IMPERVIOUS SURFACE AREAS ON-SITE (REPLACEMENT OF EXISTING PARKING AREAS DUE TO STORM DRAIN PIPE SYSTEM INSTALLATION REMAIN LISTED/TREATED AS EXISTING, NOT PROPOSED):

| BEFORE DEVELOPMENT | | AFTER DEVELOPMENT | |
|--------------------|-----------|-------------------|-----------|
| AREA (SF) | % OF SITE | AREA (SF) | % OF SITE |
| BUILDINGS | 59,079 | 55.89 | |
| PARKING | 31,561 | 29.86 | |
| GRAVEL | 7,785 | 7.36 | |
| SIDEWALK | 187 | 0.18 | |
| OTHER | 1,858 | 1.76 | |
| TOTAL | 100,470 | 95.05 | |

TOTAL PROPOSED IMPERVIOUS AREAS OFF-SITE (DOES NOT INCLUDE REPLACEMENT OF EXISTING SIDEWALK AREAS, EXISTING DRIVEWAY AREAS, OR EXISTING STREET AREAS DUE TO STORM DRAIN PIPE SYSTEM INSTALLATION, GRADE ADJUSTMENTS, AND/OR ANY REQUIRED REPLACEMENTS PER CITY OF WILMINGTON):

| DRIVEWAY | AREA (SF) |
|--|-----------|
| SIDEWALK (INCLUDE BICYCLE PARKING AREAS) | 132 |
| TOTAL | 4,273 |

OFF STREET PARKING CALCULATIONS:
 MIN. PARKING REQ. = N/A
 MAX. PARKING ALLOWED = 2.5 SPACES/UNIT x 54 UNITS + 1 SPACE/200 SF x 3,922 SF = 155 SPACES
 NUMBER OF PROPOSED PARKING SPACES (OFF-STREET) = 86 (18 ARE INDIVIDUAL GARAGE SPACES & 16 ARE RETAIL SPACES)
 NUMBER OF PROPOSED PARKING SPACES (ON-STREET, STRIPE ON EXISTING SOUTH SECOND STREET) = 16
 MIN. NUMBER OF REQ. HANDICAPPED SPACES PER ADA STANDARDS FOR ACCESSIBLE DESIGN = 5
 NUMBER OF PROPOSED HANDICAPPED SPACES = 6
 NUMBER OF REQ. BICYCLE PARKING SPACES = 1 SPACE/UNIT x 54 UNITS + (1 SPACE/1,000 SF x 3,922 SF OR 5 SPACES, WHICHEVER IS GREATER) = 59
 NUMBER OF PROPOSED BICYCLE PARKING SPACES = 60 (INCLUDES 1 SPACE IN EACH INDIVIDUAL GARAGE SPACE)
 THIS SITE IS NOT WITHIN A SPECIAL HIGHWAY OVERLAY DISTRICT OR ANY OTHER ZONING OVERLAY DISTRICT PER THE CITY OF WILMINGTON ZONING MAP (MAP 3117-4, DATED: MAY 8, 2015)
 CAMA LAND USE CLASSIFICATION PER THE 2006 CAMA PLAN UPDATE LAND CLASSIFICATION MAP IS URBAN.

- CITY OF WILMINGTON STANDARD NOTES**
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 - NO LAND DISTURBANCE INCLUDING TREE REMOVAL IS TO OCCUR OUTSIDE THE LIMITS OF DISTURBANCE SHOWN ON THE PLANS.
 - NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.
 - PROTECTIVE TREE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
 - LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS AND METHODS.
 - ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
 - IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS LOCATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
 - TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
 - CALL TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY APRON PANELS, OR CURB AND GUTTER SECTIONS SHALL BE REPLACED.
 - CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
 - PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 332-6558 FOR INFORMATION.
 - IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE & MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
 - ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA WATER SHALL COMPLY WITH THE CFPWA CROSS CONNECTION CONTROL REGULATIONS. CALL 332-6558 FOR INFORMATION.
 - ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCD/CHOR OR ASSE.
 - ALL TRAFFIC CONTROL SIGNS & MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - ALL PAVEMENT MARKINGS REGULATING TRAFFIC FLOW MUST BE THERMOPLASTIC.
 - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET (CONTACT 341-5888 FOR MORE DETAILS). IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
 - A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
 - CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING. 1-800-632-4949.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS.

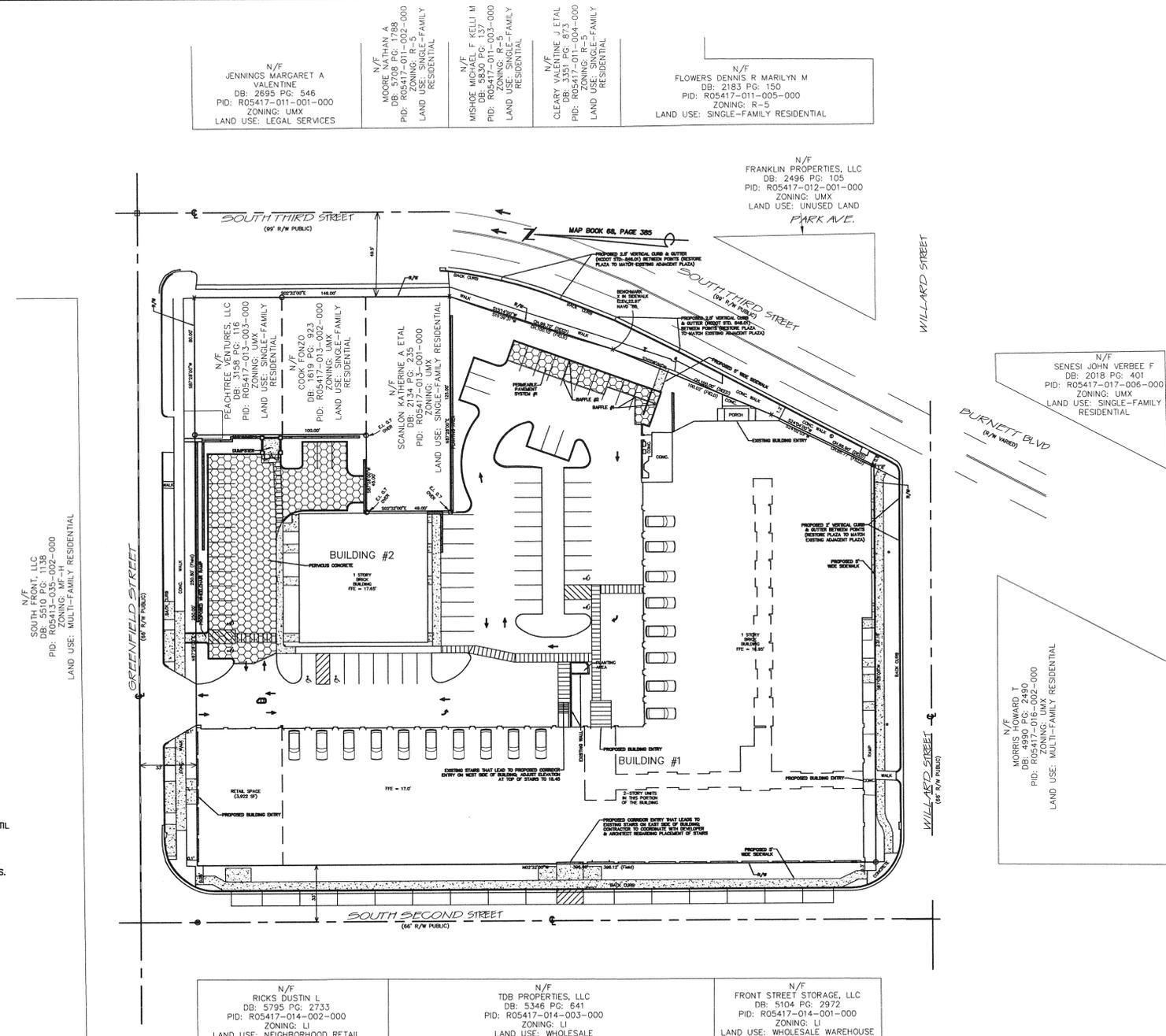
- SITE INVENTORY NOTES**
- SOIL ON SITE PER THE NEW HANOVER COUNTY SOIL SURVEY IS URBAN LAND (U₂).
 - THERE ARE NO CATCH BASINS TO WHICH SETBACKS WOULD BE MEASURED, ASSOCIATED WITH THIS PROPERTY PER SOUTHERN ENVIRONMENTAL GROUP, INC.
 - THE SUBJECT PARCEL IS NOT ASSOCIATED WITH ANY OF THE CONSERVATION RESOURCES LISTED IN SECTION 18-341(C) OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE PER SOUTHERN ENVIRONMENTAL GROUP, INC.
 - THE PROPERTY HAS BEEN DEVELOPED FOR MANY YEARS, THEREFORE IT IS NOT ANTICIPATED THAT THERE ARE HISTORICAL OR ARCHAEOLOGICAL CONCERNS ASSOCIATED WITH THIS PROPERTY PER SOUTHERN ENVIRONMENTAL GROUP, INC.
 - THERE ARE NO CEMETERIES WITHIN THE SUBJECT PROPERTY LIMITS PER SOUTHERN ENVIRONMENTAL GROUP, INC.
 - THE SITE IS AN EXISTING COMMERCIAL SITE WITH NO FORESTED AREAS.
 - THERE ARE NO FEDERAL, STATE OR LOCAL REGULATED WETLANDS, WATERS OR CONSERVATION RESOURCES ON THE PROPERTY PER SOUTHERN ENVIRONMENTAL GROUP, INC.
 - THERE ARE NO ENDANGERED SPECIES OR CRITICAL HABITAT WITHIN THE PROPERTY BOUNDARIES PER SOUTHERN ENVIRONMENTAL GROUP, INC.
 - THIS LOT IS LOCATED IN ZONE(S) "X" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 3720311700K PANEL 3117, DATED: 6/2/2008 (PER BATEMAN CIVIL SURVEY COMPANY, PC).
 - EXISTING FRONTAGE SIDEWALKS ARE LOCATED ALONG SOUTH 3RD STREET & GREENFIELD, FRONTAGE SIDEWALKS ALONG SOUTH 2ND STREET & WILLARD STREET ARE PROPOSED AS PART OF THE DEVELOPMENT PLAN FOR THIS PROPERTY.
 - THE TRACT IS WITHIN THE CAPE FEAR RIVER BASIN & DRAINS TO GREENFIELD CREEK (SC;S_W).
 - CAMA LAND USE CLASSIFICATION PER THE 2006 CAMA PLAN UPDATE LAND CLASSIFICATION MAP IS URBAN.

