

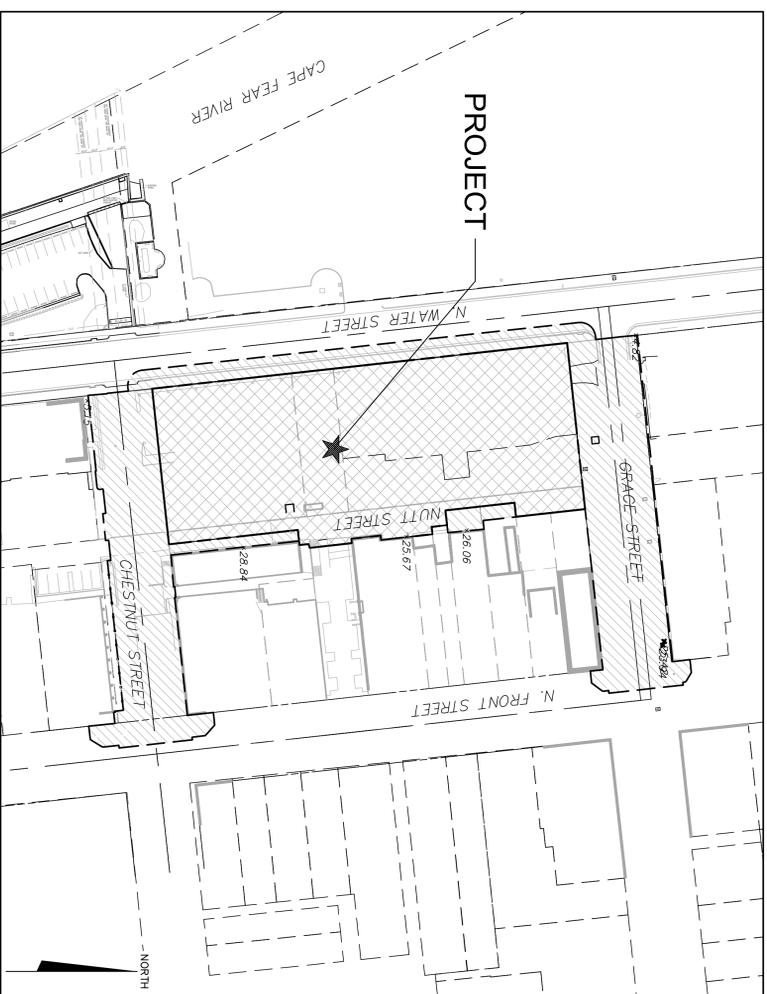
WATER STREET VENTURES, LLC & CITY OF WILMINGTON  
NEW HANOVER COUNTY, NORTH CAROLINA

# RIVERPLACE

## (Water Street Parking Deck Redevelopment)

CITY OF WILMINGTON TRC SET - JUNE 29, 2016  
TRC RESUBMITTAL SET - SEPTEMBER 12, 2016  
NOT FOR CONSTRUCTION

VICINITY MAP:



DEVELOPMENT TEAM:

OWNER/DEVELOPER:

WATER STREET VENTURES, LLC  
1450 ENVIRON WAY, CHAPEL HILL, NC 27517  
(919) 200.3572

CITY OF WILMINGTON, NC  
P.O. BOX 1810  
WILMINGTON, NC 28402

OWNER'S DESIGNATED REPRESENTATIVES:

LEE PERRY, DEVELOPMENT DIRECTOR  
EAST WEST PARTNERS MANAGEMENT COMPANY, INC.  
1450 ENVIRON WAY, CHAPEL HILL, NC 27517  
lperry@ewp-nc.com (919) 929.0660

LUCIEN ELLISON, PROJECT MANAGER  
lellison@ewp-nc.com (910) 200.3572

ENGINEER/LAND PLANNER:

MCKIM & CREED, INC.  
RICHARD COLLIER, PE  
TARA S. MURPHY, RLA, ASLA, LEED AP, PMP  
243 N. FRONT STREET, WILMINGTON, NC 28401  
rcollier@mckimcreed.com (910) 343.1048  
tschwenzfeier@mckimcreed.com (910) 343.1048

ARCHITECT:

DISHNER MOORE ARCHITECTS  
CRAIG DISHNER, AIA  
380-H KNOLLWOOD ST., SUITE 174  
WINSTON-SALEM, NC 27103  
craig@dishnermoore.com (339) 723.6360

STRUCTURAL ENGINEER:

KIMLEY-HORN AND ASSOCIATES, INC.  
JOSH HAMBY, PE  
P.O. BOX 33068 RALEIGH NC, 27636  
josh.hamby@kimley-horn.com (919) 667.2119

MECHANICAL, ELECTRICAL & PLUMBING ENGINEER  
ENGINEERED DESIGNS, INC.

GLENN KEY, PE, LEED AP  
1151 SE CARY PARKWAY, SUITE 200  
CARY, NC 27518  
gkey@engineereddesigns.com

GENERAL CONTRACTOR:  
BARNHILL CONTRACTING

JUSTIN WHITLEY  
P.O. BOX 31765 RALEIGH, NC 27622  
jwhitley@barnhillcontracting.com (919) 785.9167

PROPERTY INFORMATION:

ADDRESS: 200 N WATER STREET  
WILMINGTON, NC 28412

TAX PARCELS: R04720-007-026-000 & (A PORTION OF) R04720-007-025-000

ZONING: CBD - CENTRAL BUSINESS DISTRICT



243 North Front Street  
Wilmington, North Carolina 28401  
Phone: (910)343-1048 , Fax: (910)251-8282  
NC LICENSE NO. F-1222  
www.mckimcreed.com

SHEET INDEX:

Sheet Title	Description	Scale
COVER	COVER	NIS
CG001	GENERAL NOTES	NIS
CG100	EXISTING PARCELS	1"=10'
CG101	SITE INVENTORY & TREE INVENTORY	1"=30'
CG102	ADJACENT PROPERTY OWNERS	NIS
CG103	LOWER LEVEL EXISTING CONDITIONS (NW)	1"=20'
CG104	LOWER LEVEL EXISTING CONDITIONS (SW)	1"=10'
CG105	LOWER LEVEL EXISTING CONDITIONS (NE & SE)	1"=10'
CG106	BRUSH PARK EXISTING CONDITIONS	1"=10'
CG107	UPPER LEVEL EXISTING CONDITIONS (NW)	1"=10'
CG108	UPPER LEVEL EXISTING CONDITIONS (SW)	1"=10'
CG109	UPPER LEVEL EXISTING CONDITIONS (NE & SE)	1"=20'
CG110	OVERALL SHEET LEGEND	1"=10'
CG101	ENLARGED LOWER LEVEL DEMOLITION PLAN (NW)	1"=10'
CG102	ENLARGED LOWER LEVEL DEMOLITION PLAN (SW)	1"=10'
CG103	ENLARGED LOWER LEVEL DEMOLITION PLAN (NE & SE)	1"=10'
CG104	ENLARGED LOWER LEVEL DEMOLITION PLAN (BLVD)	1"=10'
CG105	ENLARGED UPPER LEVEL DEMOLITION PLAN (NW)	1"=10'
CG106	ENLARGED UPPER LEVEL DEMOLITION PLAN (SW)	NIS
CG107	ENLARGED UPPER LEVEL DEMOLITION PLAN (NE & SE)	1"=10'
CG108	EROSION CONTROL DETAILS	NIS
CG109	OVERBALL SITE PLAN (NW)	1"=20'
CG110	ENLARGED SITE PLAN (NW)	1"=10'
CG101	ENLARGED SITE PLAN (SW)	1"=10'
CG102	ENLARGED SITE PLAN (NE & SE)	1"=10'
CG103	ENLARGED SITE PLAN (BLVD)	1"=10'
CG104	SITE DETAILS	1"=10'
CG105	SITE DETAILS	1"=10'
CG106	SITE DETAILS	1"=10'
CG107	SITE DETAILS	1"=10'
CG108	OVERBALL GRADING PLAN	1"=20'
CG101	ENLARGED GRADING PLAN (NW)	1"=10'
CG102	ENLARGED GRADING PLAN (SW)	1"=10'
CG103	ENLARGED GRADING PLAN (NE & SE)	1"=10'
CG101	ENLARGED UTILITY PLAN (NW)	1"=10'
CG102	ENLARGED UTILITY PLAN (SW)	1"=10'
CG103	ENLARGED UTILITY PLAN (NE & SE)	1"=10'
CG104	ENLARGED DRY UTILITY PLAN (NW)	1"=10'
CG105	ENLARGED DRY UTILITY PLAN (SW)	1"=10'
CG106	ENLARGED DRY UTILITY PLAN (NE & SE)	1"=10'
CG107	WATER STREET UTILITY PLAN	NIS
CG108	CERVA UTILITY DETAILS	NIS
CG109	CERVA UTILITY DETAILS	NIS
CG110	CERVA UTILITY DETAILS	NIS
CG101	CERVA UTILITY DETAILS	NIS
CG102	CERVA UTILITY DETAILS	NIS
CG103	CERVA UTILITY DETAILS	NIS
CG104	CERVA UTILITY DETAILS	NIS
CG105	CERVA UTILITY DETAILS	NIS
CG106	CERVA UTILITY DETAILS	NIS
CG107	DUOT BANK DETAILS	1"=10'
CG108	DUOT BANK DETAILS	1"=10'
CG109	DUOT BANK DETAILS	1"=10'
CG110	DUOT BANK DETAILS	1"=10'

ARCHITECTURE SHEETS

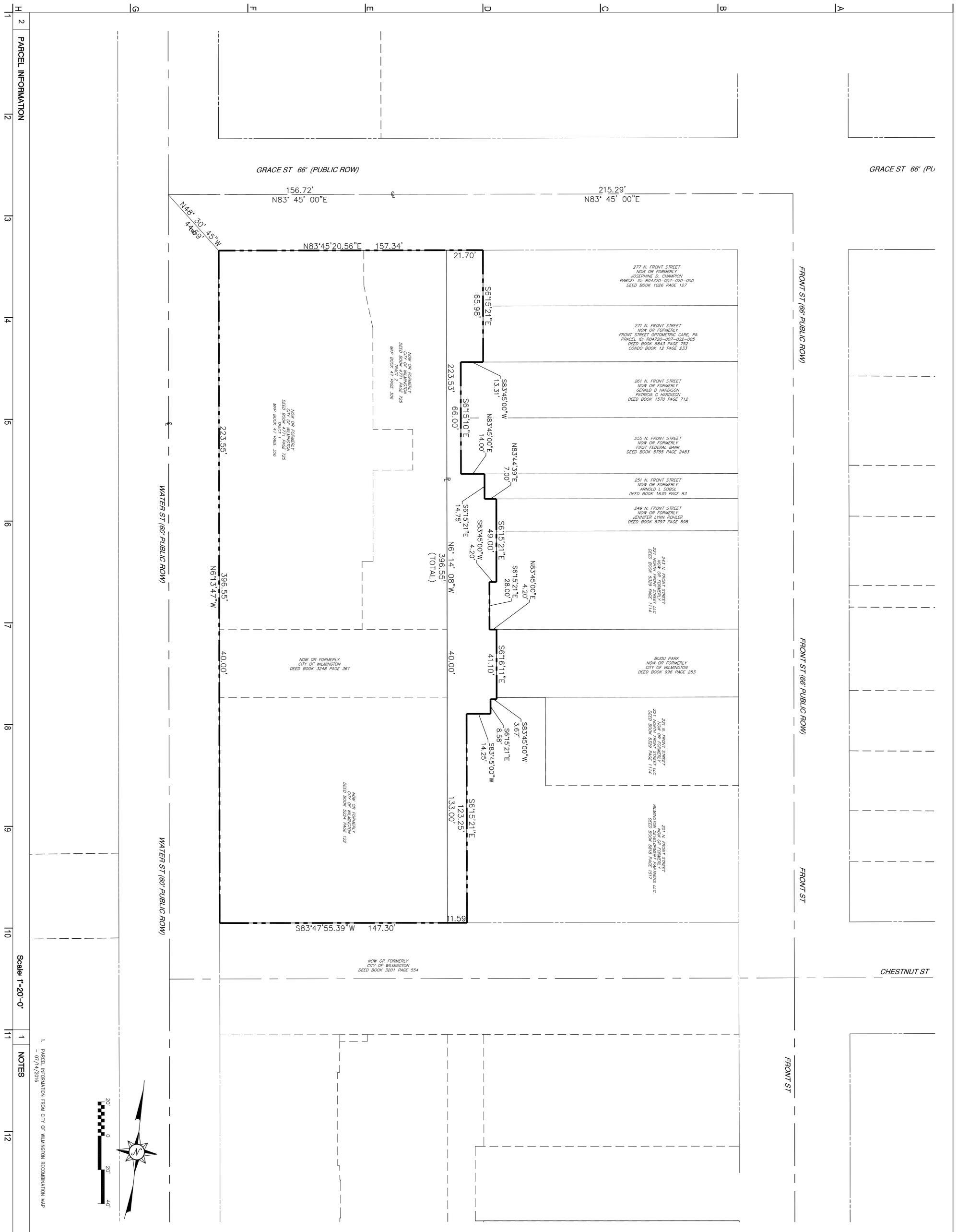
Sheet Title	Sheet Title
AS.016	TRC BUILDING ELEVATIONS (REPLACE PREVIOUS AS.0)
AS.017	TRC BUILDING ELEVATIONS (REPLACE PREVIOUS AS.0)
AS.021	NORTH TOWER 1ST FLOOR PLAN
AS.022	SOUTH TOWER 1ST FLOOR PLAN
AS.023	SOUTH TOWER 1ST FLOOR PLAN
AS.024	SECTION THROUGH BRDU PARK
AS.025	NORTH TOWER BUILDING ELEVATIONS
AS.026	NORTH TOWER BUILDING ELEVATIONS
AS.027	NORTH TOWER BUILDING ELEVATIONS
AS.028	NORTH TOWER BUILDING ELEVATIONS
AS.029	NORTH TOWER BUILDING ELEVATIONS
AS.030	NORTH TOWER BUILDING SECTION
AS.031	NORTH TOWER BUILDING SECTION
AS.032	SOUTH TOWER BUILDING SECTION
AS.033	SOUTH TOWER BUILDING SECTION
AS.034	SOUTH TOWER BUILDING SECTION

CITY OF WILMINGTON APPROVAL STAMPS:

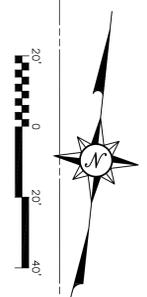
STORMWATER MANAGEMENT PLAN <b>APPROVED</b> CITY OF WILMINGTON ENGINEERING DEPARTMENT DATE _____ PERMIT # _____ SIGNED _____	Approved Construction Plan Name _____ Date _____ Planning _____ Traffic _____ Fire _____
--	--

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.





H 2 PARCEL INFORMATION  
 1 2 3 4 5 6 7 8 9 10 11 12  
 Scale: 1"=20'-0"  
 1 NOTES  
 1. PARCEL INFORMATION FROM CITY OF WILMINGTON RECOMBINATION MAP - 07/17/2016



EXISTING PARCELS

CX-100

date: 08-25-2016  
 job no. MCE 0205-0001  
 © 2016 DMA Architecture PLLC

**RIVERPLACE**  
 (Water Street Parking Deck Redevelopment)  
 200 North Water Street, City of Wilmington  
 Wilmington Township  
 New Hanover County, NC 28412

REVISIONS:  
 A. CIV. TRC. SUBMITTAL 06-29-16  
 B. FIC. DRY-UTILITY PLANS 08-25-16  
 C. NCCO/SWM PERMIT 08-25-16  
 TRC. RESUBMITTAL 09-12-16



3804 Knollwood Street, Suite 174  
 Wilmington, NC 27103  
 Phone: 336-723-6860  
 dsherman@dma.com





H 2 ADJACENT PROPERTY OWNER INFORMATION

1 2 3 4 5 6 7 8 9 10 11

12 13 14 15 16 17 18 19 20 21

22 23 24 25 26 27 28 29 30 31

32 33 34 35 36 37 38 39 40 41

42 43 44 45 46 47 48 49 50 51

52 53 54 55 56 57 58 59 60 61

62 63 64 65 66 67 68 69 70 71

72 73 74 75 76 77 78 79 80 81

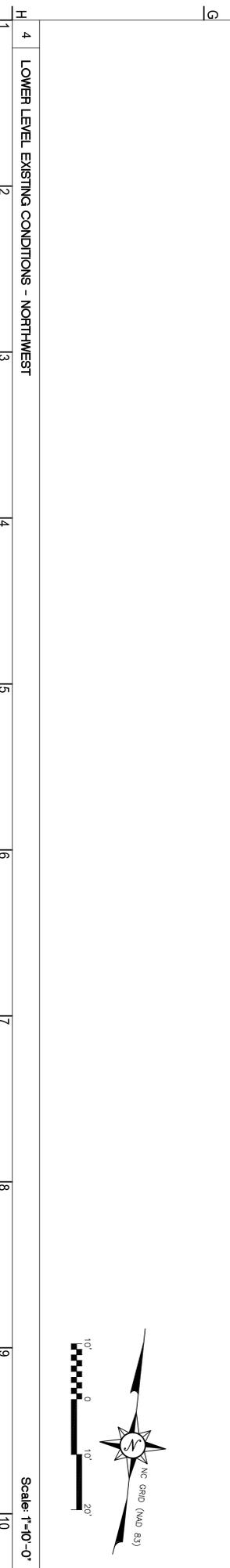
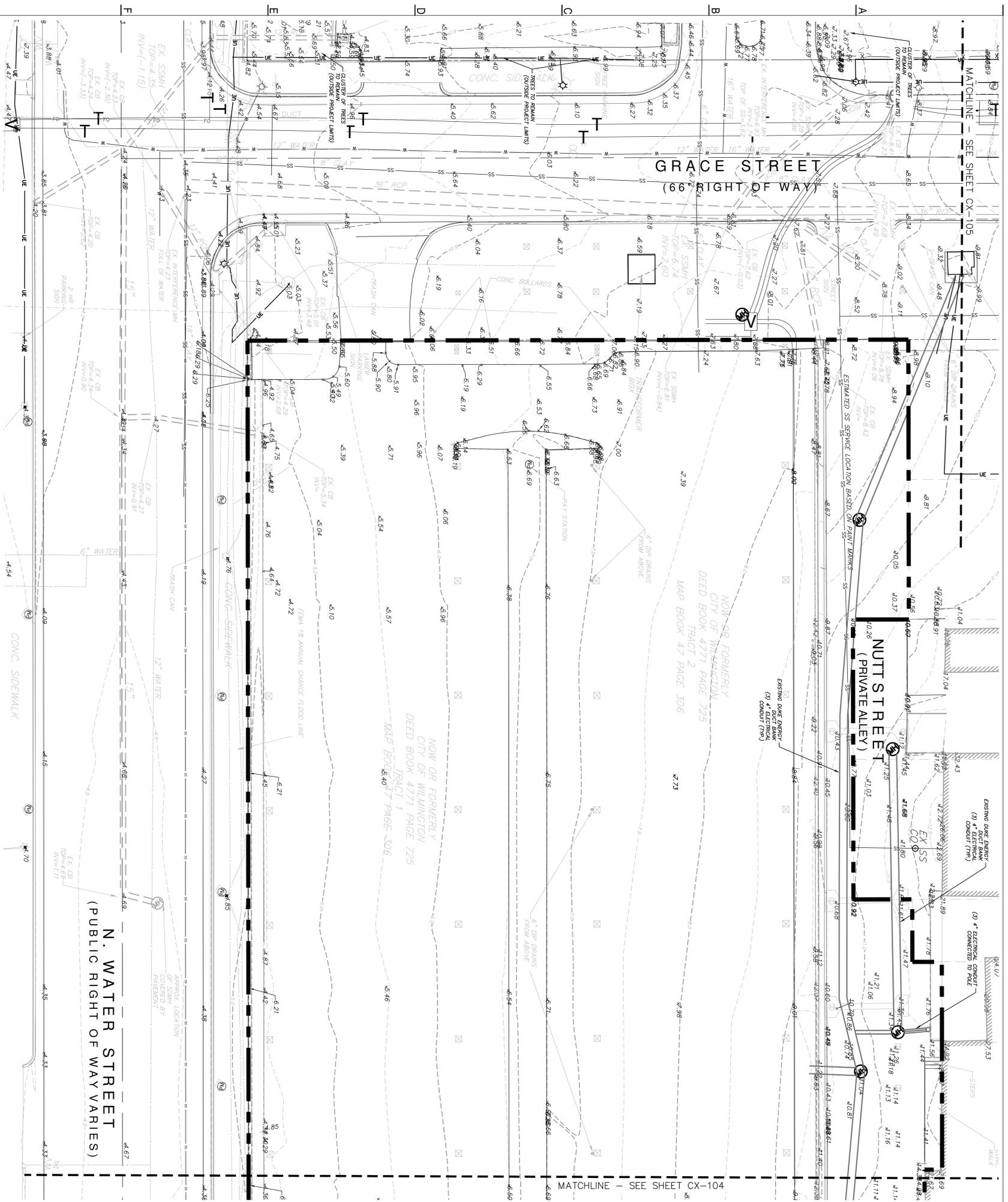
82 83 84 85 86 87 88 89 90 91

92 93 94 95 96 97 98 99 100 101

102 103 104 105 106 107 108 109 110 111

Property Owner Name (Owner Card)	Property Owner Name (Interpreted)	Mailing Address	Parcel ID #	Address	Class
1 USR COAST GLAND	USR COAST GLAND	0 FEDERAL BLDG *** WILMINGTON, NC 28401	R04720-001-003-000	201 WATER ST N	GOV
2 CAPTOL HOTEL ASSOC LTD PRNRP	CAPTOL HOTEL ASSOC LTD PRNRP	410 FRANCES ST W WILLABURG, VA 23185	R04720-001-004-000	106 WATER ST N	COM
3 WILMINGTON CITY OF	CITY OF WILMINGTON	PO BOX 1810 WILMINGTON, NC 28401	R04720-001-004-001	201 WATER ST N	GOV
4 BULLOCK LLC	BULLOCK LLC	321 FRONT ST WILMINGTON, NC 28401	R04720-002-001-000	301 FRONT ST N	COM
5 BULLOCK LLC	BULLOCK LLC	321 FRONT ST WILMINGTON, NC 28402	R04720-003-002-000	301 FRONT ST N	COM
6 BULLOCK LLC	BULLOCK LLC	302 FRONT ST WILMINGTON, NC 28402	R04720-003-005-000	155 N FRONT ST	COM
7 MORFO LLC	MORFO LLC	6510 CHAPEL HILL RD SUITE 200 BAILEGH, NC 27167	R04720-007-010-000	155 N FRONT ST	COM
8 WILMINGTON DEVELOPMENT PARTNERS LLC	WILMINGTON DEVELOPMENT PARTNERS LLC	4717 MARLE AVE SUITE 200 BAILEGH, NC 27167	R04720-007-010-000	209 FRONT ST N	GOV
9 WILMINGTON CITY OF	CITY OF WILMINGTON	PO BOX 1810 WILMINGTON, NC 28402	R04720-007-013-000	209 FRONT ST N	COM
10 FRONT STREET DEV CORP	FRONT STREET DEV CORP	FRONT STREET WILMINGTON, NC 28401	R04720-007-013-000	265 FRONT ST N	COM
11 ROBERT JENNIFER LYNN	JENNIFER LYNN ROHLER	1210 CHURCH DR S WILMINGTON, NC 28401	R04720-007-015-000	251 FRONT ST N	COM
12 SOBOL ARNOUD	ARNOLD SOBOL	2020 CHURCH DR S WILMINGTON, NC 28403	R04720-007-016-000	273 FRONT ST N	COM
13 NORTH FRONT LLC	NORTH FRONT LLC	720 3RD ST N SUITE 300 WILMINGTON, NC 28401	R04720-007-019-000	265 FRONT ST N	COM
14 HARDISON GERALD D PATRICIA G	GERALD D & PATRICIA G HARDISON	106 PARMELE BLVD W WRIGHTSVILLE B, NC 28480	R04720-007-019-000	277 FRONT ST N	COM
15 FRONT STREET OPTOMETRIC PA	FRONT STREET OPTOMETRIC PA	3101 DURHAMITE RD APT 300 WILMINGTON, NC 28401	R04720-007-019-000	277 FRONT ST N	COM
16 CHAMPION JOSEPHINE D	JOSEPHINE D CHAMPION	106 PARMELE BLVD W WRIGHTSVILLE B, NC 28480	R04720-007-020-000	277 FRONT ST N	COM
17 WATER STREET CENTER COA INC	WATER STREET CENTER COA INC	1801 COLLEGE RD WILMINGTON, NC 28403	R04720-007-023-000	106 WATER ST N	HOA
18 SCC HOLDINGS LLC	SCC HOLDINGS LLC	702 GLEWOOD AVE RALEIGH, NC 27605	R04720-007-023-000	106 WATER ST N	COM
19 BOOTH FAMILY HOLDINGS LLC ETAL	BOOTH FAMILY HOLDINGS LLC ETAL	848 SEAWAY ESTATES DR WRIGHTSVILLE B, NC 28480	R04720-007-023-002	106 WATER ST N	COM
20 POTTER JACQUE W LOUIS J	JACQUE W & LOUIS J POTTER	1801 COLLEGE RD S WILMINGTON, NC 28403	R04720-007-023-005	106 WATER ST N	COM
21 WATER STREET CENTER ASSN INC	WATER STREET CENTER ASSN INC	1801 COLLEGE RD S WILMINGTON, NC 28403	R04720-007-023-005	106 WATER ST N	COM
22 SWINSON ASHLEY ETAL	ASHLEY SWINSON ETAL	123 RANGETER RD CASTLE HAVNE, NC 28429	R04720-007-023-006	106 WATER ST N	COM
23 WOLAND HAAMA W LYNDA DIANE	HAAMA W & LYNDA DIANE WOLAND	106 WATER TER N SUITE 106 WILMINGTON, NC 28401	R04720-007-023-006	106 WATER ST N	COM
24 HOOKS BETTY SHEAFIN	SHEAFIN HOOKS	PO BOX 7712 WILMINGTON, NC 28406	R04720-007-023-007	106 WATER ST N	COM
25 S&S MANAGEMENT INC	S&S MANAGEMENT INC	PO BOX 12090 WILMINGTON, NC 28405	R04720-007-023-008	106 WATER ST N	COM
26 BEAN CHAD S	CHAD S BEAN	1706 OAKLEY RD CASTLE HAVNE, NC 28429	R04720-007-023-009	106 WATER ST N	COM
27 KFR REAL ESTATE HOLDING CO LLC	KFR REAL ESTATE HOLDING CO LLC	PO BOX 1588 WILMINGTON, NC 28402	R04720-007-023-010	106 WATER ST N	COM
28 RIVER BANK PARTNERS LLC	RIVER BANK PARTNERS LLC	106 WATER ST N 112 WILMINGTON, NC 28401	R04720-007-023-011	106 WATER ST N	COM
29 RIVER BANK PARTNERS LLC	RIVER BANK PARTNERS LLC	106 WATER ST N 112 WILMINGTON, NC 28401	R04720-007-023-012	106 WATER ST N	COM
30 STEWART ROBERT G JOYCE W	ROBERT G & JOYCE W STEWART	8417 SWAKEN PL FLOUAY VARINA, NC 27526	R04720-007-023-013	106 WATER ST N	RES
31 CHAPELL STEVEN A	STEPHEN A CHAPELL	106 WATER ST N 202 WILMINGTON, NC 28401	R04720-007-023-014	106 WATER ST N	RES
32 JOHNSON HORACE JR FRANKIE J	HORACE & FRANKIE JOHNSON	1536 KELLY DR APEX, NC 27502	R04720-007-023-016	106 WATER ST N	RES
33 JOHNSON HORACE JR FRANKIE J	KENNETH D & SUSAN E GITT	193 OLD GREENHILL RD MOUNT AIRY, NC 27030	R04720-007-023-018	106 WATER ST N	RES
34 GITT KENNETH D SUSAN E	KENNETH D & SUSAN E GITT	13016 EASTFORD RD SUITE 121 HUNTERSVILLE, NC 28078	R04720-007-023-019	106 WATER ST N	RES
35 GITT KENNETH D SUSAN E	SCOTT M KING	105 FROEY LN CARY, NC 27511	R04720-007-023-020	106 WATER ST N	RES
36 KING SCOTT M	GEORGE A MORGAN LUTTRIST	1101 LAKE PARK BLVD S UNIT C-1 CAROLINA BEACH, NC 28411	R04720-007-023-021	106 WATER ST N	RES
37 BRENN N EUTON RENEVY	RENEVY N EUTON	7282 DARBO RD WILMINGTON, NC 28411	R04720-007-023-022	106 WATER ST N	RES
38 MORGAN GEORGE A	ADRIE & EDWARD JANICKHS	1014 CORBORGS LN ELAND, NC 28451	R04720-007-023-022	106 WATER ST N	RES
39 JANICKI ADELE EDWARD HRS	KELLY BRER	1014 CORBORGS LN ELAND, NC 28451	R04720-007-023-023	106 WATER ST N	RES
40 EBR YKELI	MICHELLE L ANGELA S BAZEMORE	2113 ROLLING ROCK RD RAKE FOREST, NC 27897	R04720-007-023-024	106 WATER ST N	RES
41 BAZEMORE MICHAEL L ANGELA S	MICHELLE L & ANGELA S BAZEMORE	1222 CLEARVIEW LN KORE BEACH, NC 28442	R04720-007-023-025	106 WATER ST N	RES
42 BRND RICHARD PATRICK H	BRND RICHARD PATRICK H BRND	106 WATER ST N 202 WILMINGTON, NC 28401	R04720-007-023-025	106 WATER ST N	RES
43 BRND RICHARD PATRICK H	PATRICIA B OSWALL	7212 ORCHARD WALK WILMINGTON, NC 28409	R04720-007-023-027	106 WATER ST N	RES
44 OSWALL PATRICIA B	PRODUCTIONS LLC	20 CHEROKEE CLUB DR GULFVN, NC 28354	R04720-007-023-028	106 WATER ST N	RES
45 PRODUCTIONS LLC	KEVIN B & FRANK C MOTTINGER	1959 RIVERBEND DR BURGAW, NC 28425	R04720-007-023-028	106 WATER ST N	RES
46 MOTTINGER KEVIN B FRANK C	WALTER LOUIS JOHNSON	195 RINE LN WHITEHALL, NC 28472	R04720-007-023-030	106 WATER ST N	RES
47 NORTH CAROLINA PROPERTIES LLC	GILBERT C MANAKSA	PO BOX 809 SMITHFIELD, NC 27577	R04720-007-023-032	106 WATER ST N	RES
48 JOHNSON WALTER LOUIS	ROBERT C ELVINE KUBA	207 EYENS DR CAROLINA BEACH, NC 28428	R04720-007-023-033	106 WATER ST N	RES
49 MANAKSA GILBERT C	STEVAN A & TERRI L REMKOLO	4404 TOLLWOOD CT WRIGHTSVILLE BEACH, NC 28480	R04720-007-023-034	106 WATER ST N	RES
50 COLT BOBBY ELVINE	STEVAN A & TERRI L REMKOLO	6 REDLAND ST SHREWSBURY, MA 01545	R04720-007-023-035	106 WATER ST N	RES
51 REMKOLO STEVANA A TERRI L	T BRND PROPERTIES LLC	1866 GROVSLANDING CTR WILMINGTON, NC 28403	R04720-007-023-036	106 WATER ST N	RES
52 BOULDA STEVANA C CATHERINE J	SCHWESER REAL ESTATE HOLDINGS LLC	1 ACRON CT DOWA CITY, IA 52246	R04720-007-023-037	106 WATER ST N	RES
53 T BRND PROPERTIES LLC	SCHWESER REAL ESTATE HOLDINGS LLC	2840 MARSH POINT LN SOUTHPORT, NC 28461	R04720-007-023-038	106 WATER ST N	RES
54 SCHWESER REAL ESTATE HOLDINGS LLC	RESINA A STENIECK REVOCABLE TRUST	PO BOX 58270 FAYETTEVILLE, NC 28305	R04720-007-023-040	106 WATER ST N	RES
55 STENIECK RESINA A REVOCABLE TRUST	ANTONIO HERNANDEZ	PO BOX 58270 FAYETTEVILLE, NC 28305	R04720-007-023-041	106 WATER ST N	RES
56 HERNANDEZ ANTONIO	JOHN S & KELLY H MCCREE	206 OLD HICKORY RD LOCUST, NC 28807	R04720-007-023-042	106 WATER ST N	RES
57 MCCREE JOHN S KELLY H	SCHWESER REAL ESTATE HOLDING LLC	1 ACRON ST DOWA CITY, IA 52246	R04720-007-023-042	106 WATER ST N	RES
58 SCHWESER REAL ESTATE HOLDING LLC	ROBERT BARBARINO	8233 LOUISE AVE NORTHRIDGE, CA 91325	R04720-007-023-043	106 WATER ST N	RES
59 BARBARINO ROBERT	MARSHAL & JANELLE RHINE MILTON	PO BOX 2975 KAVENIA, AZ 86033	R04720-007-023-043	106 WATER ST N	RES
60 MILTON MARSHAL JANELLE RHINE	JAMES P MATTEY	106 WATER ST N SUITE 408 WILMINGTON, NC 28401	R04720-007-023-044	106 WATER ST N	RES
61 MATTEY JAMES P	WILLAN WYMAN & REBECCA B YELTON	303 HOLLERBROOK DR BERRUDA RUN, NC 27206	R04720-007-023-045	106 WATER ST N	RES
62 YELTON WILLAM WYMAN REBECCA B	JOHN VAN JOHNSON	2906 MARKET ST SUITE 204 WILMINGTON, NC 28403	R04720-007-023-046	106 WATER ST N	RES
63 JOHNSON JOHN VAN	TIMOTHY G & CHERYL A BAKER	2356 CLARKS LANDING RD ROCKY POINT, NC 28457	R04720-007-023-047	106 WATER ST N	RES
64 BAKER TIMOTHY G CHERYL A					