- FIRE AND LIFE SAFETY NOTES**
- PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS OR FDC'S. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
 - FIRE HYDRANTS CANNOT BE FURTHER THAN 8' FROM THE CURB.
 - NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
 - ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
 - PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE & LIFE SAFETY DIVISION AT 910-343-0696.
 - A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
 - FDC'S CAN BE NO FURTHER THAN 150' FROM A FIRE HYDRANT.
 - FDC'S CAN BE NO FURTHER THAN 40' FROM FIRE DEPARTMENT VEHICLE PLACEMENT.
 - BUILDING CONSTRUCTION TYPE ACCORDING TO THE INTERNATIONAL BUILDING CODE IS IIB.
 - TAMPER SWITCHES SHALL BE INSTALLED ON ALL VALVES THAT ARE CAPABLE OF TURNING THE WATER SUPPLY OFF TO THE SPRINKLER SYSTEMS.
 - ALL GATES USED FOR VEHICULAR INGRESS AND/OR EGRESS SHALL BE ALARM/SIREN ACTIVATED. WHEN THE INGRESS & EGRESS GATES ARE OPEN THERE SHALL BE NO VERTICAL OBSTRUCTION IN THE ENTIRE WIDTH OF THE DRIVE AISLE.
 - KNOX BOX WITH A KEY FOR MANUAL OVERRIDE OF THE VEHICULAR GATE(S) SHALL BE PROVIDED.
 - SENSORS FOR PREVENTING THE GATE(S) FROM OPENING AND CLOSING ON VEHICLES SHALL BE PROVIDED.
 - MANUAL OVERRIDE MUST BE MADE FOR AUTOMATIC OPENING OF THE GATE(S) IN THE EVENT OF POWER OUTAGES.
 - KNOX BOX SHALL BE PROVIDED FOR ALL BUILDINGS PROTECTED BY FIRE SPRINKLERS.
 - KNOX BOX WITH A KEY FOR MANUAL OVERRIDE OF THE PEDESTRIAN GATE AT 3RD STREET SHALL BE PROVIDED.
 - SPECIAL CIRCUMSTANCES ARE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.
 - IN ADDITION TO THE STANDARD COMMENTS, SPECIAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.

SURVEYOR NOTES:
 1. THIS LOT IS LOCATED IN ZONE(S) "X" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 3720311700K PANEL 3117, DATED: 6/2/2008.
 2. AREA ± 2.43 ACRES ±
 3. RATIO OF PRECISION = 1:10000 +.

SURVEY REF: TRACT #1:
 BOOK 946 PAGE 32
 BOOK 268 PAGE 35
 BOOK 774 PAGE 454
 BOOK 86 PAGE 214

Surveyor: Bateman Civil Survey Company, PC
 Engineers Surveyors Planners
 200 N. Main Street, Holly Springs, NC 27540
 (919) 577-1080
 NCBELS C 278



NOTES

- BOUNDARY, TOPOGRAPHICAL, & TREE SURVEY PROVIDED BY BATEMAN CIVIL SURVEY COMPANY, PC (MAP TITLED "REPLACING A PORTION OF BLOCK 'E' AS SHOWN ON THAT MAP ENTITLED WILMINGTON SUBURBAN CO.S PROPERTY" WITH SEAL DATE OF 7/2/15).
- ALL ELEVATIONS ARE IN FEET UNLESS OTHERWISE INDICATED.
- ALL CITY, STATE, & FEDERAL REGULATIONS SHALL BE FOLLOWED.
- EXISTING SANITARY SEWER MAINS ARE OWNED BY CFPWA.
- EXISTING WATER MAINS ARE OWNED BY CFPWA.
- SLOPE ON HANDICAP SPACES SHALL BE 1:50 OR FLATTER.
- TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- DISTURBED AREAS WITHIN RIGHT-OF-WAY OF SOUTH THIRD STREET, SOUTH SECOND STREET, GREENFIELD STREET, AND/OR WILLARD STREET SHALL BE IMMEDIATELY SEEDED & STABILIZED WITH MULCH OR EXCELSTOR MAT PRIOR TO ANY RAINFALL EVENT.
- UPON COMPLETION OF ANY PHASE OF ACTIVITY SIDE SLOPES WILL BE SEEDED/STABILIZED.
- RETAINING WALL SHALL BE DESIGNED BY OTHERS. MALPASS ENGINEERING & SURVEYING, P.C. IS NOT RESPONSIBLE FOR RETAINING WALL DESIGN.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE & TECHNICAL STANDARDS MANUAL, EXCEPT WHERE EXEMPTED OR VARIANCES ARE OBTAINED.
- THE PROPOSED CURB ON THE SITE IS 4" VERTICAL CURB (SD 3-11).
- MANHOLES, CATCH BASINS, & DROP INLETS SHALL BE SIZED APPROPRIATELY TO ACCOMMODATE OVERSIZED PIPES.
- ALL DROP INLETS TO BE TRAFFIC BEARING WITH HEAVY DUTY 2'x3' FRAME & GRATE (GENERAL FOUNDRIES INC., ITEM #24364 OR EQUIVALENT).
- IT IS THE APPLICANT'S/DEVELOPER'S RESPONSIBILITY TO BE COMPLIANT WITH ALL APPLICABLE ADA REQUIREMENTS.
- ALL PLANTED & RETAINED LIVING MATERIAL REQUIRED TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE, SHALL BE PERPETUALLY PROTECTED & MAINTAINED TO PROFESSIONALLY ACCEPTED STANDARDS BY JOINT & SEVERAL RESPONSIBILITY OF THE OWNER, OCCUPANT, TENANT, & RESPECTIVE AGENTS OF THE PROPERTY ON WHICH THE MATERIAL IS LOCATED.
- CONTRACTOR SHALL CONTACT & COORDINATE WITH POWER COMPANY REGARDING REMOVAL OF EXISTING POWER POLE & BURIAL OF EXISTING OVERHEAD POWER LINES ON SITE.
- ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
- THREE BOLLARDS SHALL BE PROVIDED IN LANDSCAPE ISLAND (LI) 1, FOUR IN LI-5, FIVE IN LI-6, & NINE IN LI-7 WHERE SHOWN ON THE SITE PLAN.
- YARD INLET SHALL BE INSTALLED WHERE SHOWN ON DRAINAGE PLAN & DISCHARGE INTO CB-1.
- MITTS OF DISTURBANCE = 41,034 SF = 0.94 ACRES.
- PROPOSED FENCE(S) TO BE WOODEN FENCE UNLESS OTHERWISE INDICATED ON SITE PLAN.
- EXISTING 8" PIPE THROUGH BASEMENT IN BUILDING #1 SHALL REMAIN IN PLACE. CONTRACTOR SHALL VERIFY THAT PIPE IS FREE OF BLOCKAGES & THAT IT DOES NOT LEAK.
- PROPOSED VEHICULAR GATES SHALL BE SWING GATES & BE SIMILAR IN MATERIAL & APPEARANCE TO THE FENCE SHOWN ON DETAIL ON SHEET 8 (BLACK ALUMINUM BARS). INGRESS GATE SHALL OPEN BY USE OF KEYPAD. EGRESS GATE SHALL OPEN BY USE OF GROUND SENSOR. INGRESS & EGRESS GATES SHALL BOTH AUTOMATICALLY CLOSE.
- THE LOCATION OF THE PROPOSED WALKWAY FROM EACH UNIT IN BUILDING #2 TO THE PROPOSED SIDEWALK ADJACENT TO THE BUILDING IS APPROXIMATE. THE LOCATION OF THE PROPOSED WALKWAY FROM UNITS IN BUILDING #1 TO PROPOSED SIDEWALK ALONG WILLARD STREET IS APPROXIMATE. CONTRACTOR TO COORDINATE WITH ARCHITECTURAL DRAWINGS & ADJUST LOCATIONS AS NECESSARY TO MATCH DOOR LOCATIONS.
- STAIRS SHALL BE PROVIDED FROM BUILDING #1 TO PROPOSED SIDEWALK ALONG WILLARD ST. AS NECESSARY.
- IF EXTERIOR SITE LIGHTING IS PROPOSED, IT SHALL MEET THE CITY OF WILMINGTON'S UMX STANDARD FOR SITE LIGHTING, WHICH IS AS FOLLOWS: "ALL SITE LIGHTING SHALL BE LOCATED, ANGLED, SHIELDED, AND/OR LIMITED IN INTENSITY SO AS TO CAST NO DIRECT LIGHT UPON ADJACENT PROPERTIES, SHALL MINIMIZE OFF-SITE BACKLIGHTING CLARE, AND UP-LIGHTING. LIGHT POSTS SHALL BE NO TALLER THAN TWELVE (12) FEET."
- DOWNPOUTS FOR THE NORTHERN HALF OF BUILDING #2 SHALL DISCHARGE INTO THE STONE BELOW THE PERVIOUS CONCRETE NORTH OF BUILDING #2. AN IN-LINE DOWNPOUT FILTER MUST BE INSTALLED ON THESE DOWNPOUTS.
- DUMPSITE PLAN/LAYOUT & SCREENING DETAILS (SEE SHEET 4) PER COTHRAN HARRIS ARCHITECTURE. MALPASS ENGINEERING & SURVEYING, P.C. IS NOT RESPONSIBLE FOR DUMPSITE PLAN/LAYOUT & SCREENING.