Property Owner Name (Owner Card)	Property Owner Name (Interpreted)	Mailing Address	Parcel ID #	Address	Class
55 LIEVOSI E IN G M REY LIV TR	EUGENE LIEVOSI & GAIL MORRIS-LIEVOSKI	7703 RIVER CT WILMINGTON, NC 28411	R04720-001-023-048	106 WATER ST N	RES
56 SCHWESER REAL ESTATE HOLDINGS LLC	SCHWESER REAL ESTATE HOLDINGS LLC	1 ACRON CT DOWA CITY, IA 52246	R04720-001-023-049	106 WATER ST N	RES
57 SCHWESER REAL ESTATE HOLDINGS LLC	SCHWESER REAL ESTATE HOLDINGS LLC	1 ACRON CT DOWA CITY, IA 52246	R04720-001-023-050	106 WATER ST N	RES
58 JAMES GIBBERS	GIBBERS JAMES	106 WATER ST N SUITE 501 WILMINGTON, NC 28401	R04720-001-023-051	106 WATER ST N	RES
59 BRUSH BATHUR B JUDY K TRUST	ARTHUR B & JUDY K BRUSH	104 LESLIE LN 2100 GREEN COVE SPRINGS, FL 32043	R04720-001-023-052	106 WATER ST N	RES
60 BRUSH BATHUR B JUDY K TRUST	TIMOTHY A & TERRI D BROCK	316 OULON GREEN CT WILMINGTON, NC 28412	R04720-001-023-053	106 WATER ST N	RES
61 TIMOTHY A & TERRI D BROCK	JAMES W & BETTY J KEARNEY	4112 CHESTNUT ST WILMINGTON, NC 28412	R04720-001-023-054	106 WATER ST N	RES
62 JAMES W & BETTY J KEARNEY	MCCOY PROPERTIES LLC	29 ALLEGH ST WRIGHTSVILLE BEACH, NC 28480	R04720-001-023-055	106 WATER ST N	RES
63 MCCOY PROPERTIES LLC	TERESA E MCCOY	111 BRALDO LN WILMINGTON, NC 28099	R04720-001-023-056	106 WATER ST N	RES
64 MCCOY TERESA E	COSIAL DIVERSIFIED LLC	122 ROCK CREEK DR JACKSONVILLE, NC 28540	R04720-001-023-057	106 WATER ST N	RES
65 HUNTER GUY J MARY L	GUY L & MARY L HUNTER	PO BOX 483 LINDEN, CA 95738	R04720-001-023-058	106 WATER ST N	RES
66 MARY L HUNTER	JAMES M BILLINGMEYER 1999 TRUST	3208 SAUND WASH LN MT PLEASANT, SC 29466	R04720-001-023-059	106 WATER ST N	RES
67 MARY L HUNTER	HAL PRENEMER PROPERTIES LLC	348 WALKER 55 DR HOLDEN BEACH, NC 28462	R04720-001-023-062	106 WATER ST N	RES
68 HAL PRENEMER PROPERTIES LLC	K&D PROPERTIES LLC	4117 PHEMONT PARK SUITE 104 JAMESTOWN, NC 27282	R04720-001-023-064	106 WATER ST N	RES
69 K&D PROPERTIES LLC	MCCOY PROPERTIES LLC	1801 COLLEGE RD WILMINGTON, NC 28403	R04720-001-023-066	106 WATER ST N	RES
70 MCCOY PROPERTIES LLC	PHILIP P & CAILA MARIE PERSIAJI	114 LINDSEY DR JACKSONVILLE, NC 28440	R04720-001-023-066	106 WATER ST N	RES
71 PHILIP P & CAILA MARIE PERSIAJI	JOHN O & KAREN A DOUGHERTY	1207 GARDEN PL FLOUAY VARINA, NC 28451	R04720-001-023-067	106 WATER ST N	RES
72 JOHN O & KAREN A DOUGHERTY	ROBERT G JOYCE STEWART	8417 BELLAIR PARK WVA WILMINGTON, NC 28412	R04720-001-023-068	106 WATER ST N	RES
73 ROBERT G JOYCE STEWART	THOMAS C ARMSSTRONG	206 BELLAIR PARK WVA WILMINGTON, NC 28412	R04720-001-023-069	106 WATER ST N	RES
74 THOMAS C ARMSSTRONG	JAMES T & DRUSILLA S HOGE	225 FEES CUT WRIGHTSVILLE BEACH, NC 28480	R04720-001-023-070	106 WATER ST N	RES
75 JAMES T & DRUSILLA S HOGE	CHESTER W & ANNIE R BLUND	1007 ANDERSON ST NW WILSON, NC 27293	R04720-001-023-071	106 WATER ST N	RES
76 ANNIE R BLUND	WILLIAM P & MARY P LUNGER	4629 32ND RD RALEIGH, VA 22207	R04720-001-023-072	106 WATER ST N	RES
77 WILLIAM P & MARY P LUNGER	FABEN A SCORZA & CORRIE J LIEFEBRE	106 WATER ST N SUITE 701 WILMINGTON, NC 28401	R04720-001-023-073	106 WATER ST N	RES
78 FABEN A SCORZA & CORRIE J LIEFEBRE	LMA BUILDING INVESTMENTS LLC	1319 WILTZBURY CUTOFF DR #219 WILMINGTON, NC 28409	R04720-001-023-074	106 WATER ST N	RES
79 LMA BUILDING INVESTMENTS LLC	KATHLEEN D DROUIN	6909 PINEA HMY N SUITE 112 LAREDO, TX 78043	R04720-001-023-075	106 WATER ST N	RES
80 KATHLEEN D DROUIN	JENNIFER C COSTELLO	2112 VAN DYKE AVE RALEIGH, NC 27607	R04720-001-023-077	106 WATER ST N	RES
81 JENNIFER C COSTELLO	BOBBY S & MARIAN W MCKOY	709 FLEMINGSONS DR GREENSBORO, NC 27407	R04720-001-023-079	106 WATER ST N	RES
82 BOBBY S & MARIAN W MCKOY	KENNETH C & BARBARA B WARD	95 KAPO KENNETH & BARBARA B WARD	R04720-001-023-079	106 WATER ST N	RES
83 KENNETH C & BARBARA B WARD	DIANE HAUSE ETAL	106 WATER ST N SUITE 122 WILMINGTON, NC 28401	R04720-001-023-080	106 WATER ST N	RES
84 DIANE HAUSE ETAL	SHERI LIVING TRUST	918 RIVER DR WILMINGTON, NC 28412	R04720-001-023-081	106 WATER ST N	RES
85 SHERI LIVING TRUST	KEVIN SIKORSKI	1773 SHAULOTTE INLET DR SW SHAULOTTE, NC 28470	R04720-001-023-082	106 WATER ST N	RES
86 KEVIN SIKORSKI	JOHN T & CAROLYN A JONES TRUST	1319 WILTZBURY CUTOFF DR #219 WILMINGTON, NC 28409	R04720-001-023-083	106 WATER ST N	RES
87 JOHN T & CAROLYN A JONES TRUST	ROBERT MCKATERS	5518 CAROLANS LN WILMINGTON, NC 28409	R04720-001-023-084	106 WATER ST N	RES
88 ROBERT MCKATERS	MARIE B JOHNSON ETAL	6 ROWAL CT BEADING, PA 15607	R04720-001-023-085	106 WATER ST N	RES
89 MARIE B JOHNSON ETAL	CIT PROPERTIES LLC	16040 WILSON RD WILMINGTON, NC 28411	R04720-001-023-087	106 WATER ST N	RES
90 CIT PROPERTIES LLC	KATHLEEN FORSTH WOLF WEBB	1941 HAVERTY CORP RD WILMINGTON, NC 28403	R04720-001-023-088	106 WATER ST N	RES
91 KATHLEEN FORSTH WOLF WEBB	W B WARDEN CORP	1231 GLEADSTONE PL WILMINGTON, NC 28403	R04720-001-023-088	106 WATER ST N	RES
92 W B WARDEN CORP	LEONARD S & BARBARA L ANDERSON	106 WATER ST N SUITE 603 WILMINGTON, NC 28401	R04720-001-023-089	106 WATER ST N	RES
93 LEONARD S & BARBARA L ANDERSON	RENAL DAKIN	PO BOX 2892 WILMINGTON, NC 28402	R04720-001-023-091	106 WATER ST N	RES
94 RENAL DAKIN	DENISE DUKOLIS	PO BOX 2892 WILMINGTON, CA 92245	R04720-001-023-092	106 WATER ST N	RES
95 DENISE DUKOLIS	JACQUES WALTERMAN FAMILY TRUST	6300 SHARER CREEK DR WILMINGTON, NC 28405	R04720-001-023-093	106 WATER ST N	RES
96 JACQUES WALTERMAN FAMILY TRUST	ARORA & PERSADU INVESTMENTS LLC	13015 EASTFIELD RD SUITE 121 HUNTERSVILLE, NC 28078	R04720-001-023-094	106 WATER ST N	RES
97 ARORA & PERSADU INVESTMENTS LLC	GEORGE & HILARY MCNER	106 WATER ST SUITE 610 WILMINGTON, NC 28401	R04720-001-023-095	106 WATER ST N	RES
98 GEORGE & HILARY MCNER	SCOTT M KING	285 WALKER NEH DR WILMINGTON, NC 28409	R04720-001-023-096	106 WATER ST N	RES
99 SCOTT M KING	KAAL G & VIDYA BHAT	PO BOX 877 CLAYTON, NC 27528	R04720-001-023-097	106 WATER ST N	RES
100 KAAL G & VIDYA BHAT	MAHEW DUKANT	PO BOX 1365 WILMINGTON, NC 28402	R04720-001-023-098	106 WATER ST N	RES
101 MAHEW DUKANT	SCHWESER REAL ESTATE HOLDINGS LLC	1 ACRON CT DOWA CITY, IA 52246	R04720-001-023-099	106 WATER ST N	RES
102 SCHWESER REAL ESTATE HOLDINGS LLC	ROGER ROYAL ETAL	PO BOX 1182 MARION, NC 28752	R04720-001-023-100	106 WATER ST N	RES
103 ROGER ROYAL ETAL	JAMES N & SHERRY A HARKINS	106 FRENCH PL GOULDSPORO, NC 27530	R04720-001-023-101	106 WATER ST N	RES
104 JAMES N & SHERRY A HARKINS	JOSEPH D DAVIS III	PO BOX 1124 MARION, NC 28752	R04720-001-023-102	106 WATER ST N	RES
105 JOSEPH D DAVIS III	LOREI AMOS ETAL	PO BOX 1111 SANDY RIDGE, NC 27946	R04720-001-023-102	106 WATER ST N	RES
106 LOREI AMOS ETAL	RICHARD S & VANESSA JENIK DAVIDSON	308 WHISPER PARK DR WILMINGTON, NC 28411	R04720-001-023-104	106 WATER	



1. PARKING DECK SURVEY FROM CITY OF WILMINGTON. DATE - 09/16/2014  
 2. WATER STREET SURVEY FROM WK DIXON. DATE - 07/05/2015  
 3. ALL PARCEL INFORMATION FROM NEW HANOVER COUNTY GIS (maps.nhcgov.com). DATE - 03/9/2016.

2 NOTES - TYPICAL FOR ALL EXISTING CONDITIONS SHEETS

STORMWATER MANAGEMENT PLAN  
 APPROVED  
 CITY OF WILMINGTON  
 ENGINEERING DEPARTMENT  
 DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
 SIGNED \_\_\_\_\_

Approved Construction Plan  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Title \_\_\_\_\_  
 Firm \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit City prior to occupancy, and/or project acceptance.

4 LOWER LEVEL EXISTING CONDITIONS - NORTHWEST

Scale: 1"=10'-0"

1 APPROVALS

111

112

**DMA Architecture PLC**  
 3804 Redwood Street, Suite 174  
 Wilmington, NC 27103  
 Phone: 336-723-6360  
 dmadmarch.com

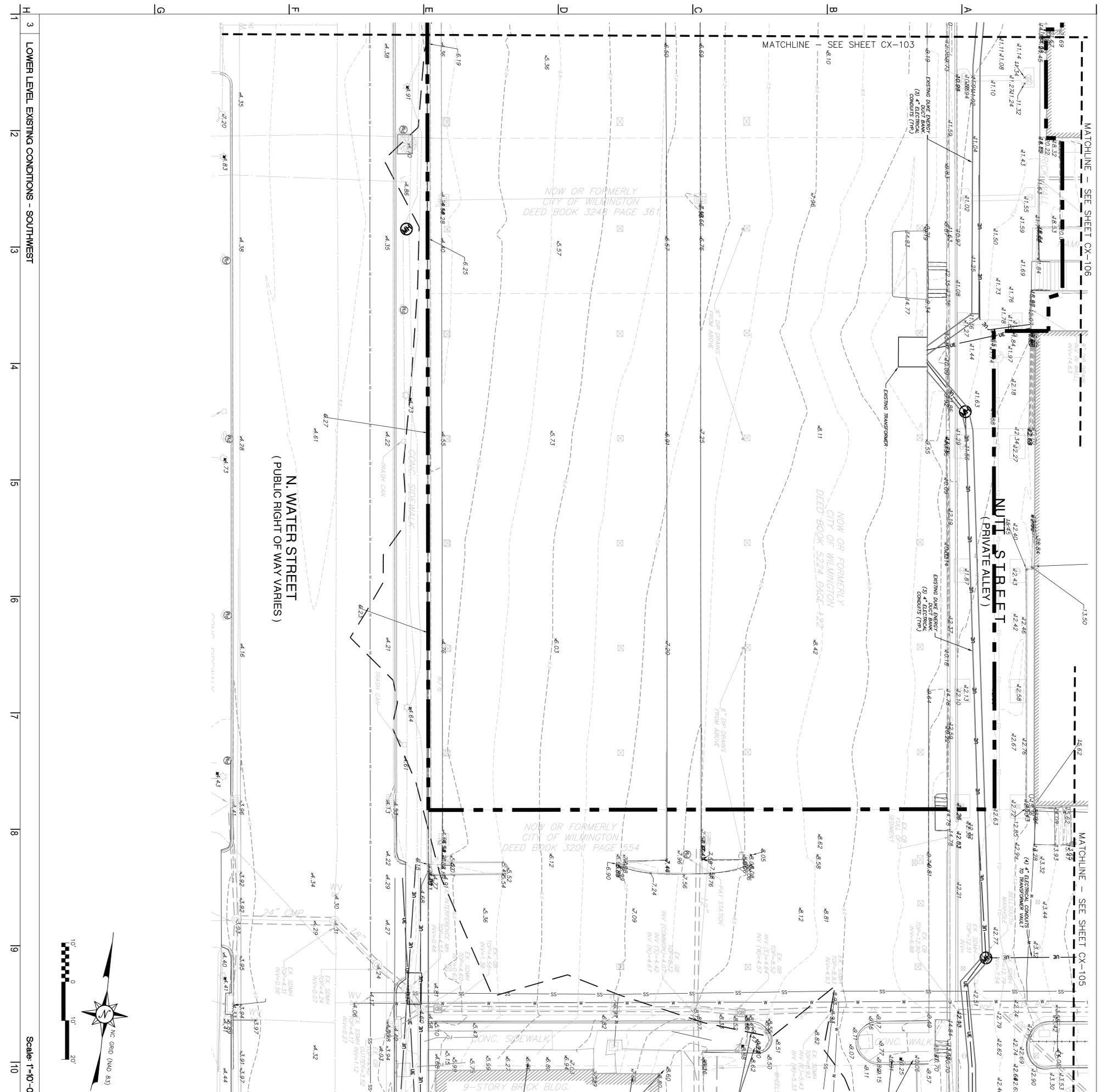
**MCKIM & CREED**  
 243 North Front Street  
 Wilmington, North Carolina 28401  
 Phone: (910) 343-1044 Fax: (910) 251-8282  
 www.mckimcreed.com

REVISIONS:  
 A. CIV. TRC. SUBMITTAL 06-23-16  
 B. FIC DEPT. UTILITY PLANS 08-25-16  
 C. NCECO/SWM PERMIT 08-25-16  
 D. TRC RESUBMITTAL 09-12-16

**RIVERPLACE**  
 (Water Street Parking Deck  
 Redevelopment)  
 200 North Water Street, City of Wilmington  
 Wilmington Township  
 New Hanover County, NC 28412

date: 08-25-2016  
 job no. MCE 0205-0001  
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**CX-103**  
 LOWER LEVEL  
 EXISTING CONDITIONS  
 (NW)



**1 APPROVALS**

<p>STORMWATER MANAGEMENT PLAN  <b>APPROVED</b>                  CITY OF WILMINGTON                  ENGINEERING DEPARTMENT                  DATE _____ PERMIT # _____                  SIGNED _____</p>	<p>Approved Construction Plan                  Name _____ Date _____                  Title _____                  Firm _____</p>
---	---

For each open utility cut of City Streets, a \$225 permit fee shall be paid to the City prior to occupancy, and/or project acceptance.

**2 NOTES**

1. REFER TO NOTES ON G-001 AND CX-103.

**DATE:** 08-25-2016  
**JOB NO.:** MCE 0205-0001  
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 Wilmington Township  
 New Hanover County, NC 28412

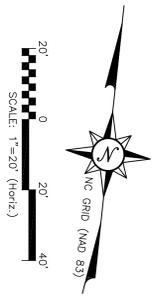
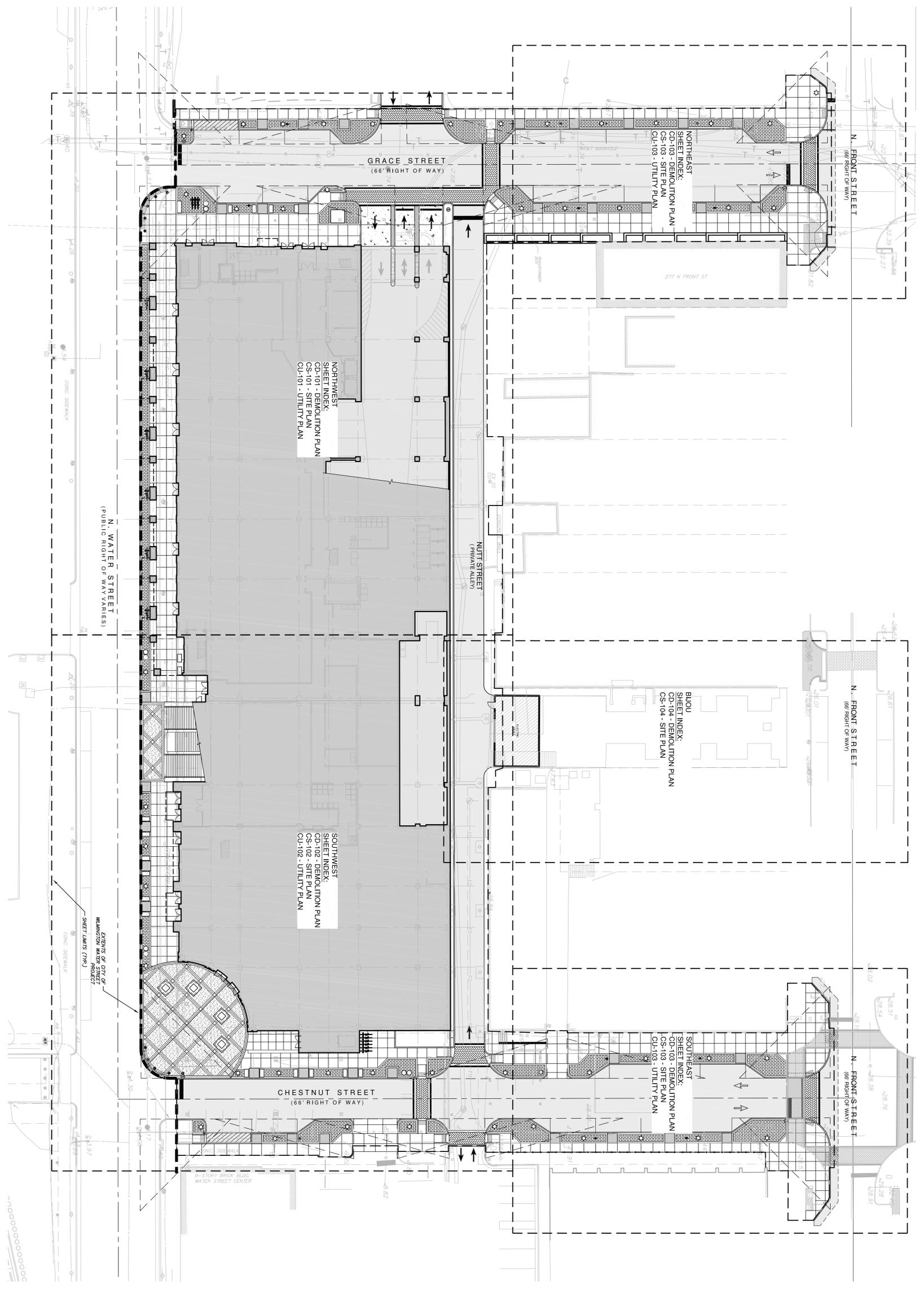
**MCKIM & CREED**  
 243 North Front Street  
 Wilmington, North Carolina 28401  
 Phone: (910) 333-9143 Fax: (910) 251-8282  
 www.mckimcreed.com

**REVISIONS:**

A. CIV. TRC. SCHEDULE	06-29-16
B. FIC. DR. UTILITY PLANS	08-25-16
C. NCE/CO/SWM PERMIT	08-25-16
D. TRC. RESUBMITTAL	09-12-16

**DMA Architecture PLLC**

**CX-104**



STORMWATER MANAGEMENT PLAN  
**APPROVED**  
 CITY OF WILMINGTON  
 ENGINEERING DEPARTMENT  
 DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
 SIGNED \_\_\_\_\_

Approved Construction Plan  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Training \_\_\_\_\_  
 Title \_\_\_\_\_  
 File \_\_\_\_\_

For each open utility cut or  
 other disturbance a \$250 permit  
 must be obtained from the  
 City prior to occupancy,  
 and/or project acceptance.

Scale: 1"=20'-0"

APPROVALS

# C-100

OVERALL SHEET LEGEND

date: 08-25-2016  
 job no. MCE 0205-0001  
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**RIVERPLACE**  
 (Water Street Parking Deck  
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 200 North Water Street, City of Wilmington  
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REVISIONS:  
 A. CIV. TRC. SUBMITTAL 06-29-16  
 B. FIC. DRG.-UTILITY PLANS 08-25-16  
 C. NCE/O/S/M PERMIT 08-25-16  
 D. TRC. RESUBMITTAL 09-12-16



3804 Knollwood Street, Suite 174  
 Wilmington, NC 27103  
 Phone: 336-773-6860  
 dms@dmacorp.com







DMA Architecture PLC

3804 Knottwood Street, Suite 174  
Wilmington, NC 27103  
Phone: 336-773-6360  
dismark@dma.com



243 North Front Street  
Wilmington, North Carolina 28401  
Phone: (910) 343-1044 Fax: (910) 251-8282  
www.mckimcreed.com

REVISIONS:  
A. CON. TRC SCHEDULE 06-29-16  
B. FIC DRW-UTILITY PLANS 08-25-16  
C. NCE/O/S/M PERMIT 08-25-16  
D. TRC RESUBMITTAL 09-12-16

**RIVERPLACE**  
(Water Street Parking Deck  
Redevelopment)  
200 North Water Street, City of Wilmington  
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New Hanover County, NC 28412

date: 08-25-2016  
job no. MCE 02005-0001  
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LOWER LEVEL  
DEMOLITION PLAN (SW)

CD-102

NOTE:  
EXISTING BUILDING ROOF DRAINS ALONG  
NUTT ST ALLEY WILL REMAIN ACTIVE  
DURING DEMOLITION AND CONSTRUCTION.  
MEASURES TO BY-PASS INTO EXISTING  
STORM SYSTEMS DURING CONSTRUCTION  
UNTIL THE PROPOSED STORM SYSTEM IS  
INSTALLED.