31. CONTRACTOR/DEVELOPER SHALL COORDINATE WITH CITY INSPECTOR AT THE PRECON REGARDING ANY REQUIRED REPLACEMENT OF HANDICAP RAMPS AT WILLARD STREET & 2ND STREET, AND WILLARD & 3RD STREET, AND GREENFIELD STREET & 2ND STREET.

32. DRAINAGE FROM ROOF DOWNSPOUTS SHALL NOT FLOW ACROSS R/W. IT MUST BE PIPED TO AN INLET.

33. DOWNSPOUT PIPING WITHIN CITY OF WILMINGTON R/W WILL NOT BE CONSIDERED AN ENCROACHMENT. THE DOWNSPOUT PIPING WILL NOT BE MAINTAINED BY THE CITY OF WILMINGTON.

34. DOWNSPOUT PIPING IS BASED ON EXISTING LOCATION OF DOWNSPOUTS.

35. IF EXISTING DOWNSPOUT PIPING ALONG 2ND STREET IS STILL FUNCTIONAL IT MAY BE USED INSTEAD OF INSTALLING DOWNSPOUT PIPING SHOWN ALONG 2ND STREET ON SHEET 5.

36. THE LOCATIONS OF THE DOWNSPOUT PIPING SHOWN ON SHEET 5 ARE APPROXIMATE. CONTRACTOR TO ADJUST LOCATION AS NECESSARY DUE TO ANY UNDERGROUND CONFLICTS.

37. THE SIZE OF THE PIPE FROM EACH DOWNSPOUT TO THE DOWNSPOUT PIPING ALONG WILLARD STREET & SOUTH OF DI-3 ALONG 2ND STREET SHALL BE 4" MINIMUM. THE SIZE OF THE PIPE FROM EACH DOWNSPOUT TO THE DOWNSPOUT PIPING NORTH OF DI-3 ALONG 2ND STREET SHALL BE 6" MINIMUM. THE DOWNSPOUT PIPING SIZES SHOWN ON SHEET 5 ARE MINIMUM SIZES.

38. PROPOSED DI-2 SHALL HAVE A MINIMUM INSIDE DIMENSION OF 2'x3'. ALL FOUR SIDES OF DI-2 SHALL HAVE A WEIR OPENING. THE HEIGHT OF EACH OPENING SHALL BE 0.5 FEET. THE LENGTH OF EACH OPENING SHALL BE THE SAME AS THE INSIDE LENGTH OF THE SIDE IT IS LOCATED ON. THE BOTTOM ELEVATION OF EACH WEIR OPENING SHALL BE 15.32.

39. CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS BETWEEN EXISTING UTILITIES & PROPOSED UTILITIES.

40. CONTRACTOR SHALL ENSURE UTILITY SEPARATION NOTES ARE MET.

41. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH & OBTAINING NECESSARY RIGHT-OF-WAY PERMITS (STREET CUT, STREET/LANE CLOSURE, SIDEWALK CLOSURE, ETC.) FROM THE CITY OF WILMINGTON FOR WORK WITHIN THEIR RIGHTS-OF-WAY.

42. PROPOSED TRENCH DRAIN GRATE SHALL BE PROVIDED IN SIDEWALK HEADED TO UNIT AT NORTHWESTERN CORNER OF BUILDING #2. TRENCH DRAIN PIPE SHALL DAYLIGHT AT EACH END (EASTERN SIDE OF TRENCH DRAIN GRATE & INSIDE LANDSCAPE ISLAND #2).

43. PROPOSED WOODEN FENCE ADJACENT TO REAR OF LOT 2, NORTHERN SIDE OF LOT 3, & WESTERN SIDE OF LOT 3 SHALL BE A MAXIMUM OF 8 FEET IN HEIGHT MEASURED FROM NATURAL GROUND.

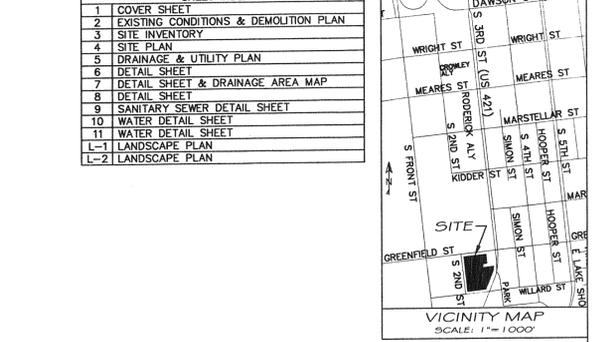
44. RELOCATE EXISTING FDC ON NORTH SIDE OF BUILDING #2 IF IT IS ACTUALLY WITHIN THE PROPOSED UNIT ENTRANCE. IF THE FDC HAS TO BE RELOCATED IT SHALL BE PLACED AS CLOSE AS POSSIBLE TO THE EXISTING LOCATION.

45. PROPOSED 8-FOOT TALL FENCE & WALL LOCATED NEAR 3RD STREET SHALL BE SET BACK A MINIMUM OF 10 FEET FROM THE 3RD STREET RIGHT-OF-WAY.

| WATER & SEWER CAPACITY | |
|--------------------------------------|--|
| EXISTING WATER CAPACITY: | 42 EMPLOYEES x 25 GPD/EMPLOYEE = 1,050 GPD |
| EXISTING SEWER CAPACITY: | 42 EMPLOYEES x 25 GPD/EMPLOYEE = 1,050 GPD |
| PROPOSED WATER CAPACITY: | 54 UNITS x 400 GPD/UNIT + 3,922 SF x 100 GPD / 1,000 SF = 21,992 GPD |
| PROPOSED SEWER CAPACITY: | 54 UNITS x 240 GPD/UNIT + 3,922 SF x 100 GPD / 1,000 SF = 13,352 GPD |
| ADDITIONAL WATER CAPACITY REQUESTED: | 20,942 GPD |
| ADDITIONAL SEWER CAPACITY REQUESTED: | 12,302 GPD |

GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.



LEGEND

- 12.94' x EXISTING SPOT ELEVATION
- o EXISTING IRON
- CONC. MONUMENT (CONTROL POINT)
- X SET "X" MARK IN CONCRETE
- o SET IRON
- o EXISTING BOLLARD
- o EXISTING DROP INLET
- o EXISTING WATER VALVE
- o EXISTING FIRE HYDRANT
- o EXISTING SANITARY SEWER MANHOLE
- o EXISTING STORM DRAIN MH
- o EXISTING WATER VALVE MH
- o EXISTING TELEPHONE MH
- o EXISTING WATER MONITOR
- o EXISTING SS CLEANOUT
- o EXISTING LIGHT POLE
- o EXISTING POWER POLE W/ GUY
- o EXISTING POWER POLE
- o EXISTING ELECTRICAL PANEL
- o EXISTING SIGN
- o EXISTING TELEPHONE PEDESTAL
- o EXISTING WATER METER
- o EXISTING FENCE
- o EXISTING WOODS LINE
- o EXISTING OVERHEAD ELECTRIC LINE
- o EXISTING UNDERGROUND GAS LINE
- o EXISTING WATER LINE
- o EXISTING SANITARY SEWER LINE
- o EXISTING STORM DRAIN PIPE
- o CENTER LINE
- o ADJACENT PROPERTY LINE
- o ROW
- o SUBJECT BOUNDARY LINE
- o EXISTING CONTOUR LINE
- o PROPOSED SIDEWALK/CONCRETE
- o PROPOSED PERVIOUS CONCRETE
- o PROPOSED FIRE HYDRANT
- o PROPOSED FENCE
- o PROPOSED LIMITS OF DISTURBANCE
- o PROPOSED FOUNDATION PLANTING AREA
- o PROPOSED ASPHALT SAW CUT LINE

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of WILMINGTON
 Public Services • Engineering Division
 APPROVED CONSTRUCTION PLAN
 Date: 9/11/16
 Signed: [Signature]
 Approved Construction Plan
 Name: [Name]
 Date: 9/11/16
 Planning: [Signature]
 Traffic: [Signature]
 File: [Signature]

| REV NO. | DESCRIPTION | DATE |
|---------|---|----------|
| 1 | REVISION TO ADD SHEETS TO SHEET INDEX. | 8-12-15 |
| 2 | REVISION PER CLIENT. | 8-24-15 |
| 3 | REVISION PER TRC COMMENTS. | 8-18-15 |
| 4 | REVISION TO ADJUST DUMPSITE PAD & RETAINING WALL. | 10-6-15 |
| 5 | REVISION PER TRC COMMENTS. | 10-6-15 |
| 6 | REVISION PER TRC COMMENTS. | 10-13-15 |
| 7 | REVISION TO ADD NOTES #32-37. | 10-28-15 |
| 8 | REVISION PER CLIENT. | 1-25-16 |
| 9 | REVISION PER CLIENT TO ADJUST SIDEWALK NORTH OF BUILDING #2 & IMPERVIOUS AREA CHART. | 8-29-16 |
| 10 | REVISION PER CLIENT TO REMOVE PROPOSED FENCE ALONG 3RD STREET & ADD PROPOSED WALL. | 7-28-16 |
| 11 | REVISION PER CITY TO ADJUST PROPOSED FENCE/WALL ALONG NEAR 3RD STREET & ADD NOTE #45. | 8-11-16 |

COVER SHEET
SOUTH FRONT II
 WILMINGTON TOWNSHIP
 NEW HANOVER COUNTY
 NORTH CAROLINA

MALPASS ENGINEERING & SURVEYING, P.C.
 1134 SHIPYARD BOULEVARD
 WILMINGTON, NORTH CAROLINA 28412
 PHONE: 910-392-6243
 FAX: 910-392-6243
 License No. C-2820

Owner: PEACHTREE VENTURES, LLC
 10 S. CAROLINA DRIVE
 WILMINGTON, NORTH CAROLINA 28403
 PHONE: 910-251-5030

REVISIONS

DATE: 8-11-15
 SCALE: 1" = 40'
 DRAWN: JCB
 CHECKED: [Signature]
 PRODUCTION NO.: 2611

SHEET NO. 1
 OF 11

SOUTH THIRD STREET
(99' R/W PUBLIC)

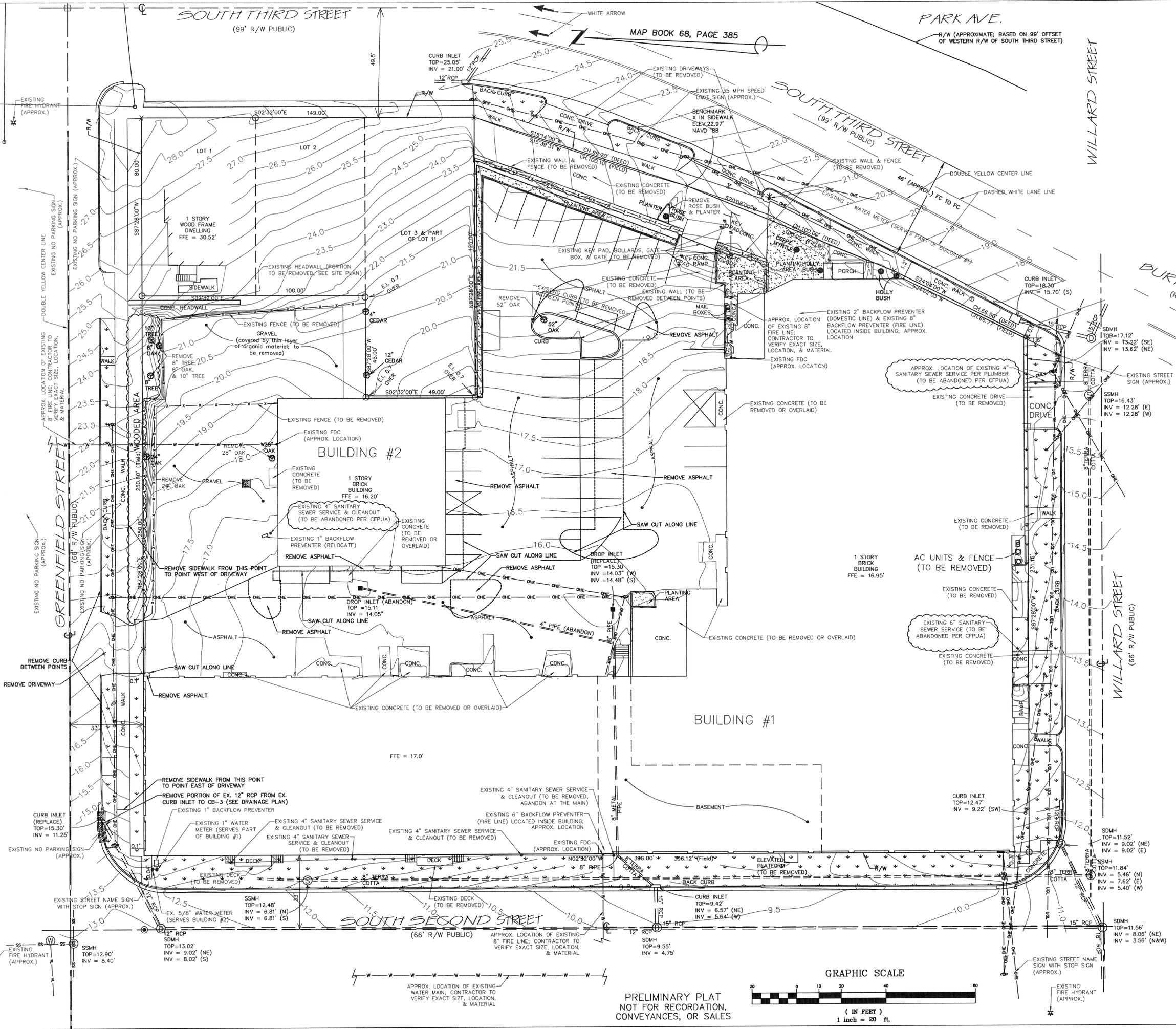
MAP BOOK 68, PAGE 385

PARK AVE.
R/W (APPROXIMATE; BASED ON 99' OFFSET
OF WESTERN R/W OF SOUTH THIRD STREET)

WILLARD STREET

BURNETT BLVD
(R/W VARIED)

WILLARD STREET
(66' R/W PUBLIC)



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 9/11/16 Permit: 20150402
Signed: *[Signature]*

Approved Construction Plan
Name: *[Name]* Date: 8/29/16
Planning: *[Signature]* 8-30-16
Traffic: *[Signature]*
Fire: *[Signature]* 8-30-16

| REV. NO. | REVISIONS | DATE |
|----------|---|---------|
| 1 | REVISED PER CLIENT. | 8-24-15 |
| 2 | REVISED PER TRC COMMENTS. | 9-18-15 |
| 3 | REVISED TO SHOW EXISTING SANITARY SEWER SERVICES BEING REMOVED/ABANDONED. | 10-6-15 |
| 4 | REVISED PER MOUDY TO LABEL R/W & WIDTH OF ROAD. | 12-7-15 |
| 5 | REVISED PER CLIENT. | 1-29-16 |
| 6 | REVISED PER CLIENT & CFP/UA TO ADJUST SEWER SERVICES. | 5-2-16 |
| 7 | REVISED PER CLIENT & CFP/UA TO ADJUST SEWER SERVICES. | 8-24-16 |

EXISTING CONDITIONS & DEMOLITION PLAN
SOUTH FRONT II
WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

DATE: 8-11-15
SCALE: 1"=20'
DRAWN: JCB
CHECKED: JEM
PROJECT NO: 261

MALPASS ENGINEERING & SURVEYING, P.C.
1134 SHIPYARD BOULEVARD
WILMINGTON, NORTH CAROLINA 28412
Phone: 910-392-5245 Fax: 910-392-5203 License No. C-2320

Owner: PEACHTREE VENTURES, LLC
10 S. CARDINAL DRIVE
WILMINGTON, NORTH CAROLINA 28403
PHONE: 910-251-5030

SHEET NO: 2
OF: 11

SOUTH THIRD STREET
(99' R/W PUBLIC)

MAP BOOK 68, PAGE 385

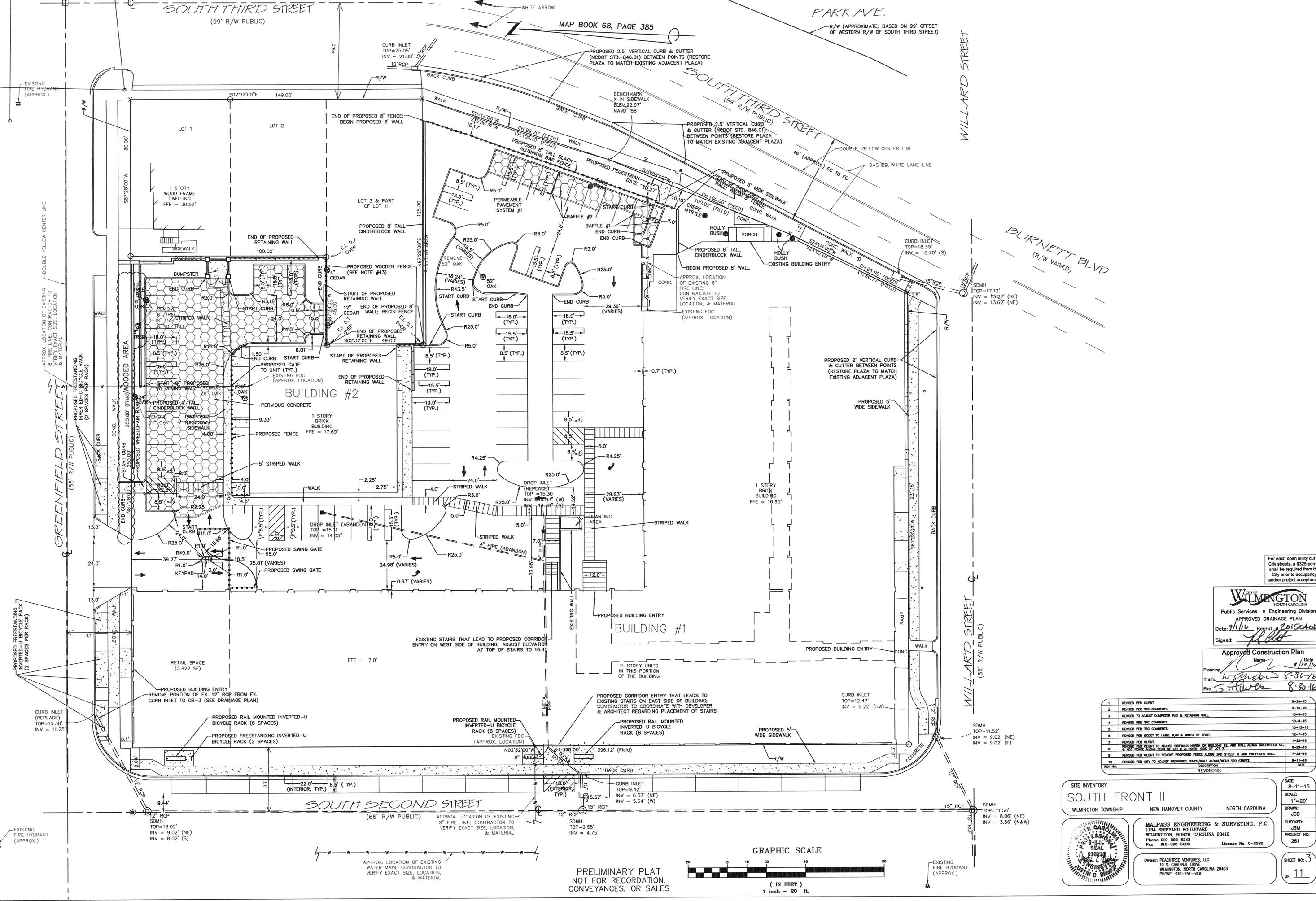
PARK AVE.
R/W (APPROXIMATE; BASED ON 99' OFFSET
OF WESTERN R/W OF SOUTH THIRD STREET)

WILLARD STREET
(99' R/W PUBLIC)

BURNETT BLVD
(R/W VARIED)

GREENFIELD STREET
(66' R/W PUBLIC)

WILLARD STREET
(66' R/W PUBLIC)



For each open utility cut of
City streets, a \$325 permit
shall be required from the
City prior to occupancy
and/or project acceptance.