REMOVE EXISTING  
24" CURB & GUTTER  
AND CONCRETE SIDEWALK  
SAMCUT EXISTING  
PAVEMENT  
CONSTRUCTION SECURITY  
FENCING WITH ACCESS GATE  
(TTP)

REMOVE EXISTING  
24" CURB & GUTTER  
AND CONCRETE SIDEWALK  
CONSTRUCTION SECURITY  
FENCING WITH ACCESS GATE  
(TTP)

REMOVE EXISTING  
PAVEMENT  
EXISTING STORM  
DRAINAGE TO REMAIN

REMOVE EXISTING  
AND CONCRETE SIDEWALK  
100-YEAR  
FLOORPLAN

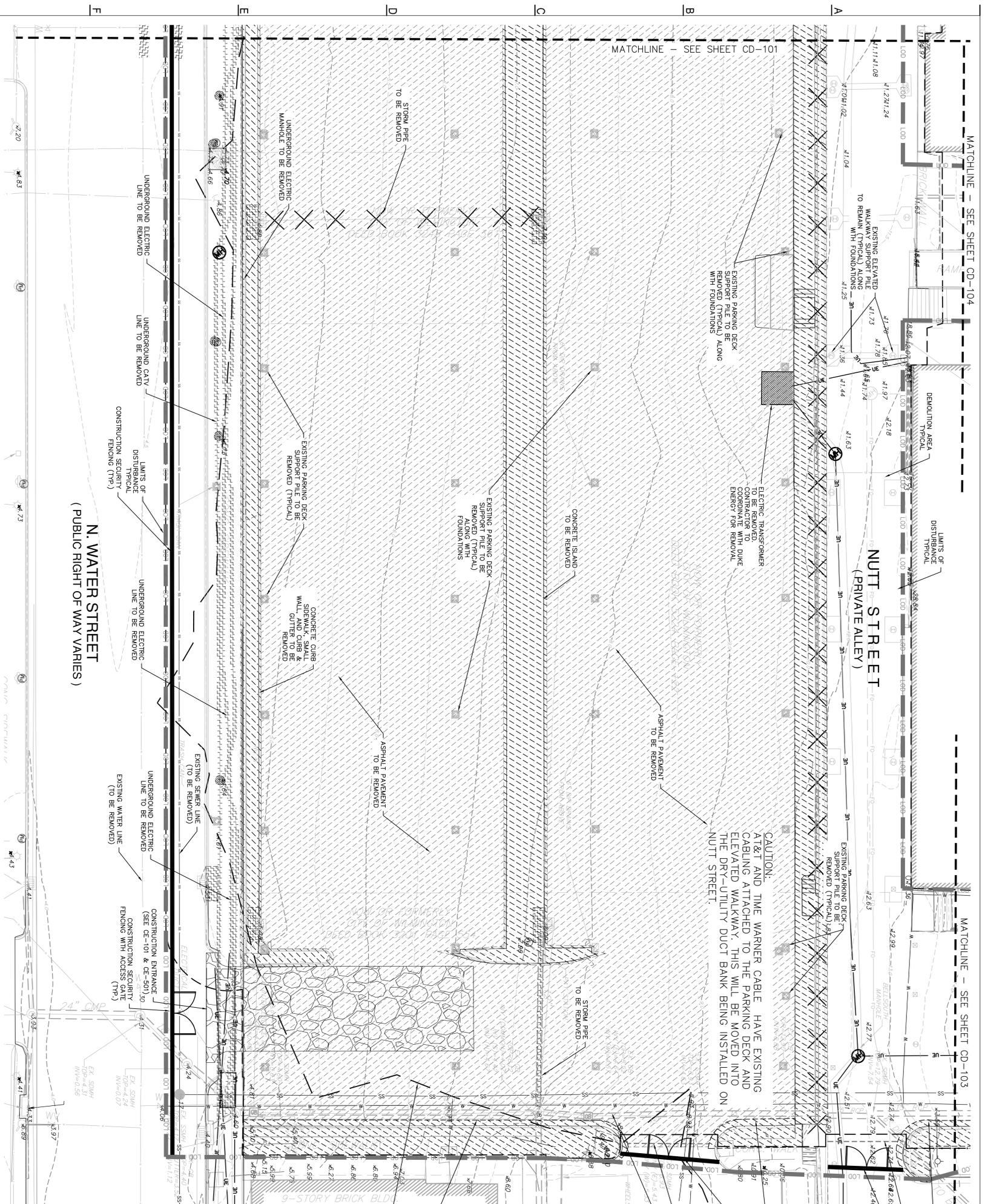
REMOVE EXISTING  
AND CONCRETE SIDEWALK

REMOVE EXISTING  
AND CONCRETE SIDEWALK  
ASPHALT/GRAVEL  
TO BE REMOVED  
ASPHALT/GRAVEL  
TO BE REMOVED  
RETAINING WALL REMOVAL  
UTILITY LINE TO BE  
REMOVED (WATER, SANITARY  
SEWER, STORM, GAS, ETC.)  
TELEPHONE, CATV, etc.)  
UTILITY TRANSFORMER  
TO BE REMOVED  
PARKING DECK PILE  
SUPPORT TO BE REMOVED  
OTHER REMOVED (SIGNS,  
VALVES, FIRE HYDRANT...)

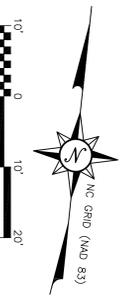
7-7-7 CURB/CONCRETE WALL,  
SIDEWALK/STEPS  
TO BE REMOVED  
ASPHALT/GRAVEL  
TO BE REMOVED  
RETAINING WALL REMOVAL  
UTILITY LINE TO BE  
REMOVED (WATER, SANITARY  
SEWER, STORM, GAS, ETC.)  
TELEPHONE, CATV, etc.)  
UTILITY TRANSFORMER  
TO BE REMOVED  
PARKING DECK PILE  
SUPPORT TO BE REMOVED  
OTHER REMOVED (SIGNS,  
VALVES, FIRE HYDRANT...)

2 LEGEND  
STORMWATER MANAGEMENT PLAN  
APPROVED  
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE PERMIT #  
SIGNED

APPROVALS  
1 APPROVALS  
111  
112



N. WATER STREET  
(PUBLIC RIGHT OF WAY VARIES)

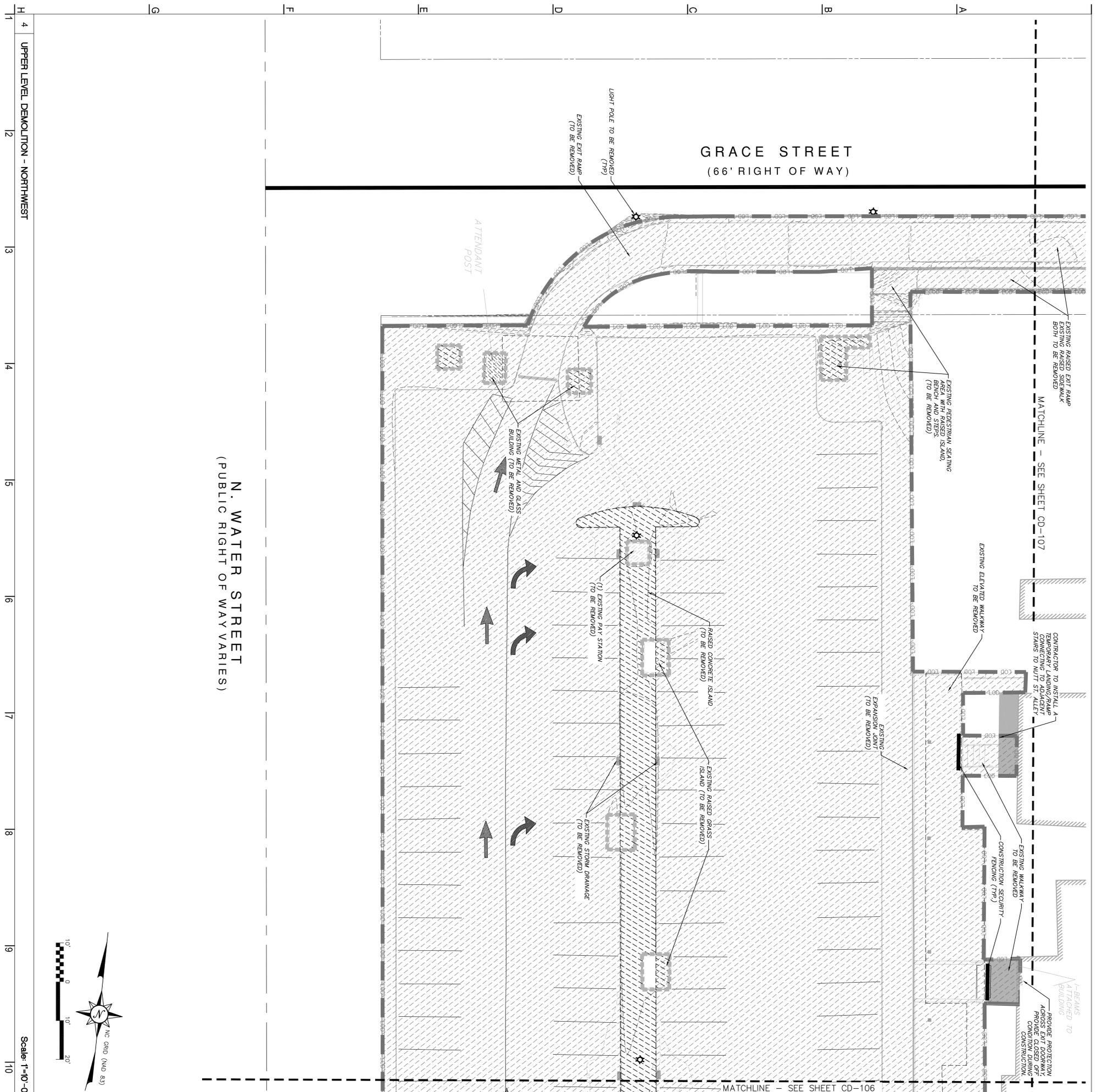


Scale: 1"=10'-0"

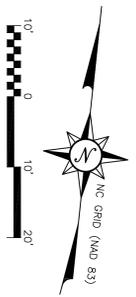
3 LOWER LEVEL DEMOLITION - SOUTHWEST  
12 13 14 15 16 17 18 19 110







N. WATER STREET  
(PUBLIC RIGHT OF WAY VARIES)



- 3 LEGEND**
- CURB/CONCRETE WALL, SIDEWALK/STEPS TO BE REMOVED
  - ASPHALT/GRAVEL TO BE REMOVED
  - RETAINING WALL REMOVAL
  - UTILITY LINE TO BE REMOVED (WATER, SANITARY, SEWER, STORM, GAS, ELEC, TELEPHONE, CATV, etc.)
  - UTILITY TRANSFORMER TO BE REMOVED
  - PARKING DECK PILE SUPPORT TO BE REMOVED
  - OTHER REMOVED (SIGNS, VALVES, FIRE HYDRANT, ...)

**NOTES ARE APPLICABLE TO ALL UPPER LEVEL DEMOLITION PLAN SHEETS**

CONTRACTOR SHALL REMOVE ALL PORTIONS OF THE PARKING DECK WESTWARD FROM THE EXPANSION JOINT SEPARATING THE DECK FROM THE ELEVATED WALKWAY ADJACENT TO THE EXISTING BUILDINGS. THIS DEMOLITION WORK INCLUDES BUT NOT LIMITED TO THE FOLLOWING:

1. CONCRETE AND STEEL;
2. STORM INLETS AND PIPING;
3. RAISED GRASSSED BEDS;
4. SITE LIGHTING AND WIRING;
5. TWO (2) PLAY STATIONS (PARK WILMINGTON WILL REMOVE - CONTRACTOR TO COORDINATE DIRECTLY);
6. TWO (2) EXISTING METAL AND GLASS ENCLOSURES;
7. ONE (1) ELEVATED PEDESTRIAN AREA WITH BENCH AND METAL COVER;
8. ONE (1) WOODEN BENCH;
9. ENTRANCE RAMPS FROM FRONT STREET ONTO THE UPPER DECK LEVEL;
10. EXIT RAMP AND ELEVATED SIDEWALK FROM UPPER LEVEL DECK TO FRONT STREET;
11. CONCRETE RAILING AND CHAIN LINK FENCING; AND
12. CONCRETE VERTICAL BARRIERS;
13. SEE SHEET CD-101 FOR ADDITIONAL NOTES

**2 DEMOLITION NOTES**

**STORMWATER MANAGEMENT PLAN**

**APPROVED**

CITY OF WILMINGTON  
ENGINEERING DEPARTMENT

DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
SIGNED \_\_\_\_\_

Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_  
Permitting \_\_\_\_\_  
Traffic \_\_\_\_\_  
File \_\_\_\_\_

For each open utility cut or trench, the contractor shall be required to install a traffic control device City prior to occupancy, and/or project acceptance.

**1 APPROVALS**

H 4 UPPER LEVEL DEMOLITION - NORTHWEST 1 2 3 4 5 6 7 8 9 10



**RIVERPLACE**  
(Water Street Parking Deck  
Redevelopment)

200 North Water Street, City of Wilmington  
Wilmington Township  
New Hanover County, NC 28412

date: 08-25-2016  
job no. MCE 0205-0001  
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UPPER LEVEL  
DEMOLITION PLAN (NW)  
**CD-105**

**REVISIONS:**

A. CIV. TRC. SUBMITTAL	06-29-16
B. FIC. DEV.-UTILITY PLANS	08-25-16
C. NCE/OS/SM PERMIT	08-25-16
TRC. RESUBMITTAL	09-12-16

**EROSION CONTROL MAINTENANCE PLAN:**

1. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AND REPAIRED AS NECESSARY EVERY SEVEN (7) DAYS OR AFTER EACH RAINFALL OCCURRENCE THAT EXCEEDS ONE-INCH (1.0) INCH.
2. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PERIODS OF CONSTRUCTION. EROSION CONTROL DEVICES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY. EROSION CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFF-SITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
3. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FEET DEEP. THE SEDIMENT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
4. ALL AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER.
5. STONE CONSTRUCTION ENTRANCE TO BE CLEANED WHEN SEDIMENT ACCUMULATIONS ARE VISIBLE OR SEDIMENT IS TRACKED ON TO THE PAVEMENT. STONE WILL BE REPAIRED AS NECESSARY. STONE SHALL BE REPLACED TO ORIGINAL DEPTH. THE CONTRACTOR SHALL DAILY REMOVE MID/SOIL FROM PAVEMENT, AS REQUIRED.
6. INSPECT TEMPORARY DIVERSIONS AND CHECK DAMS ONCE A WEEK AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE AND CHECK DAM. CAREFULLY CHECK OUTLETS AND STABILIZED AREAS. REPAIR AND RESEED WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED. MULCH AND FERTILIZE AS NECESSARY TO BLEND WITH THE NATURAL GROUND LEVEL AND APPROPRIATELY STABILIZE IT.
7. INSPECT TEMPORARY SEDIMENT TRAPS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (0.5 INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. REMOVE SEDIMENT, AND RESTORE THE TRAP TO THE ORIGINAL DIMENSIONS WHEN REQUIRED.
8. INSPECT BARRIERS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY NECESSARY REPAIRS TO BARRIERS. BARRIERS SHALL BE REPAIRED IMMEDIATELY. SHOULD THE FABRIC OF A BARRIER COLLAPSE, TEAR, DECOMPOSE, OR WHEN IT REACHES HALF FULL TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE BARRIERS.
9. INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (0.5" OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PREVENT SEDIMENT FROM ACCUMULATING BEHIND THE MESH. REMOVE SEDIMENT OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.

**NOTE COW(18-458)**

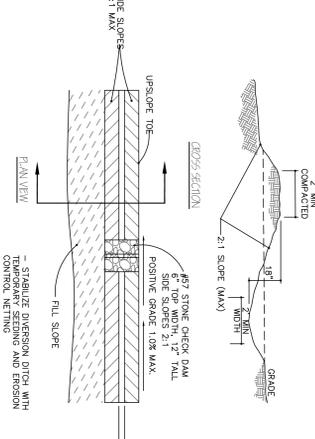
NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL THE PROTECTION, FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED AS APPROPRIATE.

**NOTE (G.S. 113A-57 (2))**

THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE OF THE NEAREST EXISTING ADJACENT SLOPE. THE ANGLE OF THE ORIGINAL UNDISTURBED SLOPE OR STRUCTURES, IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 2 CALENDAR DAYS OF COMPLETION OF ANY GRADING, BE PLANTED OR OTHERWISE STABILIZED WITH RESTORATION PERMANENT GROUND COVER, DEVICES OR STRUCTURES SPECIFIC TO RESTORE EROSION.

**EROSION CONTROL NOTES**

Not to Scale



**TEMPORARY DIVERSION DITCH**

Not to Scale

**NOTES**

Not to Scale

**DEMOLITION NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING AND FIELD DETERMINING THE EXACT DEMOLITION LIMITS.
2. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIARIZED WITH FIELD DEMOLITION CONDITIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL DEMOLISHED DEBRIS ASSOCIATED WITH THE PROJECT.
4. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST GENERATED BY THE WORK, VEHICULAR TRAFFIC AND RELATED OPERATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR HAVING ALL EXISTING UTILITIES LOCATED PRIOR TO DEMOLITION. ALL EXISTING UTILITIES SHALL BE PROTECTED AND MAINTAINED AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED.
6. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE AND RESOLVED IMMEDIATELY.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF DISCONNECTING AND ABANDONING ALL EXISTING UTILITIES UNLESS OTHERWISE NOTED. ALL EXISTING UTILITIES SHALL BE PROTECTED AND MAINTAINED AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ANY EXISTING UTILITIES THAT REMAIN IN SERVICE DURING DEMOLITION.
9. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REMOVAL OR RELOCATION OF EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL VERIFY THE APPLICABLE UTILITY COMPANY AS REQUIRED.
10. THE CONTRACTOR IS RESPONSIBLE FOR STABILIZATION OF ALL DISTURBED AREAS AND SLOPES ON AND OFF SITE IN ACCORDANCE WITH THE EROSION CONTROL MEASURES SPECIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE WHO IS RESPONSIBLE FOR PROVIDING THE NECESSARY SEEDING AND MULCHING MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BEGINNING DEMOLITION AND CONSTRUCTION. THE PERMANENT STABILIZATION MEASURES SHALL BE IN PLACE AND ACCEPTABLE TO THE OWNER'S REPRESENTATIVE AND ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION WITH THE OWNER AND ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
11. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REQUIRED INSPECTIONS ON THE PROJECT.

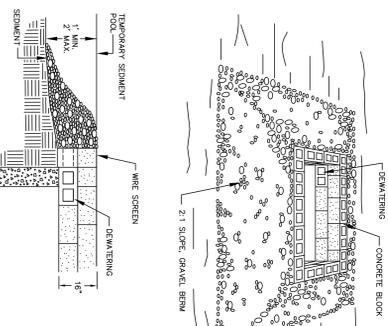
**SEEDBED PREPARATION:**

1. CHESEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
2. RIP THE ENTRANCE AREA TO 6 INCHES DEPTH.
3. REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
4. APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW).
5. CONTINUE TILLAGE UNTIL A UNIFORM, WELL-DISPERSED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 8 INCHES DEEP.
6. SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
7. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
8. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
9. CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
10. \* APPLY AGRICULTURAL LIMESTONE - 2 TONS/ACRE  
FERTILIZER - 100 LBS/ACRE  
SUPERPHOSPHATE 500 LBS/ACRE (20%)  
MULCH - 2 TONS/ACRE (SMALL GRAIN STRAW)  
ANCHOR - ASPHALT EMULSION AT 450 GAL/ACRE

TEMPORARY SEEDING		PERMANENT SEEDING	
GRASS TYPE	AMOUNT/ 1000 S.F.	AMOUNT/ 1000 S.F.	TIME OF SEEDING
PTE GRASS	1-2 LBS	APRIL - JUNE	INITIAL
BROWNTOP WALLEY	1-2 LBS	JUNE - AUGUST	25 LBS 10-10-10
PERMANENT SEEDING		TIME OF SEEDING	
GRASS TYPE	AMOUNT/ 1000 S.F.	TIME OF SEEDING	INITIAL
BERMUDA COMMON	1-2 LBS	APRIL - JUNE	25 LBS 10-10-10
RESISTANT TALL FESCUE (S)	5-7 LBS	JUNE - AUGUST	25 LBS 10-10-10
SEBERGIA	1-2 LBS	MARCH - APRIL	25 LBS 10-10-10

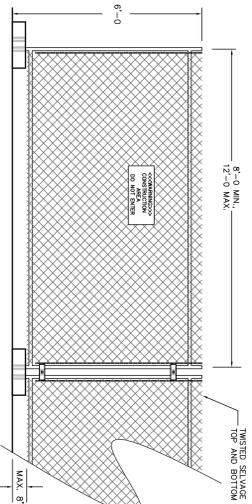
**NOTES:**

1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE IN THE BOTTOM ROW TO ALLOW POOL DRAINAGE. THE SECOND ROW SHALL BE LAYED ON TOP OF THE FIRST. THE BOTTOM ROW OF BLOCKS AGAINST THE SIDE OF THE STORM DRAIN SHALL BE LAYED AGAINST THE SIDE OF THE STORM DRAIN. OVERFLOW OCCURS IF NEEDED, ONE LATERAL SUPPORT TO BLOCK DRAINAGE.
2. CAREFULLY FIT HARDWARE CLOTH OR COMPARABLE WIRE MESH FIELD GRENNS IN PLACE.
3. THE CURB INLET SHALL BE 2" X 4" WOOD STUD. A 2" X 4" WOOD STUD SHALL BE USED TO ANCHOR THE CURB INLET TO THE CONCRETE BLOCK. THE CURB INLET SHALL BE 2" X 4" WOOD STUD THROUGHOUT.