City of WILMINGTON
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 9/1/16 Permit # 20150402
Signed: [Signature]

Approved Construction Plan
Name: [Name] Date: 8/30/16
Planning: [Signature] 8/30/16
Traffic: [Signature] 8/30/16
Fire: [Signature] 8/30/16

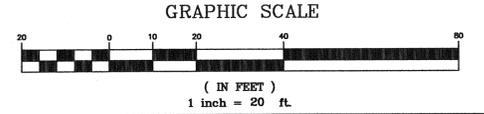
| REV NO. | REVISIONS | DATE |
|---------|--|----------|
| 1 | REVISED PER CLIENT. | 8-24-15 |
| 2 | REVISED TO ADJUST DUMPSTER PAD & RETAINING WALL. | 8-18-15 |
| 3 | REVISED PER THE COMMENTS. | 10-8-15 |
| 4 | REVISED PER THE COMMENTS. | 10-8-15 |
| 5 | REVISED PER THE COMMENTS. | 10-13-15 |
| 6 | REVISED PER NCDOT TO LABEL R/W & WIDTH OF ROAD. | 12-7-15 |
| 7 | REVISED PER CLIENT. | 1-25-16 |
| 8 | REVISED PER CLIENT TO ADJUST SIDEWALK NORTH OF BUILDING #2. ADD WALL ALONG GREENFIELD ST. & ADD FENCE ALONG REAR OF LOT 2 & NORTH SIDE OF LOT 1. | 6-29-16 |
| 9 | REVISED PER CLIENT TO REMOVE PROPOSED FENCE ALONG 3RD STREET & ADD PROPOSED WALL. | 7-28-16 |
| 10 | REVISED PER CITY TO ADJUST PROPOSED FENCE/WALL ALONG 3RD STREET. | 8-11-16 |

SITE INVENTORY
SOUTH FRONT II
WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

MALPASS ENGINEERING & SURVEYING, P.C.
1154 SHEPPARD BOULEVARD
WILMINGTON, NORTH CAROLINA 28412
Phone 910-382-5243
Fax 910-382-5203 License No. C-2920

Owner: PEACHTREE VENTURES, LLC
10 S. CAROLINA DRIVE
WILMINGTON, NORTH CAROLINA 28403
PHONE: 910-251-5030

CHECKED: JBM
PROJECT NO: 261
SHEET NO: 3
OF: 11



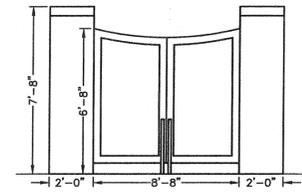
PRELIMINARY PLAT
NOT FOR RECORDATION,
CONVEYANCES, OR SALES

SOUTH THIRD STREET
(99' R/W PUBLIC)

MAP BOOK 68, PAGE 385

PARK AVE.
R/W (APPROXIMATE; BASED ON 99' OFFSET
OF WESTERN R/W OF SOUTH THIRD STREET)

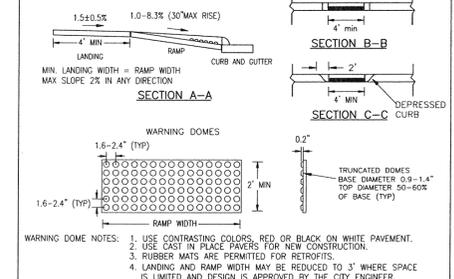
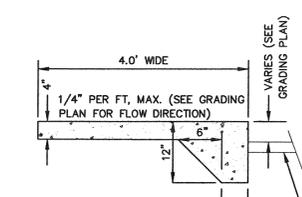
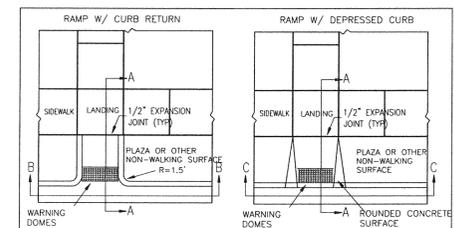
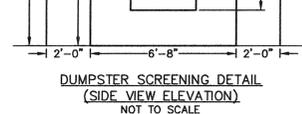
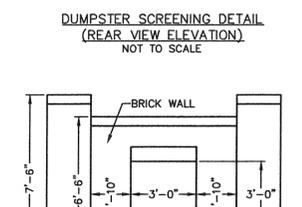
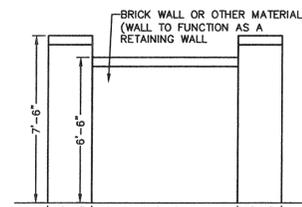
| INTERIOR LANDSCAPING ISLANDS | | | |
|------------------------------|-----------------|----------------------|--------------------|
| LANDSCAPE ISLAND | TOTAL AREA (SF) | IMPERVIOUS AREA (SF) | PERCENT IMPERVIOUS |
| LI-1 | 247.24 | 3 | 1.22 |
| LI-2 | 264.76 | 0 | 0 |
| LI-3 | 235.16 | 11.57 | 4.92 |
| LI-4 | 261.92 | 16.25 | 6.21 |
| LI-5 | 216.78 | 4 | 1.85 |
| LI-6 | 307.76 | 5 | 1.63 |
| LI-7 | 500.12 | 9 | 1.80 |
| LI-8 | 708.21 | 0 | 0 |
| LI-9 | 357.33 | 0 | 0 |
| LI-10 | 314.23 | 0 | 0 |
| LI-11 | 417.37 | 0 | 0 |



FOUNDATION PLANTING—NORTH SIDE OF BUILDING #2
REQUIRED AREA = (75.12' x 15.5') x 0.12 = 139.73 SF
PROVIDED AREA = 182.15 SF
*SEE LANDSCAPE PLAN FOR PROVIDED PLANTINGS

FOUNDATION PLANTING—WEST SIDE OF BUILDING #2
REQUIRED AREA = (75.11' x 16.6') x 0.12 = 149.62 SF
PROVIDED AREA = 169.01 SF
*SEE LANDSCAPE PLAN FOR PROVIDED PLANTINGS

FOUNDATION PLANTING—SOUTH SIDE OF BUILDING #2
REQUIRED AREA = (75.13' x 15.8') x 0.12 = 142.45 SF
PROVIDED AREA = 156.40 SF
*SEE LANDSCAPE PLAN FOR PROVIDED PLANTINGS



NOTE: SEE PAVEMENT CROSS SECTION DETAIL FOR STONE BASE LOCATION.
NOTE: SEE STANDARD SIDEWALK DETAIL (SD 8-15) FOR TYPICAL LOCATIONS OF SCORE LINES & EXPANSION JOINTS.
NOTE: LOCATED ADJACENT TO DRIVE AISLE NORTH OF BUILDING #2.

DATE: DECEMBER 2016
DRAWN: PFR
CHECKED: DMC
SCALE: NOT TO SCALE

WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 7/1/16 Permit # 2015240-02
Signed: [Signature]

Approved Construction Plan
Name: [Name] Date: 8/29/16
Planning: [Signature] 8-20-16
Traffic: [Signature]
Fire: [Signature] 8-30-16

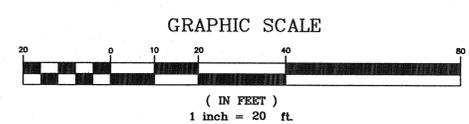
| REV. NO. | DESCRIPTION | DATE |
|----------|---|----------|
| 1 | REVISED PER CLIENT. | 8-24-15 |
| 2 | REVISED PER TRC COMMENTS. | 9-10-15 |
| 3 | REVISED PER TRC COMMENTS & TO ADJUST DUMPSTER PAD & RETAINING WALL. | 10-8-15 |
| 4 | REVISED PER TRC COMMENTS. | 10-8-15 |
| 5 | REVISED PER TRC COMMENTS. | 10-13-15 |
| 6 | REVISED PER NCOT TO LABEL R/W & WITH OF ROAD. | 12-7-15 |
| 7 | REVISED PER CLIENT. | 1-25-16 |
| 8 | REVISED TO SHOW PROPOSED COLUMNS NEAR BUILDING ENTRY, EX. STAIRS, & EX. WALL. | 3-14-16 |
| 9 | REVISED PER CLIENT TO ADJUST SIDEWALK NORTH OF BUILDING #2, ADD TURN-DOWN SIDEWALK DETAIL, AND FENCE ALONG REAR OF LOT 2 & NORTH SIDE OF LOT 3, & ADD TURNDOWN SIDEWALK DETAIL. | 6-29-16 |
| 10 | REVISED PER CLIENT TO REMOVE PROPOSED FENCE ALONG 3RD STREET & ADD PROPOSED WALL. | 7-28-16 |
| 11 | REVISED PER CITY TO ADJUST PROPOSED FENCE/WALL ALONG NEAR 3RD STREET. | 8-11-16 |

SITE PLAN
SOUTH FRONT II
WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

MALPASS ENGINEERING & SURVEYING, P.C.
1134 SHIPYARD BOULEVARD
WILMINGTON, NORTH CAROLINA 28412
Phone 910-392-5243 Fax 910-392-5203 License No. C-2320

Owner: PEACHTREE VENTURES, LLC
10 S. CARDINAL DRIVE
WILMINGTON, NORTH CAROLINA 28403
PHONE: 910-251-5530

DATE: 8-11-15
SCALE: 1"=20'
DRAWN: JCB
CHECKED: JBM
PROJECT NO: 261
SHEET NO: 4
OF: 11



PRELIMINARY PLAT
NOT FOR RECORDATION,
CONVEYANCES, OR SALES

SOUTH THIRD STREET
(99' R/W PUBLIC)

MAP BOOK 68, PAGE 385

PARK AVE.

R/W (APPROXIMATE, BASED ON 99' OFFSET
OF WESTERN R/W OF SOUTH THIRD STREET)

WILLARD STREET

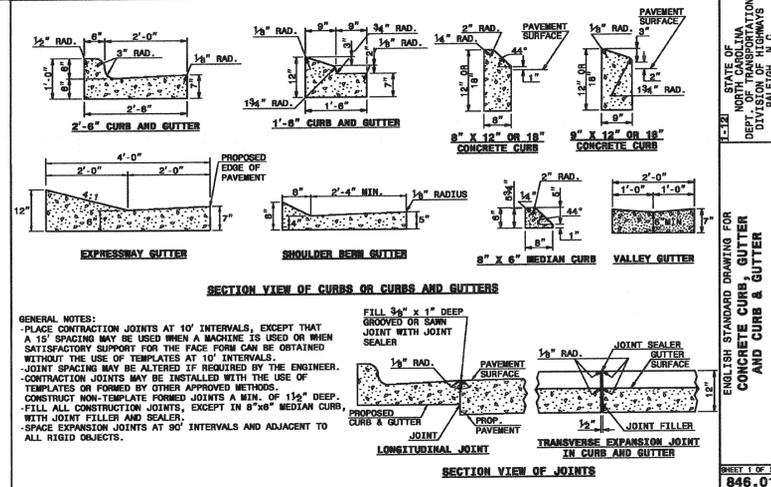
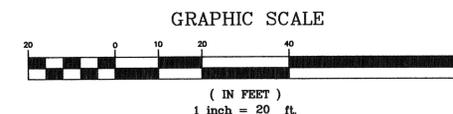
BURNETT BLVD
(R/W VARIED)

GREENFIELD STREET
(66' R/W PUBLIC)

WILLARD STREET
(66' R/W PUBLIC)

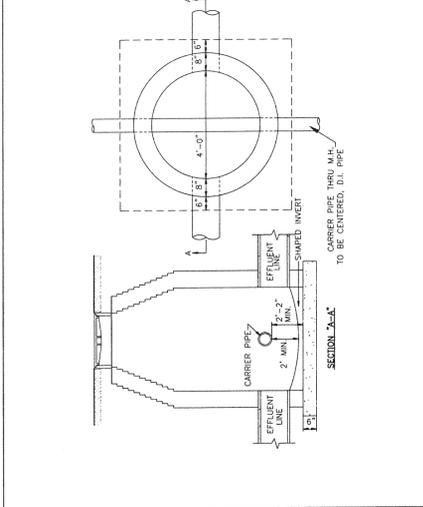
SOUTH SECOND STREET
(66' R/W PUBLIC)

PRELIMINARY PLAT
NOT FOR RECORDATION,
CONVEYANCES, OR SALES

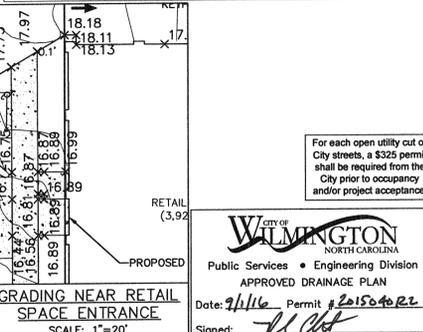


GENERAL NOTES:
- PLACE CONTRACTION JOINTS AT 10' INTERVALS, EXCEPT THAT A 15' SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10' INTERVALS.
- JOINT SPACING MAY BE ALTERED IF REQUIRED BY THE ENGINEER.
- CONTRACTION JOINTS MAY BE INSTALLED WITH THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS.
- FILL ALL CONSTRUCTION JOINTS, EXCEPT IN 8" MEDIAN CURB, WITH JOINT FILLER AND SEALER.
- SPACE EXPANSION JOINTS AT 90' INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.

ENGLISH STANDARD DRAWING FOR
CONCRETE CURB, GUTTER
AND CURB & GUTTER
SHEET 1 OF 3
846.01



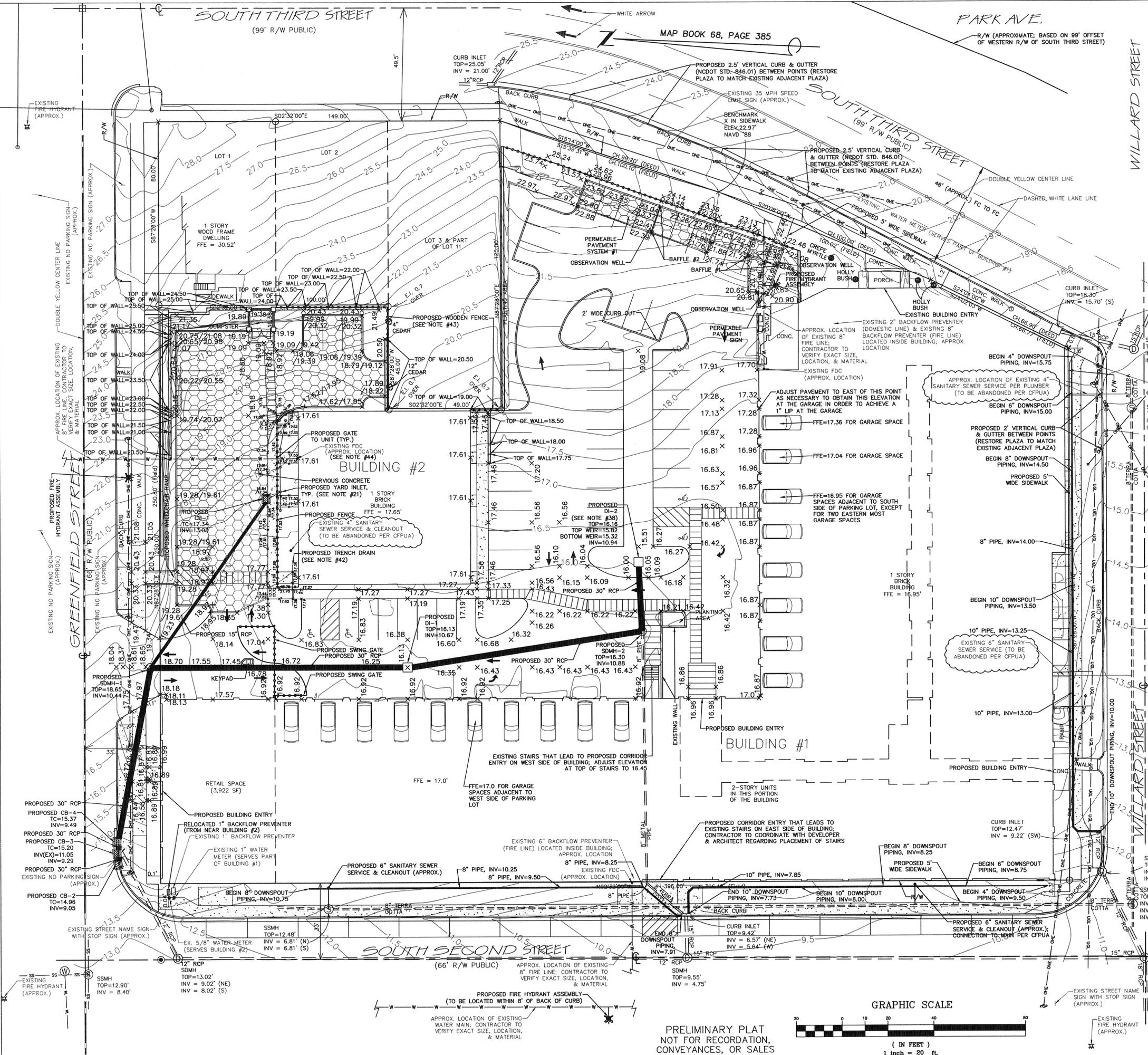
STANDARD DETAIL
INTERFERENCE
STORM DRAIN
MAN HOLE
DATE: NOVEMBER, 2008
DRAWN BY: JRS/OMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