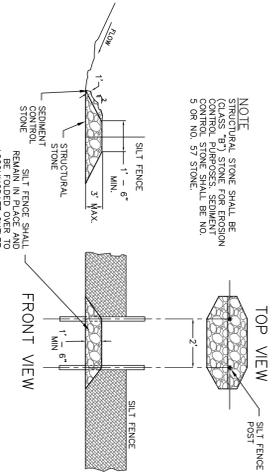
**TEMPORARY INLET PROTECTION - NCDENR STD. 6.51**

Not to Scale



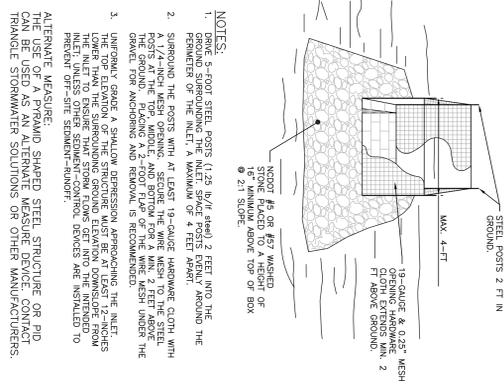
**TEMPORARY CONSTRUCTION FENCING**

Not to Scale



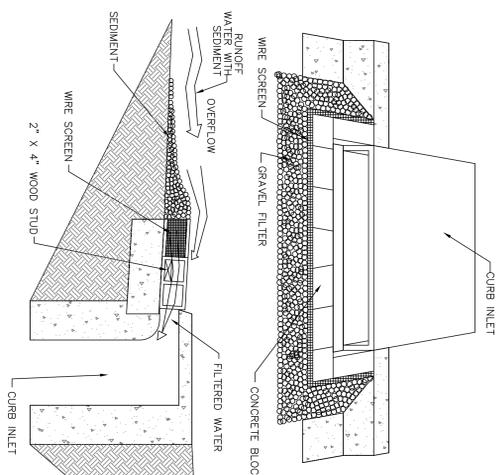
**SILT FENCE STONE OUTLET**

Not to Scale



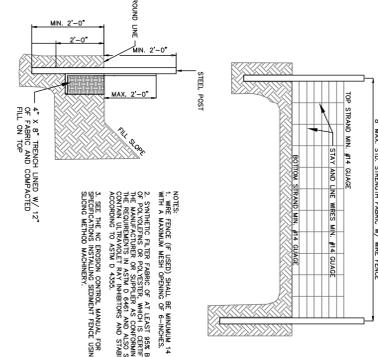
**CURB INLET PROTECTION**

Not to Scale



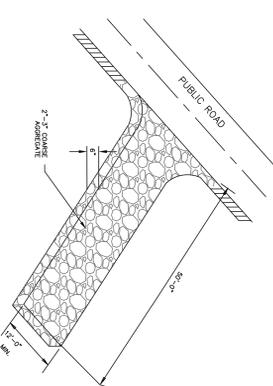
**TEMPORARY SILT FENCE**

Not to Scale



**CONSTRUCTION ENTRANCE/EXIT - SD 13-03**

Not to Scale



**STORMWATER MANAGEMENT PLAN**

**APPROVED**

CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_

Approved Construction Plan

DATE \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City of Wilmington and/or proper acceptance.



3804 Knottwood Street, Suite 114  
Wilmington, NC 27103  
Phone: 734-723-6360  
dmatraining.com



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Wilmington, North Carolina 28401  
Phone: (910) 251-8282 Fax: (910) 251-8282  
www.mfkimcreed.com

- REVISIONS:**
- A. COW TRC SIMULTAN 06-23-16
  - B. FIC DRG-UTILITY PLANS 08-25-16
  - C. NCDOT/SWM PERMIT 08-25-16
  - D. TRC RESUBMITTAL 09-12-16

**RIVERPLACE**  
(Water Street Parking Deck  
Redevelopment)

200 North Water Street, City of Wilmington  
Wilmington Township  
New Hanover County, NC 28412

date: 08-25-2016  
job no. MCE 0205-0001  
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**EROSION CONTROL  
DETAILS**

**CE-501**



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3804 Knottwood Street, Suite 174  
Wilmington, NC 27103  
Phone: 336-723-6360  
dismark@dma.com



243 North Front Street  
Wilmington, North Carolina 28401  
Phone: (810) 251-1014 Fax: (810) 251-8282  
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REVISIONS:  
A. CIV. TRC. SUBMITTAL 06-29-16  
B. FIC DRG.-UTILITY PLANS 08-25-16  
C. TRC. RESUBMITTAL 09-12-16

# RIVERPLACE

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date: 08-25-2016  
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- SEE SHEET G-001 FOR ADDITIONAL NOTES.
- SEE ARCHITECTURAL DRAWINGS FOR LOCATION AND SIZE OF PROPOSED RECREATION AREAS.
- HVAC UNITS WILL NOT BE LOCATED ON STREET FRONTAGES AND WILL BE SCREENED FROM PUBLIC VIEW.
- SEE ARCHITECTURAL PLANS FOR INFORMATION REGARDING SOLID WASTE REMOVAL.
- SIGNAGE IS NOT INCLUDED IN THE TECHNICAL REVIEW COMMITTEE PROCESS AND APPROVAL.

### NOTES

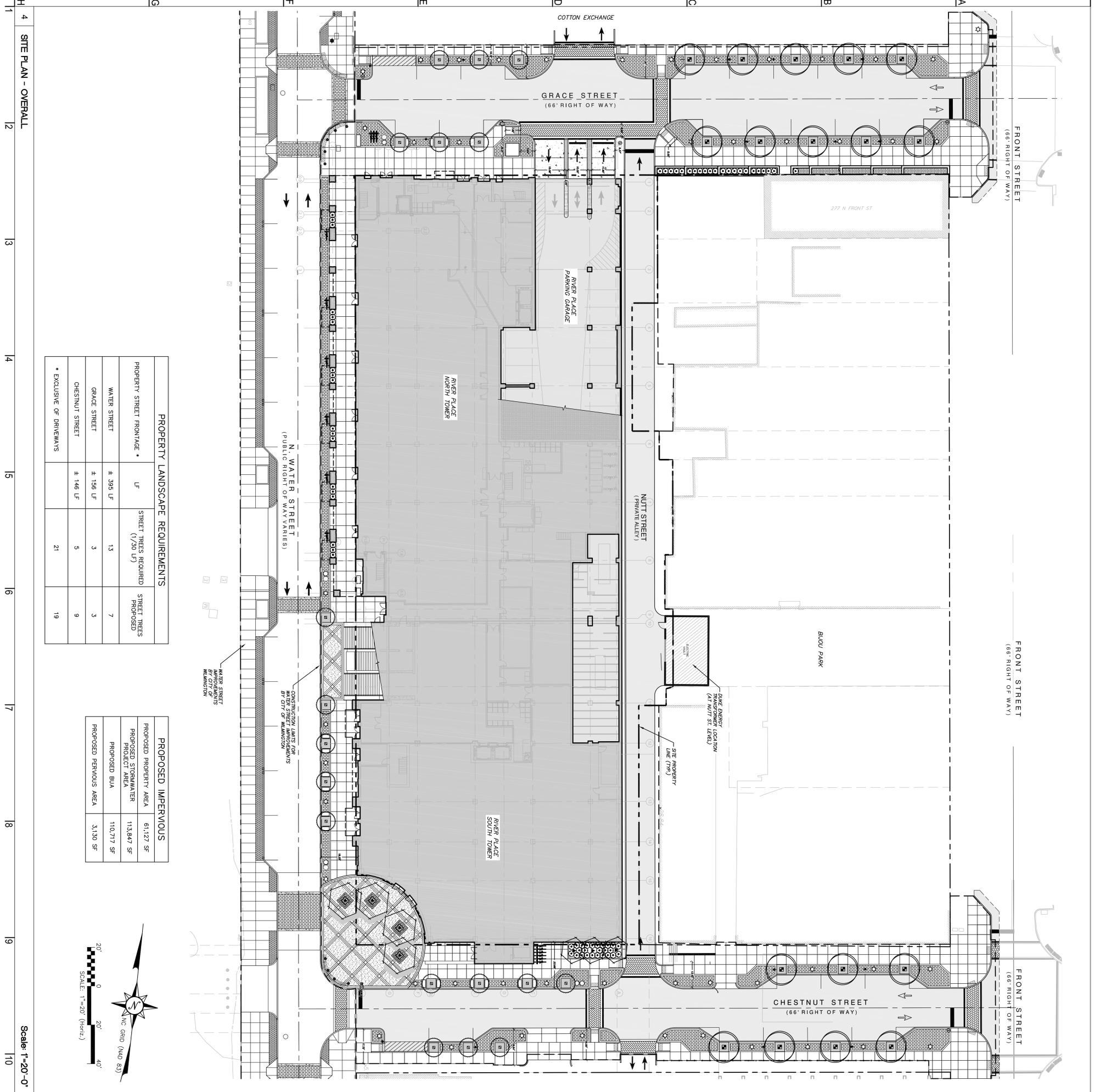
SITE DATA TABLE	
PARCEL ADDRESS	RIVERPLACE 200 N WATER STREET
BUILDING SETBACKS	REQUIRED PROPOSED*
FRONT (WATER STREET)	0
REAR (NUTT STREET)	0
SIDE (GRACE STREET)	0
SIDE (CHESTNUT STREET)	0
TAX PARCEL IDENTIFICATION NUMBERS:	R04720-007-028-000 R04720-007-025-000 (PORTION 047)
CURRENT ZONING:	CBD-CENTRAL BUSINESS DISTRICT
SPECIAL HIGHWAY OVERLAY DISTRICT:	NONE
OTHER OVERLAY DISTRICTS:	NONE
RECOMBINED PROPERTY AREA:	1.38 ACRES
OVERALL PROJECT AREA:	2.64 ACRES
EXISTING BUILDING SIZE	0
BUILDING SIZE WITH SQUARE FOOTAGE (56,439/60,112 = 0.9389 OR 93.8%)	56,439 GROSS SF 60,112 SF
TOTAL PARCEL AREA	60,112 SF
NC BUILDING CODE CONSTRUCTION TYPE	1A
BUILDING LOT COVERAGE	93.3%
NUMBER OF BUILDINGS	1 PROPOSED
BUILDING HEIGHT	146'-6" (TO PARAPET)
FIRST LEVEL - 56,439 SF	
SECOND LEVEL - 55,150 SF	
THIRD LEVEL - 56,665 SF	
FOURTH LEVEL - 44,535 SF	
FIFTH LEVEL - 44,535 SF	
SIXTH LEVEL - 44,235 SF	
SEVENTH LEVEL - 42,742 SF	
EIGHTH LEVEL - 25,913 SF	
NINTH LEVEL - 25,913 SF	
TENTH LEVEL - 25,913 SF	
ELEVENTH LEVEL - 25,729 SF	
TWELFTH LEVEL - 25,578 SF	
THIRTEENTH LEVEL - 10,229 SF	
ALL LEVELS - 483,474 SF	
ONE BEDROOM UNITS	103
TWO BEDROOM UNITS	68
TOTAL UNITS	171
TOTAL AMOUNT OF DISTURBED AREA	2.61 ACRES
EXISTING AMOUNT & PERCENT IMPERVIOUS	110,217 SF (97.3%)
CAMA LAND USE CLASSIFICATION	URBAN
IMPERVIOUS AREA (PROPOSED)	
ROOF TOPS	52,883 SF
PARKING/ROADWAYS	28,845 SF
SEWALLS/RETAINING WALLS	28,989 SF
OTHER	0 SF
FUTURE ALLOTMENT	0 SF
TOTAL S.F.	110,717 SF
PERCENTAGE:	97.3%
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACES SHOWN IN THE STREET YARD:	60,964 SF
PROPOSED USE:	COMMERCIAL/RESIDENTIAL
PARKING INFORMATION	
MINIMUM NUMBER OF SPACES REQUIRED	0
1 SPACE PER	N/A (CBD)
MAXIMUM NUMBER OF SPACES REQUIRED	0
1 SPACE PER	N/A (CBD)
SPACES PROVIDED	409 (IN DECK)
HANDICAP SPACES REQUIRED	0
HANDICAP SPACES PROVIDED	2 (ON STREET), 14 (IN DECK)
EXISTING USE:	SURFACE PARKING/PARKING DECK
SPACES EXISTING	340 (TO BE REMOVED)
5 BICYCLE SPACES PER 100 SPACES SHALL BE PROVIDED (5 MIN.)	
BICYCLE SPACES REQUIRED	20
BICYCLE SPACES PROVIDED	20

### 2 SITE DATA TABLE

STORMWATER MANAGEMENT PLAN	APPROVED
CITY OF WILMINGTON	ENGINEERING DEPARTMENT
DATE	PERMIT #
SIGNED	

Approved Construction Plan	NAME	DATE
Permitting		
Title		
File		

For each open utility cut of 30" or greater, a \$250 permit fee shall be submitted to the City prior to occupancy, and/or project acceptance.

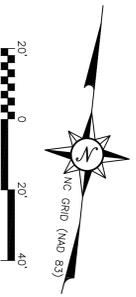


#### PROPERTY LANDSCAPE REQUIREMENTS

PROPERTY STREET FRONTAGE *	LF	STREET TREES REQUIRED (1/20 LF)	STREET TREES PROPOSED
WATER STREET	± 395 LF	13	7
GRACE STREET	± 156 LF	3	3
CHESTNUT STREET	± 146 LF	5	9
* EXCLUSIVE OF DRIVEWAYS		21	19

#### PROPOSED IMPERVIOUS

PROPOSED PROPERTY AREA	61,127 SF
PROPOSED STORMWATER PROJECT AREA	113,847 SF
PROPOSED BUIA	110,717 SF
PROPOSED PREVIOUS AREA	3,130 SF



H 4 SITE PLAN - OVERALL

1 2 3 4 5 6 7 8 9 10

Scale: 1"-20'-0"

1 APPROVALS

111 112

OVERALL SITE PLAN

# CS-100





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3804 Knollwood Street, Suite 174  
Wilmington, NC 27103  
Phone: 336-723-6360  
dismark@dma.com



243 North Front Street  
Wilmington, North Carolina 28401  
Phone: (910) 343-9100 Fax: (910) 251-8282  
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REVISIONS:  
A. CIV. TRC. SUBMITTAL 06-23-16  
B. FIC. DRG. - UTILITY PLANS 08-25-16  
C. NCE/O/S/M PERMIT 08-25-16  
D. TRC. RESUBMITTAL 09-12-16

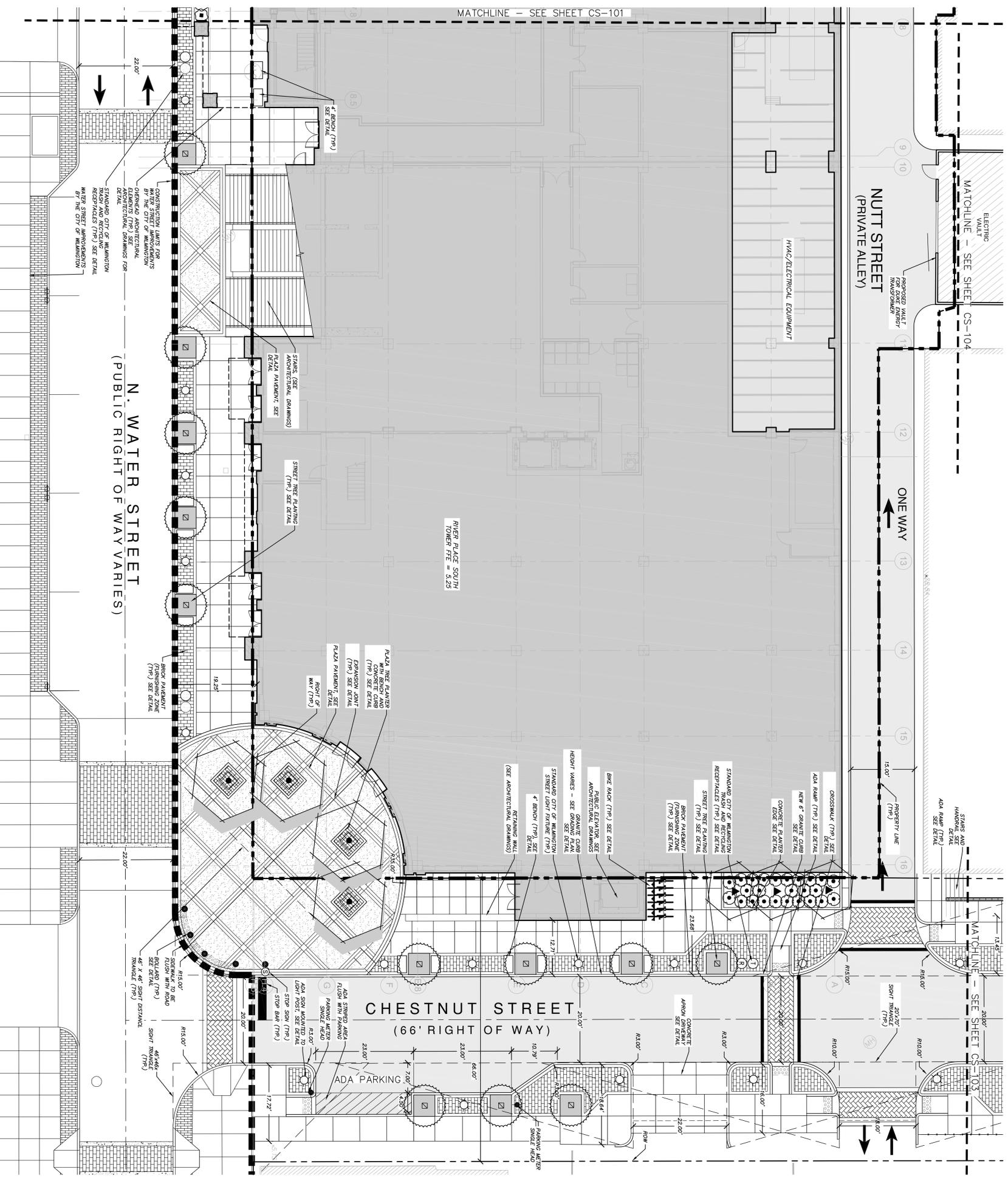
# RIVERPLACE (Water Street Parking Deck Redevelopment)

200 North Water Street, City of Wilmington  
Wilmington Township  
New Hanover County, NC 28412

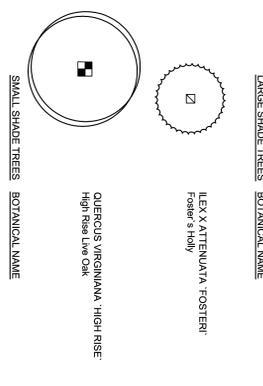
date: 08-25-2016  
job no. MCE 0205-0001  
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ENLARGED  
SITE PLAN (SW)

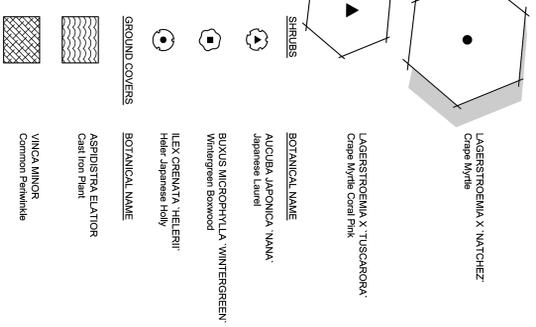
# CS-102



### PLANT LEGEND



### PLANTING LEGEND



- 1. ARCHITECTURAL INFORMATION SHOWN FOR INFORMATIONAL PURPOSES ONLY. SEE ARCHITECTURAL DRAWINGS FOR DETAILED INFORMATION.
- 2. SEE SHEET G-001 FOR ADDITIONAL NOTES.
- 3. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLE TRANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10' UNLESS APPROVED BY CITY OF WILMINGTON BASED ON SPECIFIC URBAN SITE CONDITIONS.
- 4. SEE PLANTING DETAILS FOR INSTALLATION INFORMATION.

### NOTES

STORMWATER MANAGEMENT PLAN  
APPROVED  
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE PERMIT #  
SIGNED

Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Permitting \_\_\_\_\_  
Traffic \_\_\_\_\_  
File \_\_\_\_\_

For each open utility cut or  
cut in sidewalk, a signed permit  
must be obtained from the  
City prior to occupancy,  
and/or project acceptance.

H 3 SITE PLAN - SOUTHWEST 12 13 14 15 16 17 18 19 10 Scale: 1"=10'-0" 1 APPROVALS 11 12



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REVISIONS:  
A. CIV. TRC. SCHEDULE 06-29-16  
B. FFC DRG.-UTILITY PLANS 08-25-16  
C. NCCO/SWM PERMIT 08-25-16  
TRC. RESUBMITTAL 09-12-16

**RIVERPLACE**  
(Water Street Parking Deck  
Redevelopment)  
200 North Water Street, City of Wilmington  
Wilmington Township  
New Hanover County, NC 28412

date: 08-25-2016  
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ENLARGED  
SITE PLAN (NE&SE)

CS-103

**1 APPROVALS**

<b>STORMWATER MANAGEMENT PLAN</b> <b>APPROVED</b> CITY OF WILMINGTON ENGINEERING DEPARTMENT DATE _____ PERMIT # _____ SIGNED _____	<b>Approved Construction Plan</b> Name _____ Date _____ Permitting _____ Title _____ File # _____
---	---

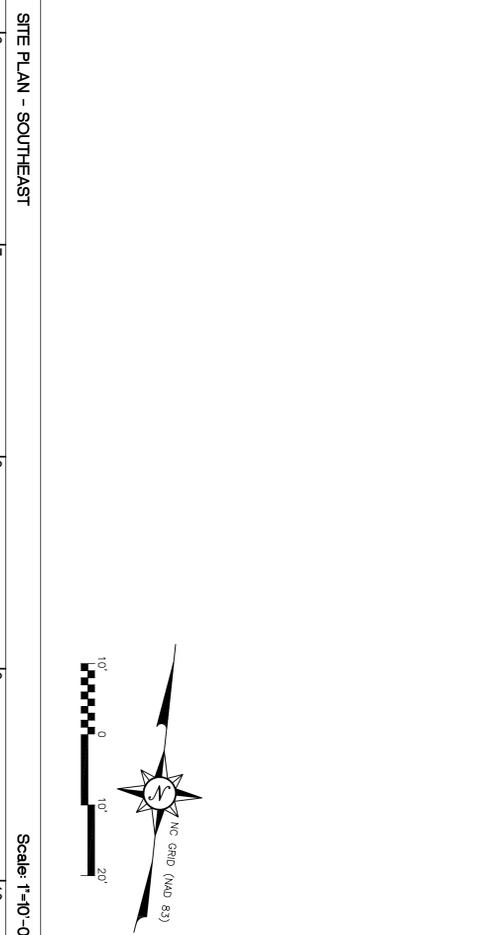
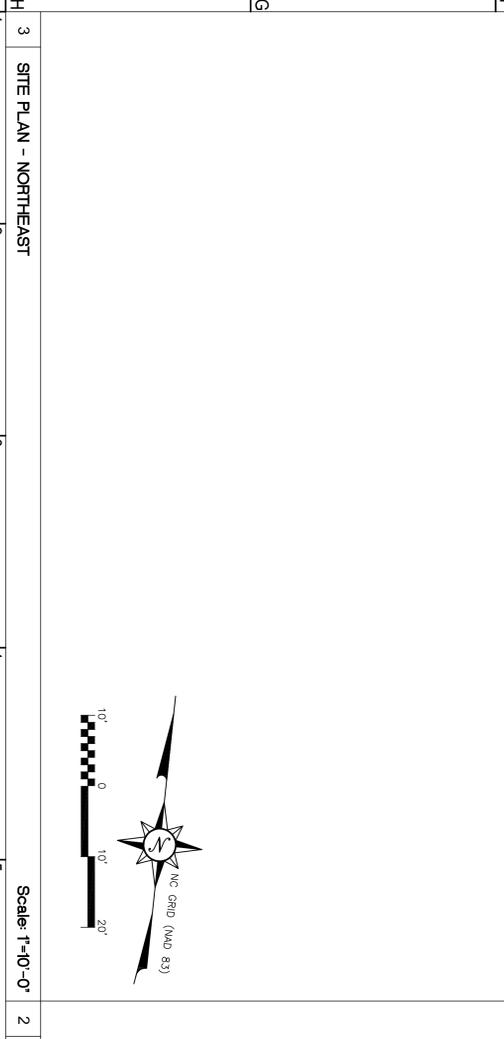
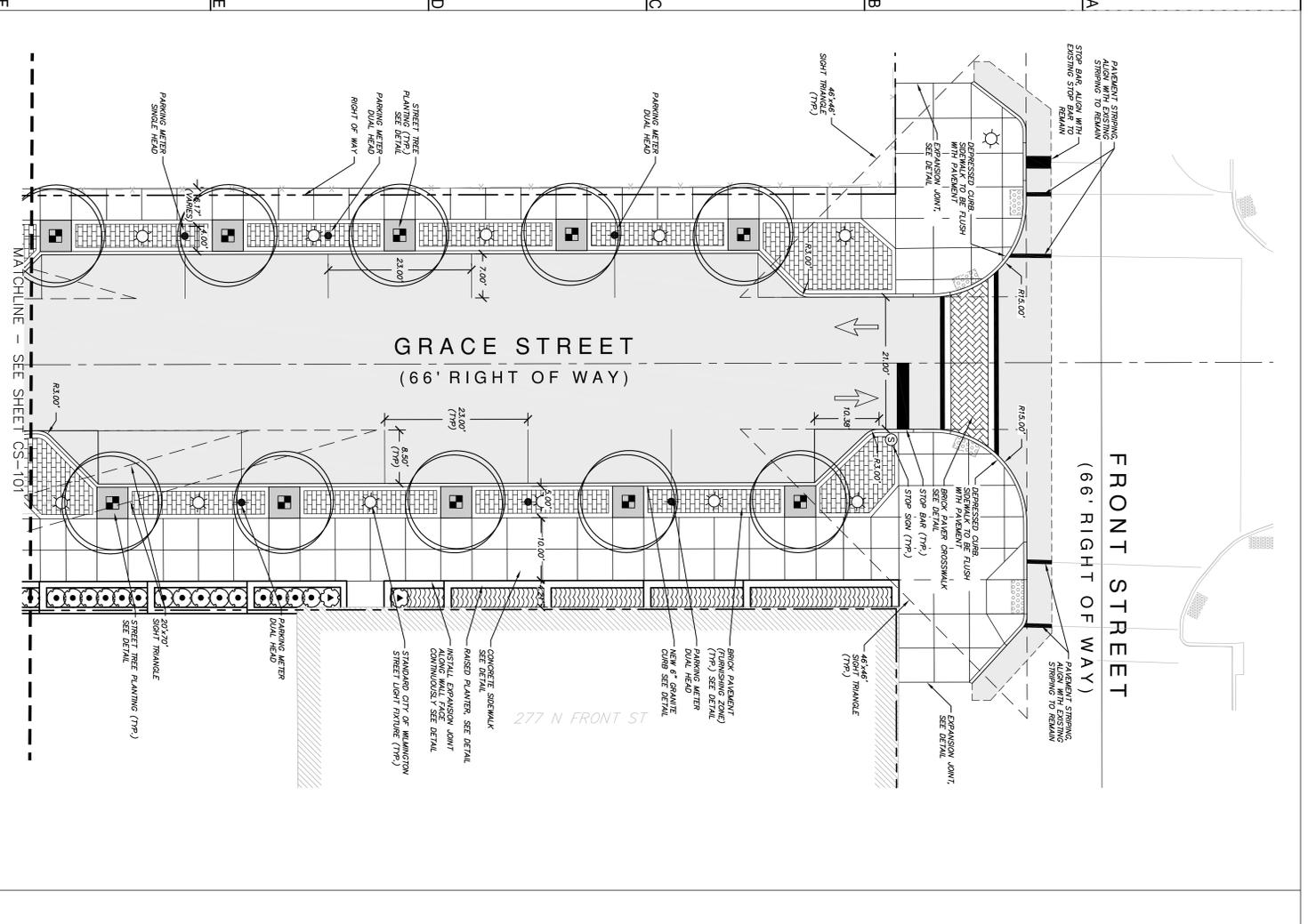
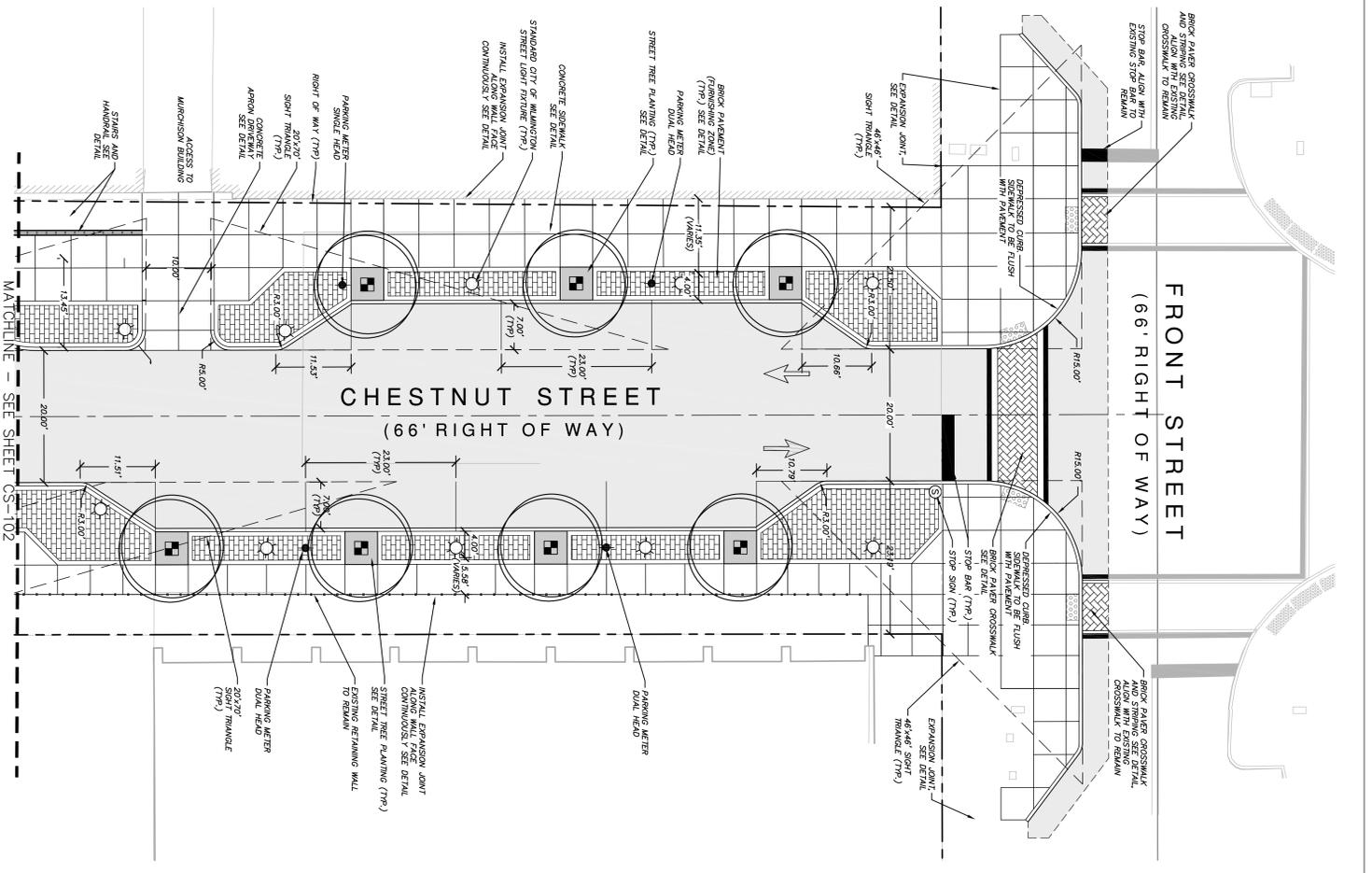
For each open utility cut or  
excavation, a signed permit  
must be obtained from the  
City prior to occupancy,  
and/or project acceptance.

**2 NOTES**

1. ARCHITECTURAL INFORMATION SHOWN FOR INFORMATIONAL PURPOSES ONLY. SEE ARCHITECTURAL DRAWINGS FOR DETAILED INFORMATION.
2. SEE SHEET G-001 FOR ADDITIONAL NOTES.
3. ALL PROPOSED VEGETATION WITHIN SIGHT DISTANCE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10' UNLESS APPROVED BY CITY OF WILMINGTON BASED ON SPECIFIC URBAN SITE CONDITIONS.
4. SEE PLANTING DETAILS FOR INSTALLATION INFORMATION.

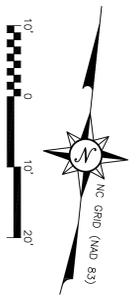
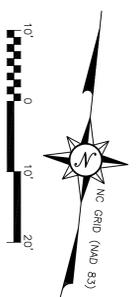
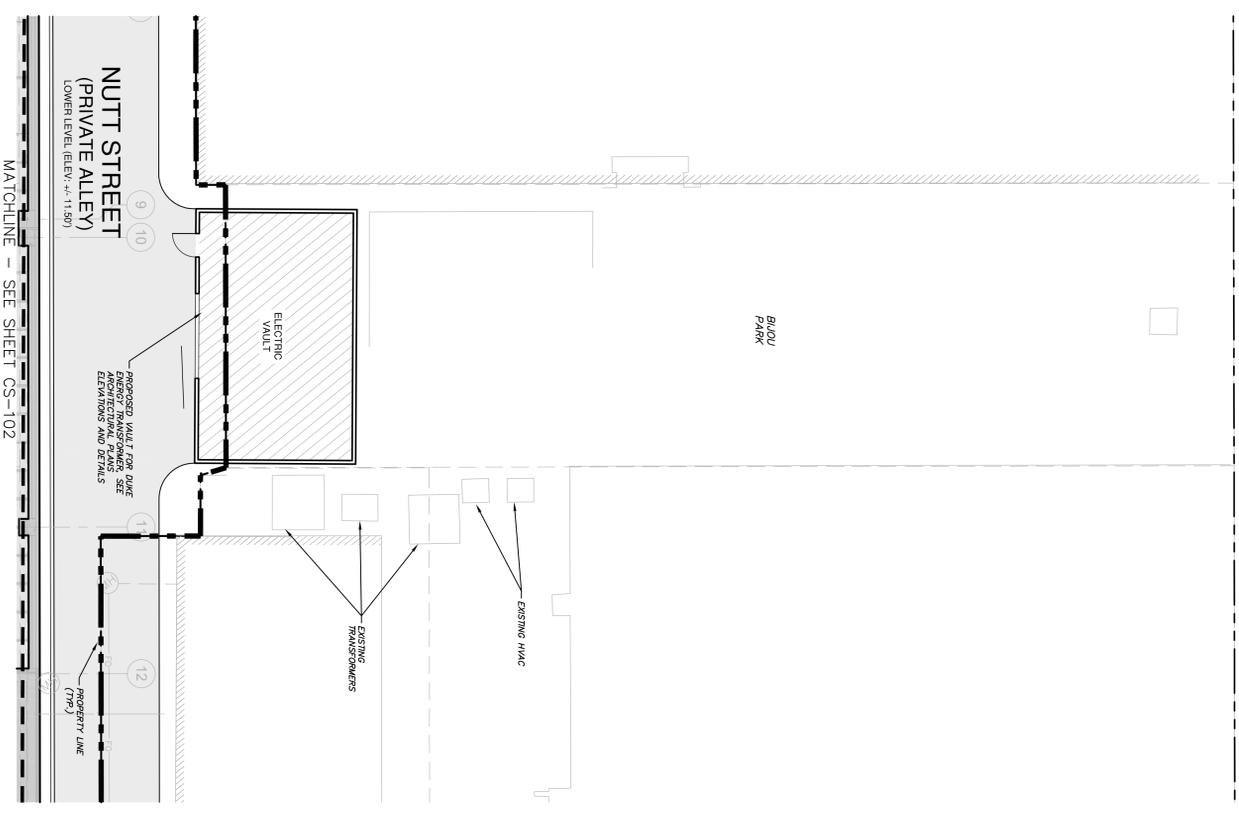
**3 PLANTING LEGEND**

SYMBOL	BOTANICAL NAME
	QUERCUS VIRGINIANA HIGH RISE High Rise Live Oak
	ILEX X ATTENUATA FOSTERI Foster Holly
	SMALL SHADE TREES BOTANICAL NAME
	LAGERSTROEMIA X NANTCHEZ Orange Myrtle
	LAGERSTROEMIA X TUSCARORA Orange Myrtle Coral Pink
	BOTANICAL NAME
	AQUUBA JAPONICA YAMA Japanese Laurel
	BUXUS MICROPHYLLA WINTERGREEN Wintergreen Boxwood
	ILEX CRENATA HELEBRII Hedge Japanese Holly
	BOTANICAL NAME
	ASPIDISTRA ELATOR Card Iron Plant
	VINCA MINOR Common Periwinkle
	GROUND COVERS



FRONT STREET  
(66' RIGHT OF WAY)

NOTE: SEE ARCHITECTURAL DRAWINGS FOR PEDESTRIAN CONNECTION TO BIJOU PARK



- NOTES**
1. ARCHITECTURAL INFORMATION SHOWN FOR INFORMATIONAL PURPOSES ONLY. SEE ARCHITECTURAL DRAWINGS FOR DETAILED INFORMATION.
  2. SEE SHEET G-001 FOR ADDITIONAL NOTES.

**STORMWATER MANAGEMENT PLAN**

**APPROVED**  
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
SIGNED \_\_\_\_\_

**Approved Construction Plan**

Planning: \_\_\_\_\_ Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Traffic: \_\_\_\_\_  
File: \_\_\_\_\_

For each open utility cut of 36" diameter, a signed permit must be obtained from the City prior to occupancy, and/or project acceptance.