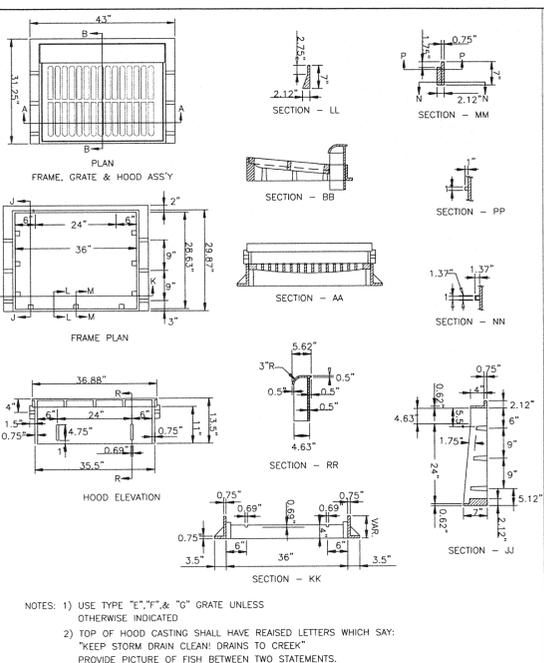


Approved Construction Plan
Name: [Signature]
Date: 8/29/16
Planning: [Signature]
Traffic: [Signature]
Fire: [Signature]

| REV. NO. | DESCRIPTION | DATE |
|----------|--|----------|
| 1 | REVISED FOR CLIENT | 8-24-15 |
| 2 | REVISED TO ADJUST SIZE & APPROX. LOCATION OF SEWER SERVICE ALONG WILLARD ST. | 8-28-15 |
| 3 | REVISED PER TRC COMMENTS | 9-18-15 |
| 4 | REVISED PER TRC COMMENTS TO ADJUST DUMPSITE PAD & RETAINING WALL, & TO ADD PROPOSED SEWER SERVICES | 10-16-15 |
| 5 | REVISED PER TRC COMMENTS | 10-19-15 |
| 6 | REVISED PER TRC COMMENTS | 10-13-15 |
| 7 | REVISED TO ADD DOWNSPOUT PIPING | 10-22-15 |
| 8 | REVISED FOR MOST TO ADD DETAIL, LABEL, R/W, & LABEL WIDTH OF ROAD | 12-1-15 |
| 9 | REVISED FOR CLIENT | 1-25-16 |
| 10 | REVISED FOR CLIENT & CPWA TO ADJUST SEWER SERVICES | 2-2-16 |
| 11 | REVISED FOR CLIENT TO REMOVE SEWER SERVICE FROM BUILDING #2, ADD WALL ALONG GREENFIELD ST. & ADD FENCE ALONG REAR OF LOT 2 & NORTH SIDE OF LOT 1 | 2-28-16 |
| 12 | REVISED FOR CLIENT TO REMOVE PROPOSED FENCE ALONG 3RD STREET & ADD PROPOSED WALL | 2-28-16 |
| 13 | REVISED FOR CITY TO ADJUST PROPOSED FENCE ALONG NEAR 3RD STREET | 8-11-16 |

DRAINAGE & UTILITY PLAN
SOUTH FRONT II
WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA
MALSASS ENGINEERING & SURVEYING, P.C.
1154 SHIPYARD BOULEVARD
WILMINGTON, NORTH CAROLINA 28412
Phone 910-388-8243
Fax 910-388-8203 License No. C-2380
Owner: PEACHTREE VENTURES, LLC
10 S. CARDINAL DRIVE
WILMINGTON, NORTH CAROLINA 28403
PHONE: 910-251-9330
SHEET NO. 5
OF 11