- REVISIONS:**
- A. CIV. TRC. SUBMITTAL 06-29-16
  - B. FIC DRY-UTILITY PLANS 08-25-16
  - C. NCCO/SWM PERMIT 08-25-16
  - TRC RESUBMITTAL 09-12-16

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ENLARGED  
SITE PLAN (BIJOU PARK)  
**CS-104**

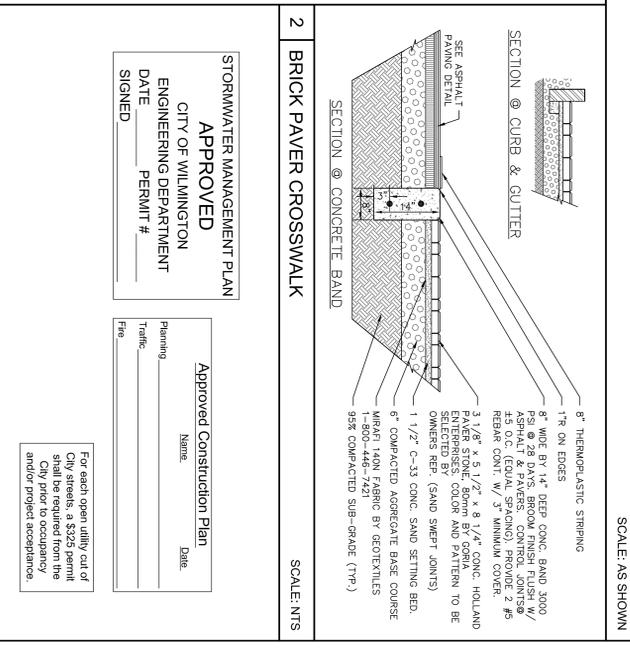
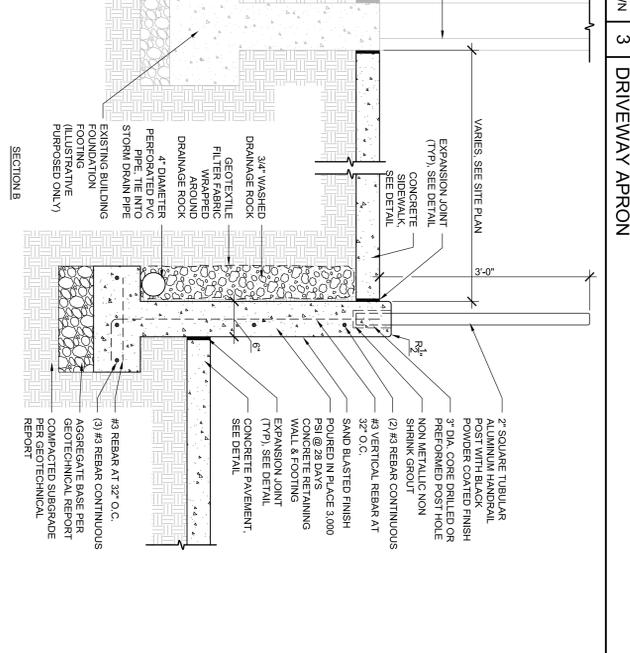
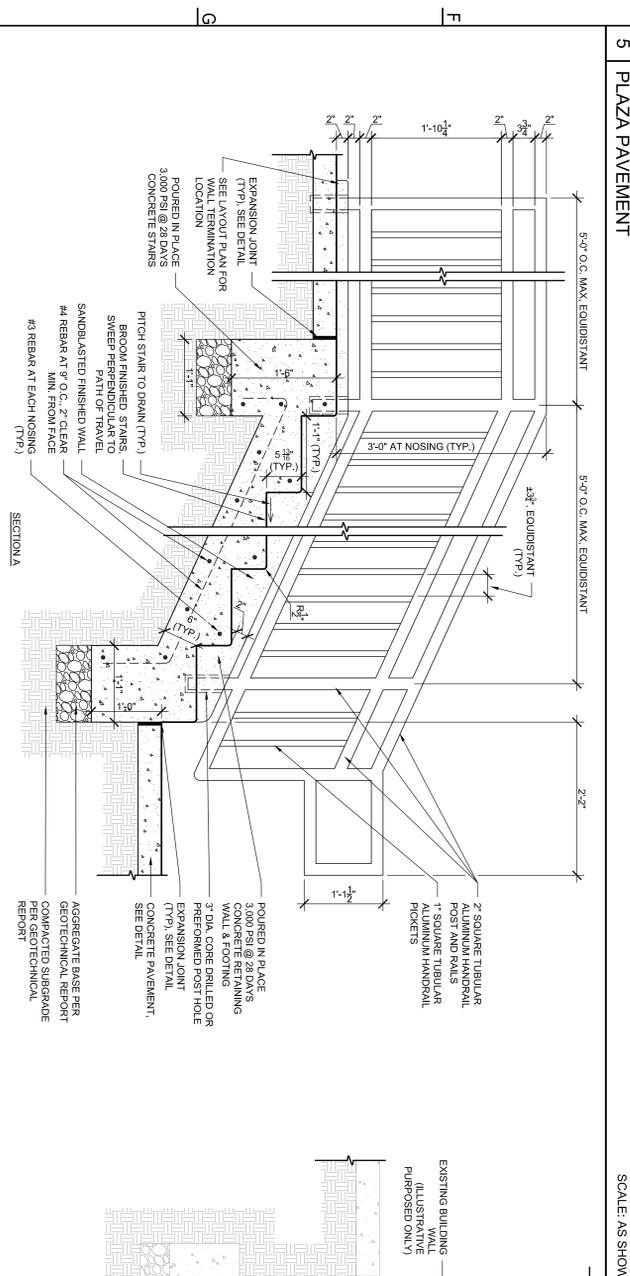
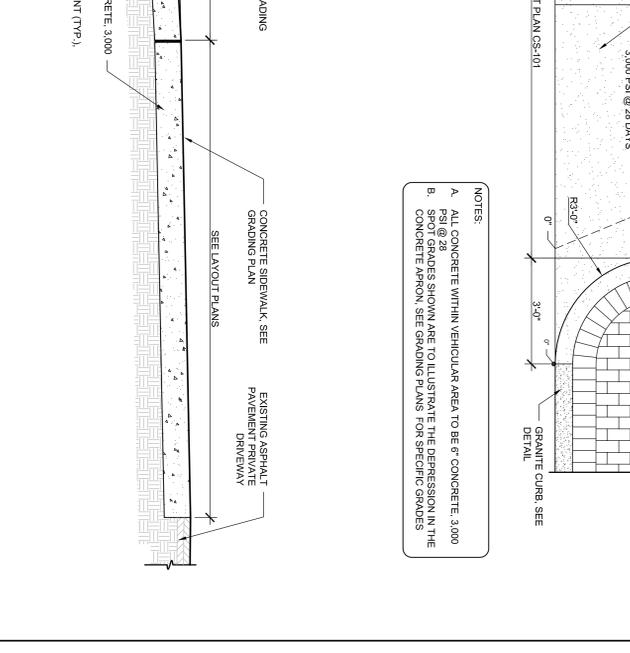
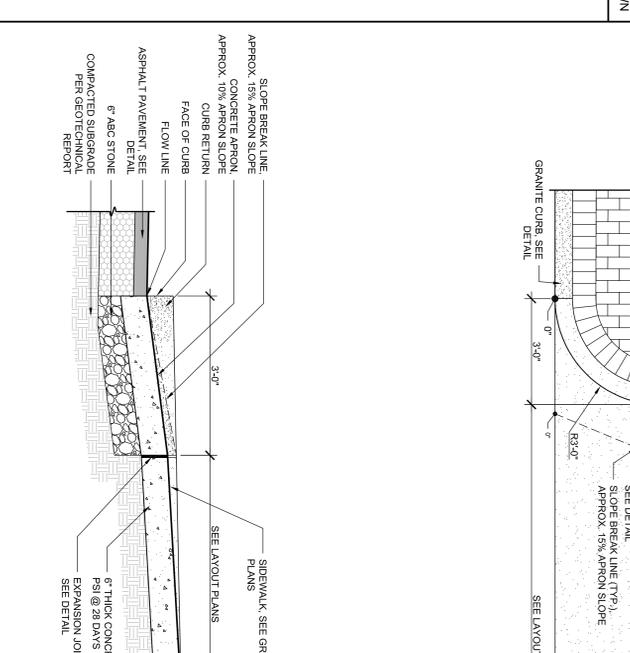
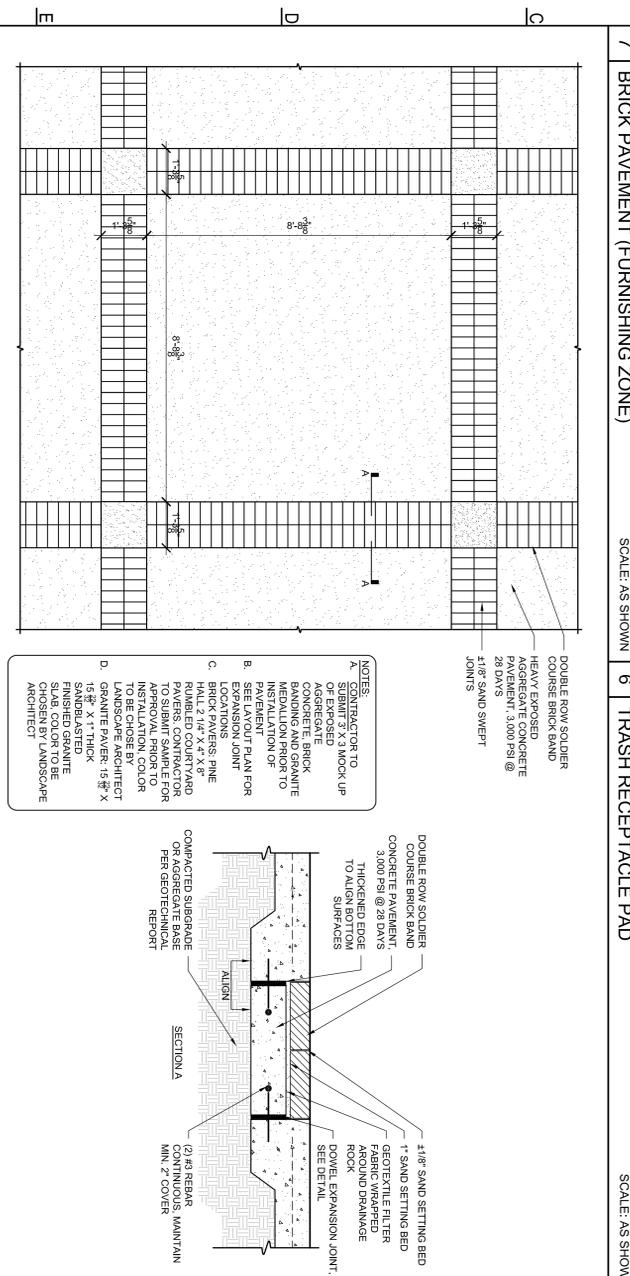
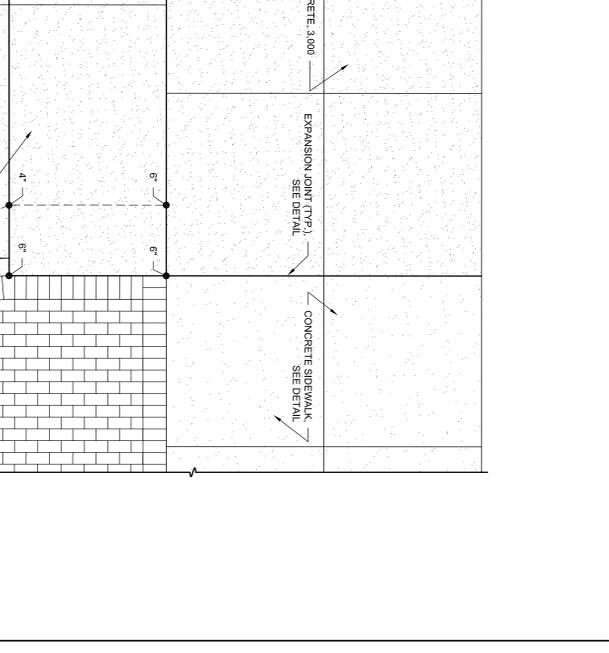
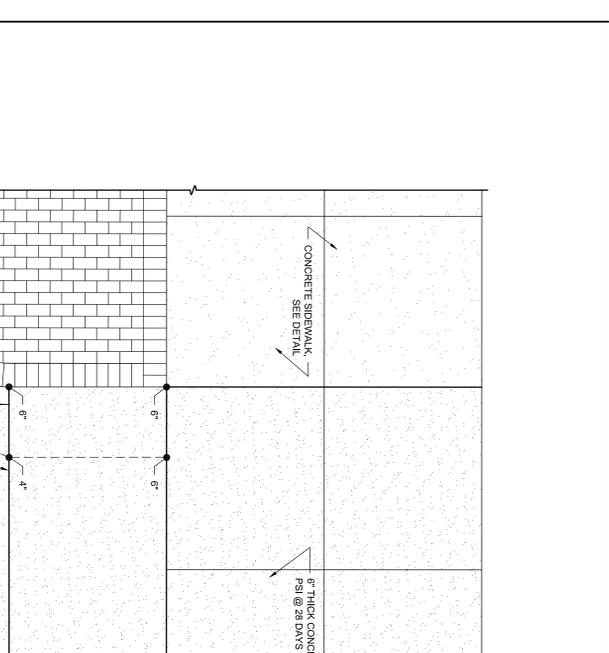
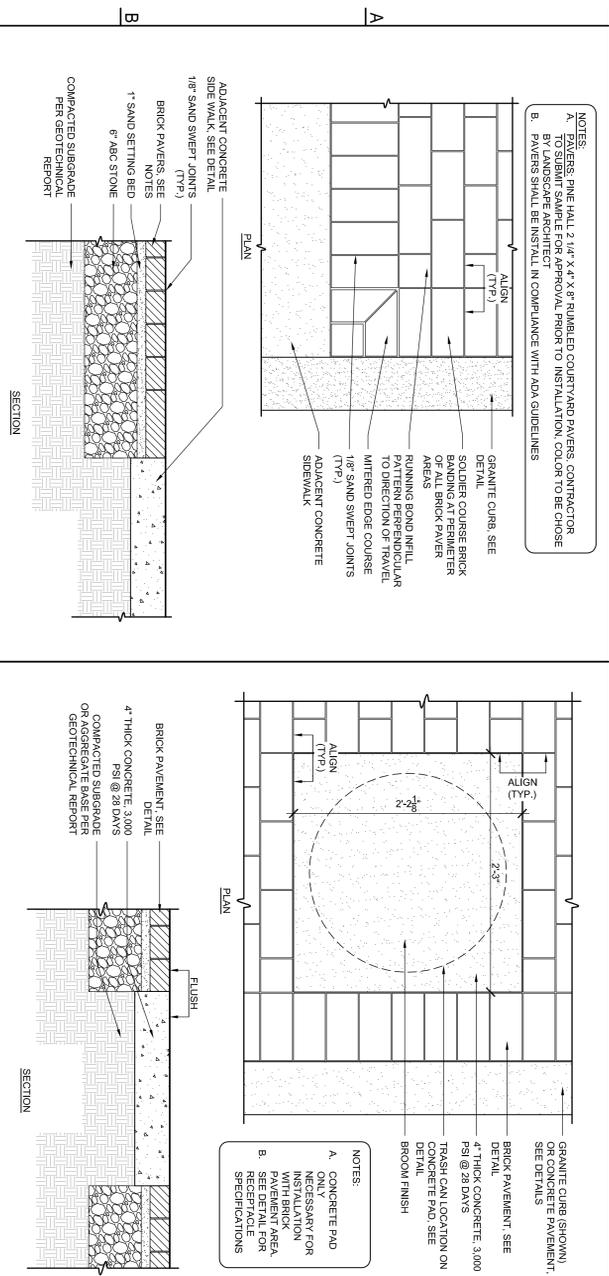
5 SITE PLAN - UPPER LEVEL

4 SITE PLAN - LOWER LEVEL

1 APPROVALS

12





**APPROVALS**

For each open utility cut or City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

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Wilmington, NC 27103  
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**REVISIONS:**

A. CON. TRC. SIMULTAN.	06-23-16
B. FCT. DRG. - UTILITY PLANS	08-25-16
C. NCE/CO./SM. PERMIT	08-25-16
D. TRC. RESUBMITTAL	09-12-16