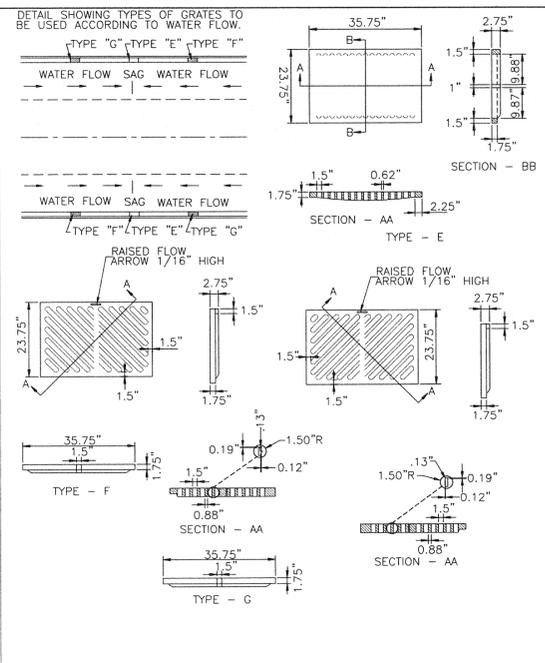


DATE: 2001
 DRAWN BY: JSR/CMR
 CHECKED BY: B.P., P.E.
 SCALE: NOT TO SCALE

CATCH BASIN CASTING FOR 30" HOOD AND GRATE

CITY OF WILMINGTON
 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807

SD 2-19

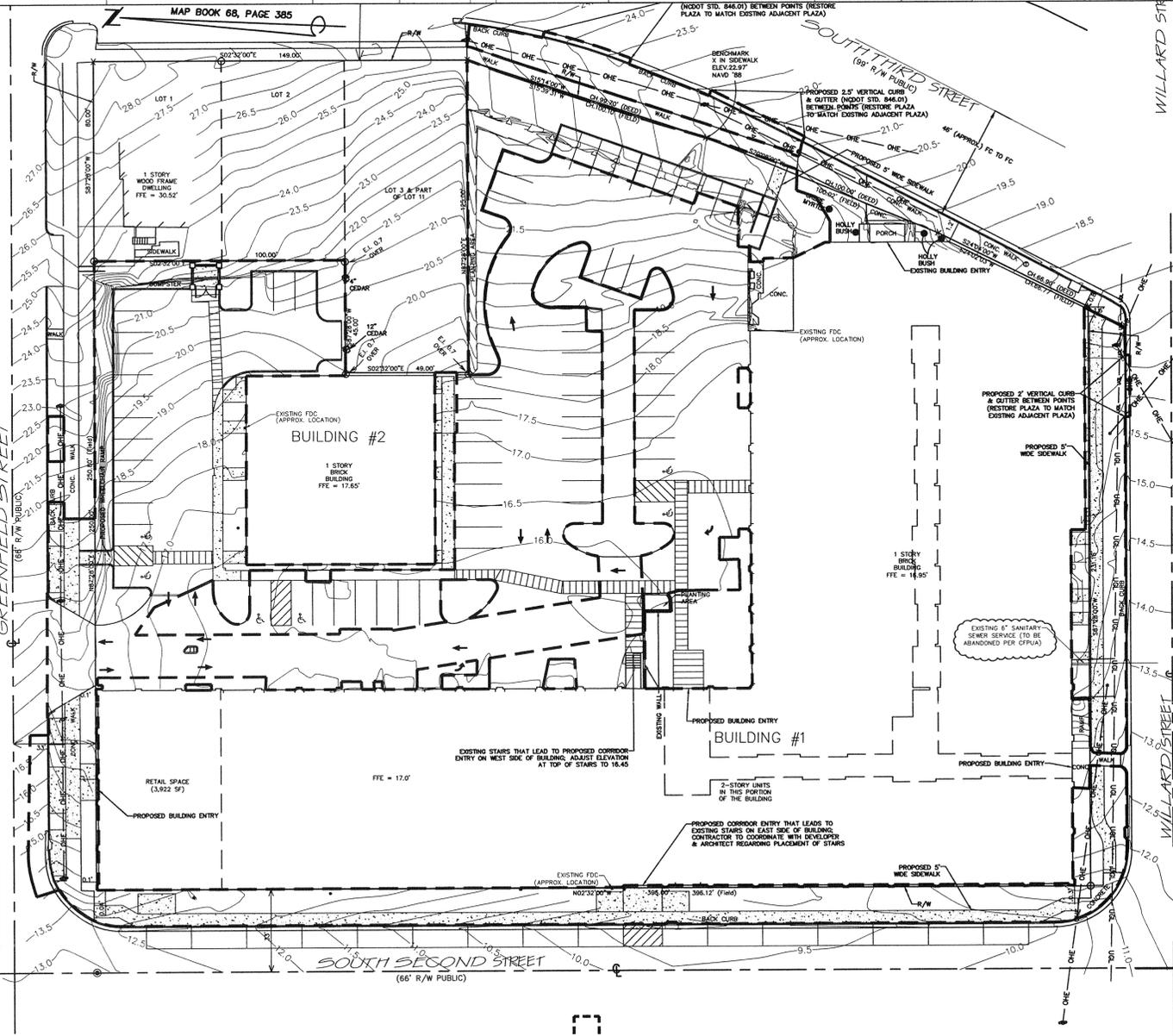


DATE: 2003
 DRAWN BY: JSR/CMR
 CHECKED BY: B.P., P.E.
 SCALE: NOT TO SCALE

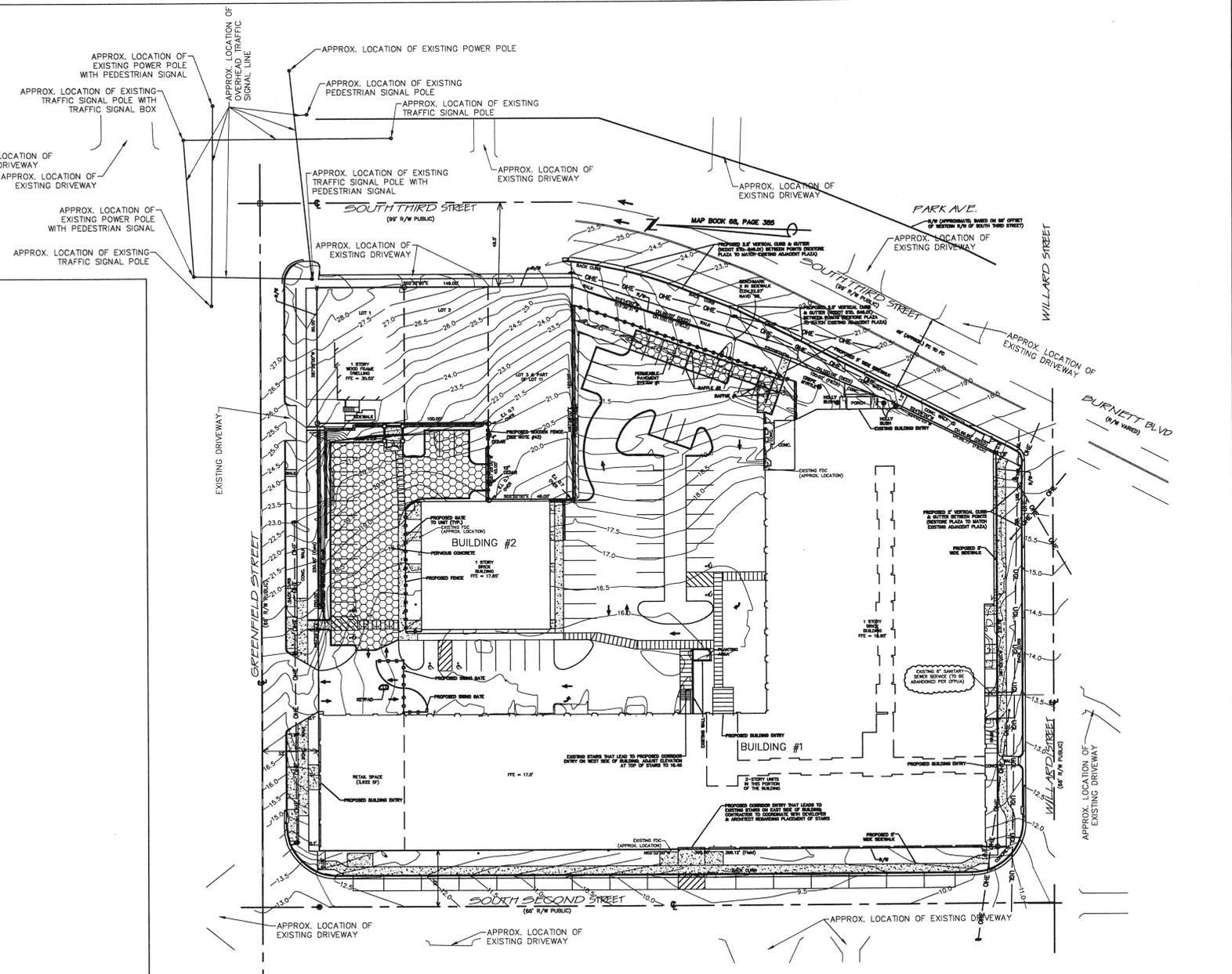
STANDARD DETAIL CATCH BASIN GRATE FOR 30" HOOD AND GRATE

CITY OF WILMINGTON
 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807

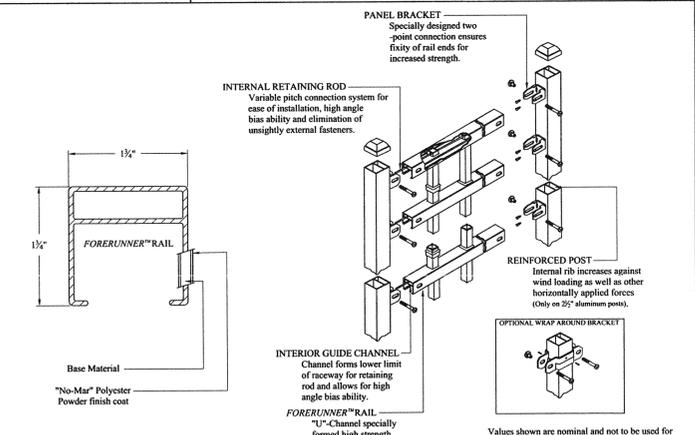
SD 2-20



LIMITS OF DISTURBANCE AREAS (SCALE: 1: = 30')



NOTE: DRIVEWAYS & TRAFFIC SIGNALS TRACED FROM NHC GIS 2010 AERIAL. DRIVEWAYS WITHIN 500' OF SITE ALONG 3RD STREET. SCALE: 1: = 40'

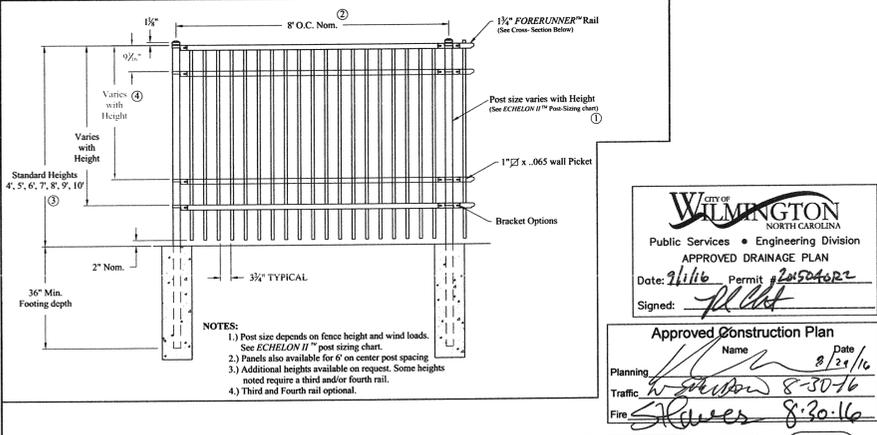


INDUSTRIAL STRENGTH ALUMINUM

ECHOLON II MAJESTIC 2 3/4" RAIL

DR: NJB SH: 1 of 1 SCALE: DO NOT SCALE
 CK: BS Date: 2-07-12 REV: e

AMERISTAR®
 1555 N. Mingo
 Tulsa, OK 74116
 1-888-333-3422
 www.ameristarfence.com



DETAIL SHEET SOUTH FRONT II

WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

Owner: PEACHTREE VENTURES, LLC
 10 S. CAROLINA DRIVE
 WILMINGTON, NORTH CAROLINA 28403
 PHONE: 910-251-3030

DATE: 9-18-15
 SCALE: N.T.S.
 DRAWN: JCB
 CHECKED: JBM
 PROJECT NO: 261

SHEET NO. 8 OF 11

| REV. NO. | DESCRIPTION | DATE |
|----------|--|----------|
| 1 | REVISED TO ADJUST DUMPSTER PAD & RETAINING WALL | 10-6-15 |
| 2 | REVISED PER TRC COMMENTS | 10-13-15 |
| 3 | REVISED PER MCDOT TO LABEL R/W & WIDTH OF ROAD | 12-7-15 |
| 4 | REVISED PER CLIENT | 1-29-16 |
| 5 | REVISED PER CLIENT TO ADJUST SIDEWALK NORTH OF BUILDING #2 | 6-29-16 |
| 6 | REVISED PER CLIENT TO ADD PROPOSED WALL & ADJUST LIMITS OF DISTURBANCE | 7-28-16 |
| 7 | REVISED PER CITY TO ADJUST PROPOSED FENCE/RAIL ALONG NEAR 3RD STREET | 8-11-16 |

SOUTH FRONT II

Land Design—South
Landscape Architecture
Planning
Asla Associate



Donna Clemmons
105 Coral Drive
Wrightsville Beach, N.C.
28480
910 550 8788

Owner:
Peachtree Ventures LLC
10 S. Cardinal Drive
Wilmington, N.C.
28403

SOUTH FRONT II
Landscape Plan

DATE REVISED:
11/3/2015
8/14/16
Drawn by; DDC

L-2

Plant Table

Broadleaf Deciduous

| Quantity | Symbol | Scientific Name | Common Name | Planting Size |
|----------|--------|-----------------------|--------------------------|---------------|
| 8 | | Quercus hemisphaerica | Laurel oak | 2" caliper |
| 10 | | Prunus yedoensis | Flowering Yoshino Cherry | 2" caliper |
| 7 | | Quercus virginiana | Southern live oak | 2" caliper |
| 8 | | Quercus phellos | Willow oak | 2" caliper |

Broadleaf Evergreen

| Quantity | Symbol | Scientific Name | Common Name | Planting Size |
|----------|--------|--------------------|------------------------|---------------|
| 25 | | Myrica cerifera | Southern wax-myrtle | 3 gal |
| 8 | | Prunus caroliniana | Carolina cherry laurel | 10 to 12' |

Palm

| Quantity | Symbol | Scientific Name | Common Name | Planting Size |
|----------|--------|-----------------|----------------|---------------|
| 50 | | Sabal minor | Dwarf palmetto | 3 gal |

| Quantity | Symbol | Scientific Name | Common Name | Planting Size |
|----------|--------|------------------------------|----------------------|---------------|
| 71 | | Liriope muscari 'Giant' | Giant blue lily turf | 1 gal |
| 51 | | Miscanthus sinensis 'Adagio' | Maiden grass | 3 gal |
| 44 | | Lomandra longifolia | Breeze grass | 3 gal |
| 475 | | Trachelospermum asiaticum | Asian jasmine | 4" pot |

LANDSCAPE NOTES:

Contractor shall locate all underground utilities and coordinate with all other trades on site prior to planting.

Create 2' to 1' bioswale in center parking island bed for sabal minors.

All plants shall conform to or exceed the standards for nursery stock as published by the American Association of Nurserymen.

The site shall be acceptable for landscaping when grade is established and areas provide positive drainage.

SITE DATA

Building site area = 2.43 acres

S.F. of Parking Area = 11,103

Shade calculation 20% of parking area re'qd=2,220.6

5 Live oaks x 707=3535

3 Cherry laurels x 707=2121

5 Cherry laurels x 353.50 =1767.50

1 Live oak x 353.50=353.50

Total shade calculation provided =7777

BIOSWALE landscape plantings are not to be mulched.

The BIOSWALE drains directly into a piping system.

PROPOSED 20X70 SITE TRIANGLE – TREE MAINTENANCE

The site proposed triangles at Second and Greenfield Streets must comply with a clear visual sight distance of 30" to 10' of the two trees in the Sight Distance Triangle.

IRRIGATION NOTES:

Coordinate with construction supervisor to put sleeving for irrigation under parking and sidewalk areas before concrete is poured.

All foundation plantings to be irrigated with drip irrigation on a common timer.

Backflow preventer shall conform to the City of Wilmington for common water supply.

All components of irrigation system shall conform to the manufacturers guidelines including: sedimentation filters, wire gauge, valves and backflow preventers.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 9/1/16 Permit # 2015040R2
Signed:

Approved Construction Plan

| | Name | Date |
|----------|-------------|---------|
| Planning | | 8/29/16 |
| Traffic | W. Friedman | 8-30-16 |
| Fire | S. Haver | 8-30-16 |