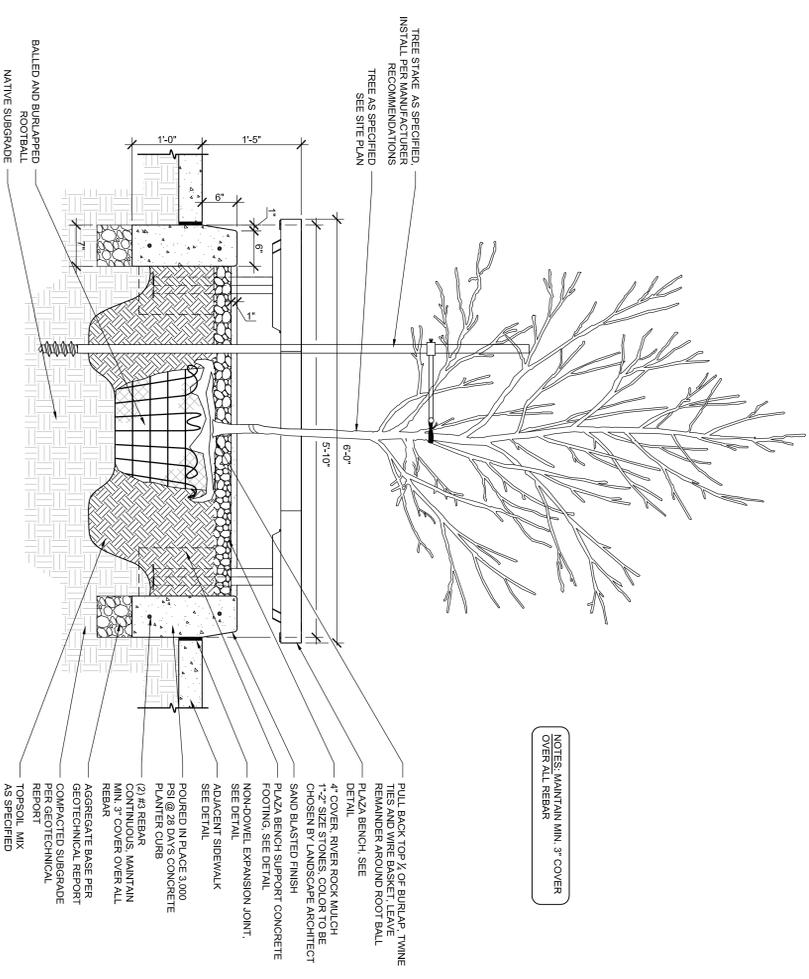
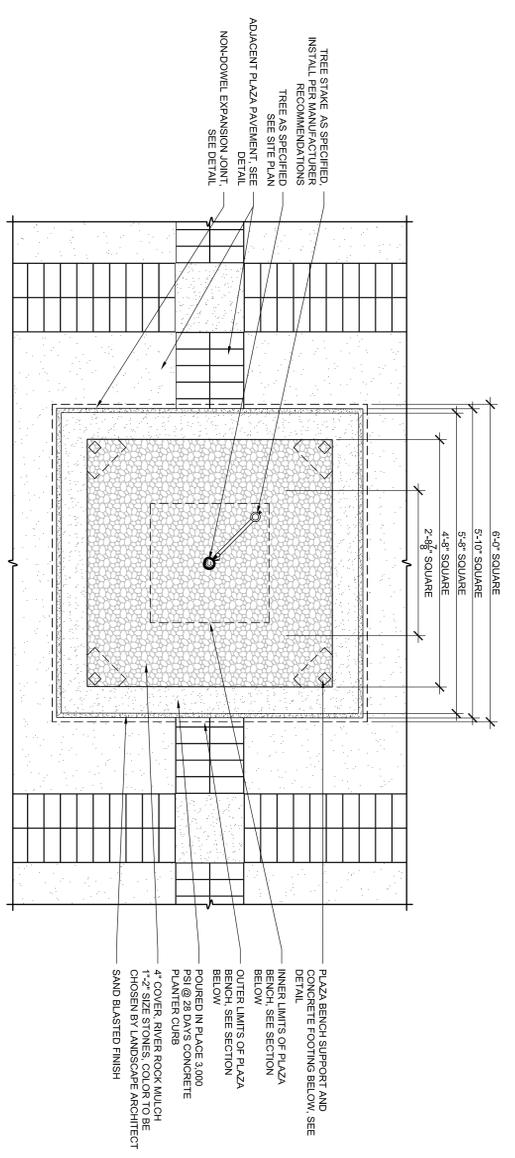
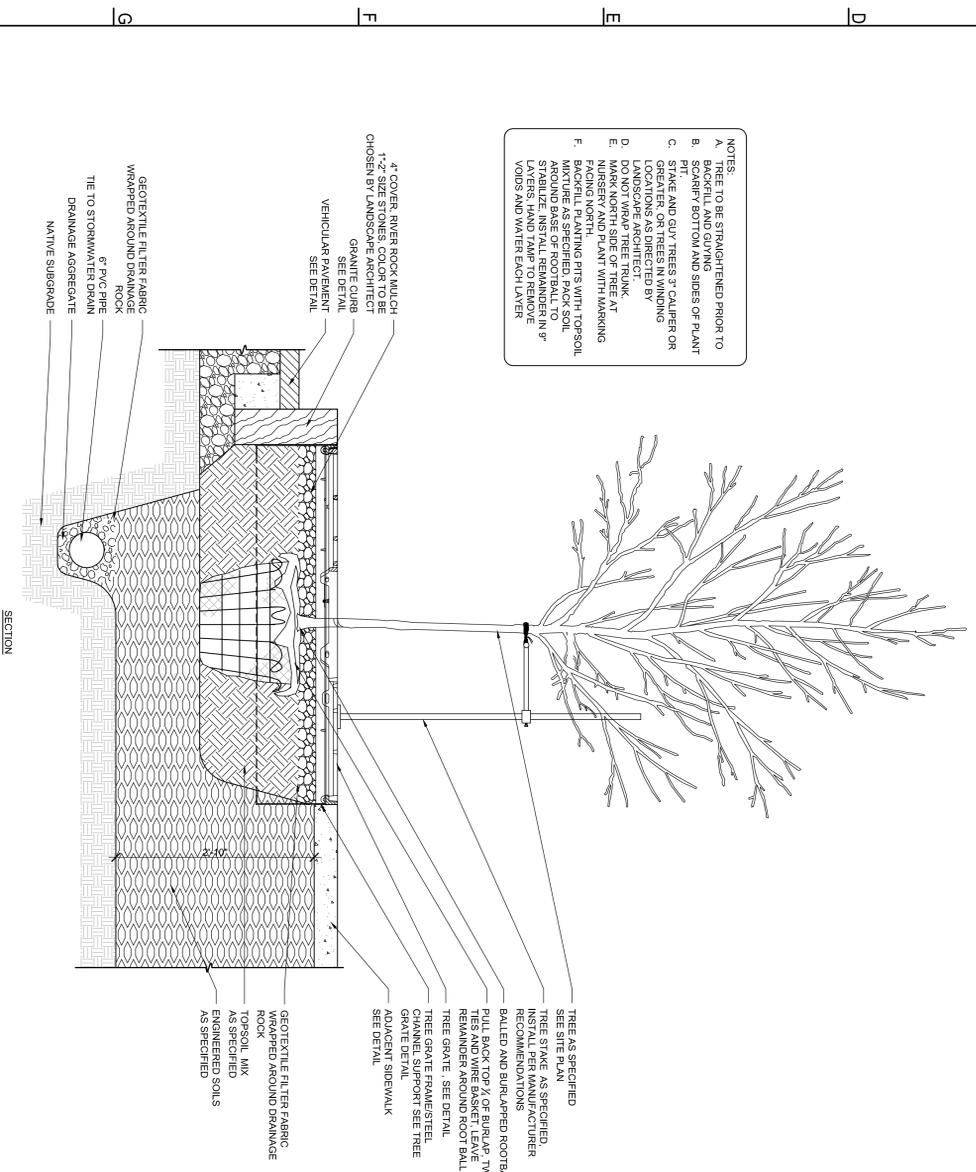
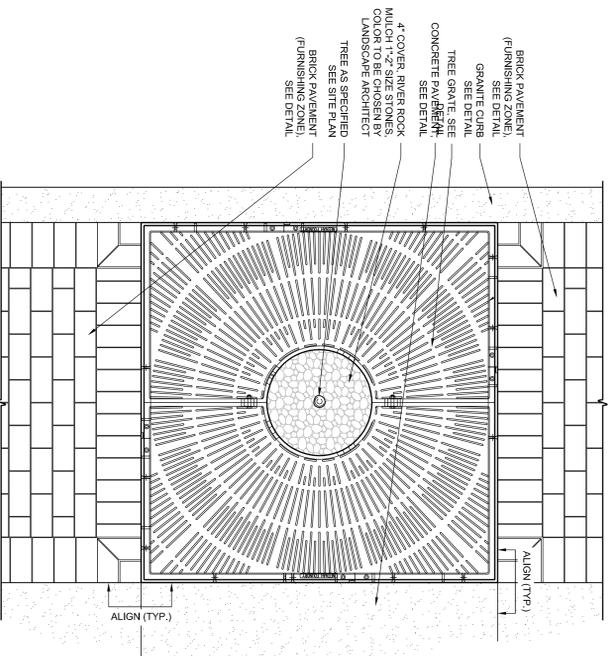
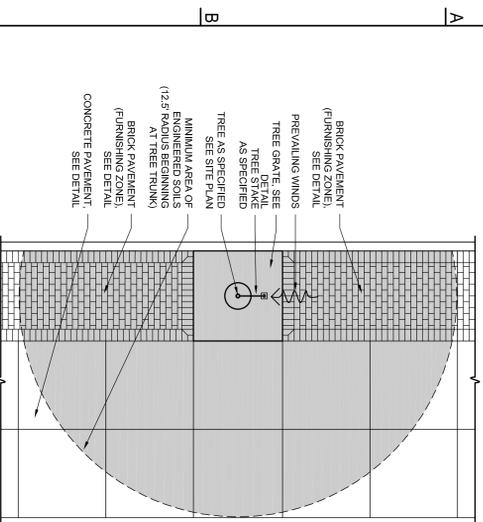
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date: 08-25-2016  
job no. MCE 0205-0001  
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**CS-502**

**SITE DETAILS**



NOTES: MAINTAIN MIN. 3" COVER OVER ALL REBAR

2 PLAZA TREE PLANTER WITH BENCH AND CONCRETE CURB SCALE: AS SHOWN

H 3 STREET TREE PLANTING SCALE: AS SHOWN

1 APPROVALS SCALE: NTS

STORMWATER MANAGEMENT PLAN  
 APPROVED  
 CITY OF WILMINGTON  
 ENGINEERING DEPARTMENT  
 DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_ SIGNED \_\_\_\_\_

Approved Construction Plan  
 Name \_\_\_\_\_ Date \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit City prior to occupancy and/or project acceptance.

TEVISIONS:  
 A. CIV. TRC. SCHEDULE 06-23-16  
 B. FFC DRY-UTILITY PLANS 08-25-16  
 C. MDCO/S/M PERMIT 08-25-16  
 TRC. RESUBMITTAL 09-12-16



RIVERPLACE  
 (Water Street Parking Deck  
 Redevelopment)  
 200 North Water Street, City of Wilmington  
 Wilmington Township  
 New Hanover County, NC 28412

date: 08-25-2016  
 job no. MCE 0205-0001  
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SITE DETAILS

CS-503



**PLANT LEGEND**

LARGE SHADE TREES	BOTANICAL NAME	SHRUBS	BOTANICAL NAME
	ILEX ATTENUATA FOSTERI Foster's Holly		AUCUBA JAPONICA YAMA Japanese Laurel
	QUERCUS VIRGINIANA HIGH RISE High Rise Live Oak		BUXUS MICROPHYLLA WINTERGREEN Wintergreen Boxwood
	LAGERSTROEMIA X TUSCARORA Cape Myrtle Coral Pink		ILEX CREMATA HELEERI Holly Japanese Holly
	SMALL SHADE TREES		BOTANICAL NAME
	LAGERSTROEMIA X TUSCARORA		ASPIDISTRA ELIATOR Cast Iron Plant
	LAGERSTROEMIA X TUSCARORA		VINCA MINOR Common Periwinkle

TREES	COMMON NAME	SIZE	CALIPER	HEIGHT	QTY	REMARKS
LARGE SHADE TREES	FOSTER'S HOLLY	8 & 8	3" CAL.	10'-12' HT.	18	UNIFORM CANOPY & MATCHED SINGLE DOMINANT LEADER.
QUERCUS VIRGINIANA HIGH RISE	HIGH RISE LIVE OAK	8 & 8	2.5" CAL.	12'-14' HT.	17	UNIFORM CANOPY & MATCHED
SMALL SHADE TREES	LAGERSTROEMIA X TUSCARORA	8 & 8	2.5" CAL.	8'-10' HT.	4	REMARKS
LAGERSTROEMIA X TUSCARORA	GRAPE MYRTLE CORAL PINK	8 & 8	2.5" CAL.	8'-10' HT.	3	UNIFORM CANOPY & MATCHED

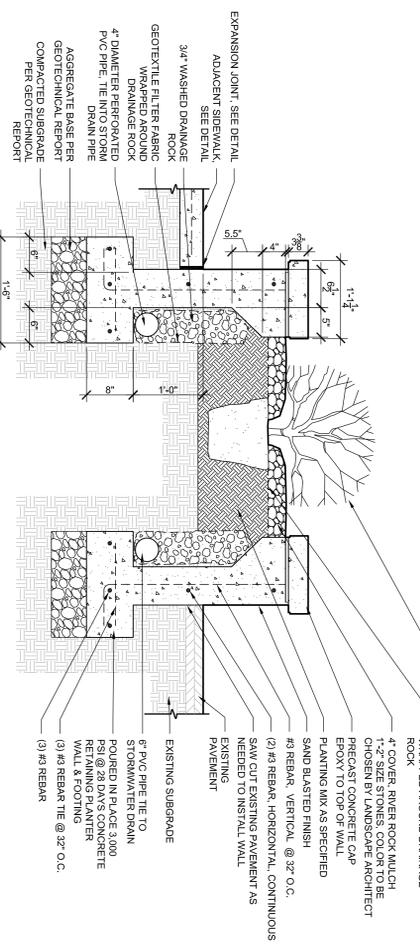
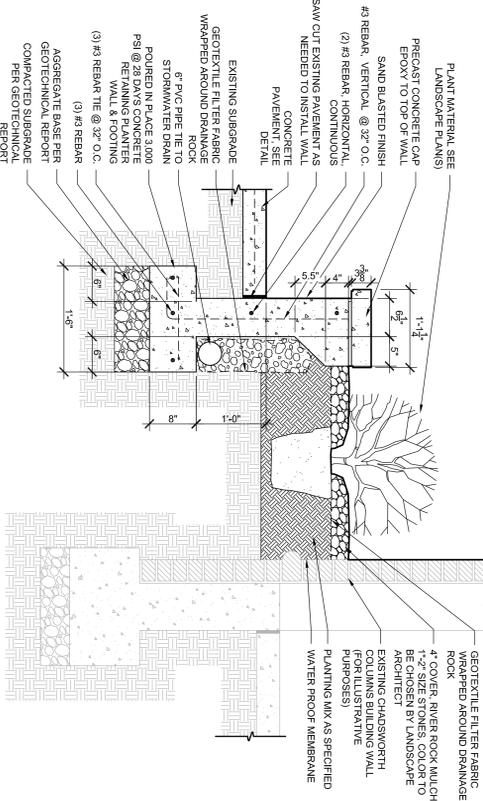
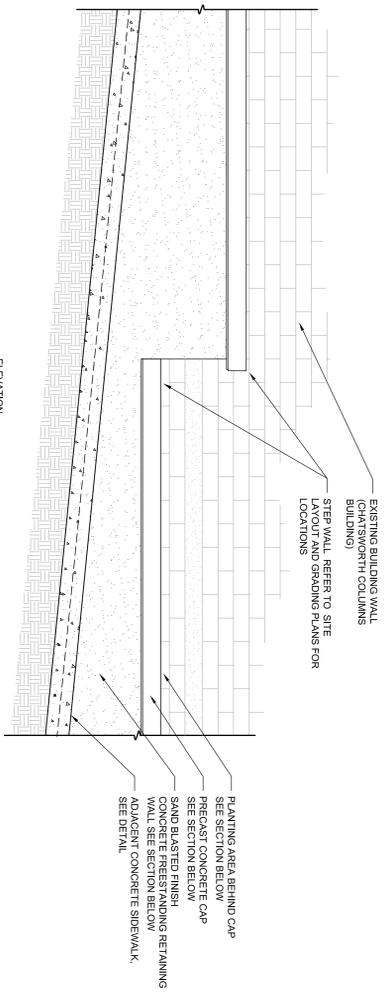
SHRUBS	COMMON NAME	SIZE	HEIGHT	SPREAD	SPACING	QTY	REMARKS
AUCUBA JAPONICA YAMA	JAPANESE LAUREL	3 GAL.	16"-24" HT.	16"-24" SPD.	3' O.C.	2	MATCHED
BUXUS MICROPHYLLA WINTERGREEN	WINTERGREEN BOXWOOD	7 GAL.	24"-30" HT.	24"-30" SPD.	3' O.C.	18	MATCHED
ILEX CREMATA HELEERI	HOLEY JAPANESE HOLLY	7 GAL.	15"-18" HT.	16"-24" SPD.	3' O.C.	46	UNIFORM HEAD & MATCHED

GROUND COVERS	COMMON NAME	SIZE	SPACING	QTY	REMARKS
ASPIDISTRA ELIATOR	CAST IRON PLANT	1 GAL.	30" O.C.	39	
VINCA MINOR	COMMON PERIWINKLE	4" POT	12" O.C.	104	

**4 PLANT SCHEDULE & PLANT LEGEND**

NOT TO SCALE

- NOTES TO SPECING PLANS (S)**
- REFER TO SCHEDULE PLANS FOR PLANT SPECIES AND LOCATIONS.
  - MAINTAIN MIN. 3" COVER OVER ALL REBAR.



**2 PLANTING NOTES**

SCALE: NTS

- ALL VEGETATION THAT IS USED TO MEET LANDSCAPING REQUIREMENTS SHALL BE MAINTAINED BY THE OWNER OF THE PROPERTY ON A CONTINUING BASIS. ANY PLANTED MATERIAL WHICH BECOMES SUCH CONDITION.
- VERIFICATION OF TOTAL LANDSCAPE MATERIAL QUANTITIES AS SHOWN ON THE LANDSCAPE PLANS AND IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING OR INSTALLATION.
- ALL PLANTING TYPES SHALL COMPLY WITH LOCAL GOVERNING CODES AND REGULATIONS, CONFORM TO REQUIREMENTS OF PLANT LIST AND TO THE AMERICAN ASSOCIATION OF NURSERYMEN AMERICAN STANDARD OF NURSERY STOCK AND HORTICULTURAL STANDARDS AS TO SPECIES, AGE, SIZE AND PLANTING RECOMMENDATIONS.
- LANDSCAPE MATERIAL PLACED IN PREPARED HOLES SHALL BE PROPERLY BACKFILLED PRIOR TO THE END OF THE WORKING DAY.
- ALL PREPARED GROUND COVER AND ANNUAL BEDS INSTALLATIONS SHALL BE PROPERLY SOAKED AND MULCHED PRIOR TO THE END OF THE DAY.
- LANDSCAPE ARCHITECT SHALL APPROVE ANY ON-SITE PLANT STORAGE AREA FOR ACCESSIBILITY, SHADE CONDITIONS, HEAVY MULCH MATERIAL AND TEMPORARY WATERING METHODS.
- ALL SOPE AND WRAPPING TYING SHALL BE CUT AND REMOVED FROM AROUND THE UPPER PARTS OF THE ROOT BALL, METAL BASKET WIRES AND BURGLAP SHALL BE PULLED BACK AND TUCKED UNDER THE EDGES OF THE SAUCER RINGS ON ALL TREES AND LARGE SHRUBS. ALL SYNTHETIC BURGLAP SHALL BE REMOVED FROM PLANT BALLS PRIOR TO BACK FILLING.
- ALL PLANT MATERIAL SHALL BE PLANTED AT HEIGHTS AND WIDTHS AS ILLUSTRATED IN PLANTING DETAILS.
- THEE GIVING SHALL BE PERFORMED WITHIN A WEEK OF PLANTING. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TREE GIVING MATERIALS AFTER THE FIRST FULL GROWING SEASON OR ONE YEAR, WHICH EVER COMES FIRST.
- CONTRACTOR SHALL VERIFY LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO PLANTING.
- ANY EXPOSED OR UNCOVERED LINES SHALL BE SHOWN TO GENERAL CONTRACTOR PRIOR TO BACKFILLING.
- ALL MATERIALS, PLANTING AND LANDSCAPE WORK SHALL CONFORM TO THE CURRENT MUNICIPAL AUTHORITIES STANDARD SPECIFICATIONS AND DETAILS.
- FIRST YEAR PRUNING OF TREE CROWN SHALL BE LIMITED TO REMOVAL OF DEAD & DAMAGED WOOD.
- ALL TREES TO HAVE A MINIMUM 2.5" CALIPER AT THE TIME OF PLANTING, UNLESS OTHERWISE INDICATED IN THE PLANTING SPECIFICATION. CALIPER TO BE MEASURED 4\"/>

**STORMWATER MANAGEMENT PLAN**

**APPROVED**

CITY OF WILMINGTON  
ENGINEERING DEPARTMENT

DATE: \_\_\_\_\_ PERMIT # \_\_\_\_\_

SIGNED: \_\_\_\_\_

Approved Construction Plan

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning: \_\_\_\_\_

Traffic: \_\_\_\_\_

File: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**RIVERPLACE**  
(Water Street Parking Deck Redevelopment)

200 North Water Street, City of Wilmington  
Wilmington Township  
New Hanover County, NC 28412

**MCKIM & CREED**

243 North Front Street  
Wilmington, North Carolina 28401  
Phone: (910) 343-3344 Fax: (910) 251-8282  
www.mckimcreed.com

date: 08-25-2016  
job no. MCE 0205-0001  
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**DMA Architecture PLLC**

3804 Knollwood Street, Suite 114  
Wilmington, NC 27103  
Phone: 336-723-6360  
dismark@dma.com

**CS-504**

SITE DETAILS

**A** Bollard R-7576

**Options:**  
 REFERENCE FOOTING  
 COLLAR: 1/2\"/>

**B**

**C** **Options:**  
 SIZE: 3/4\"/>

**D** **BOLLARD** SCALE: NTS

**E**

**F**

**G**

**H**

**1** **TRASH & RECYCLING RECEPTACLE** SCALE: NTS

**2**

**3**

**4** **PLAZA BENCH** SCALE: NTS

**5**

**6**

**7**

**8**

**9**

**1** **PROJECT BENCH** SCALE: NTS

**2**

**3**

**4**

**5**

**6**

**7**

**8**

**9**

**1** **BIKE RACK** SCALE: NTS

**2**

**3**

**4**

**5**

**6**

**7**

**8**

**9**

**1** **APPROVALS** SCALE: NTS

**2**

**3**

**4**

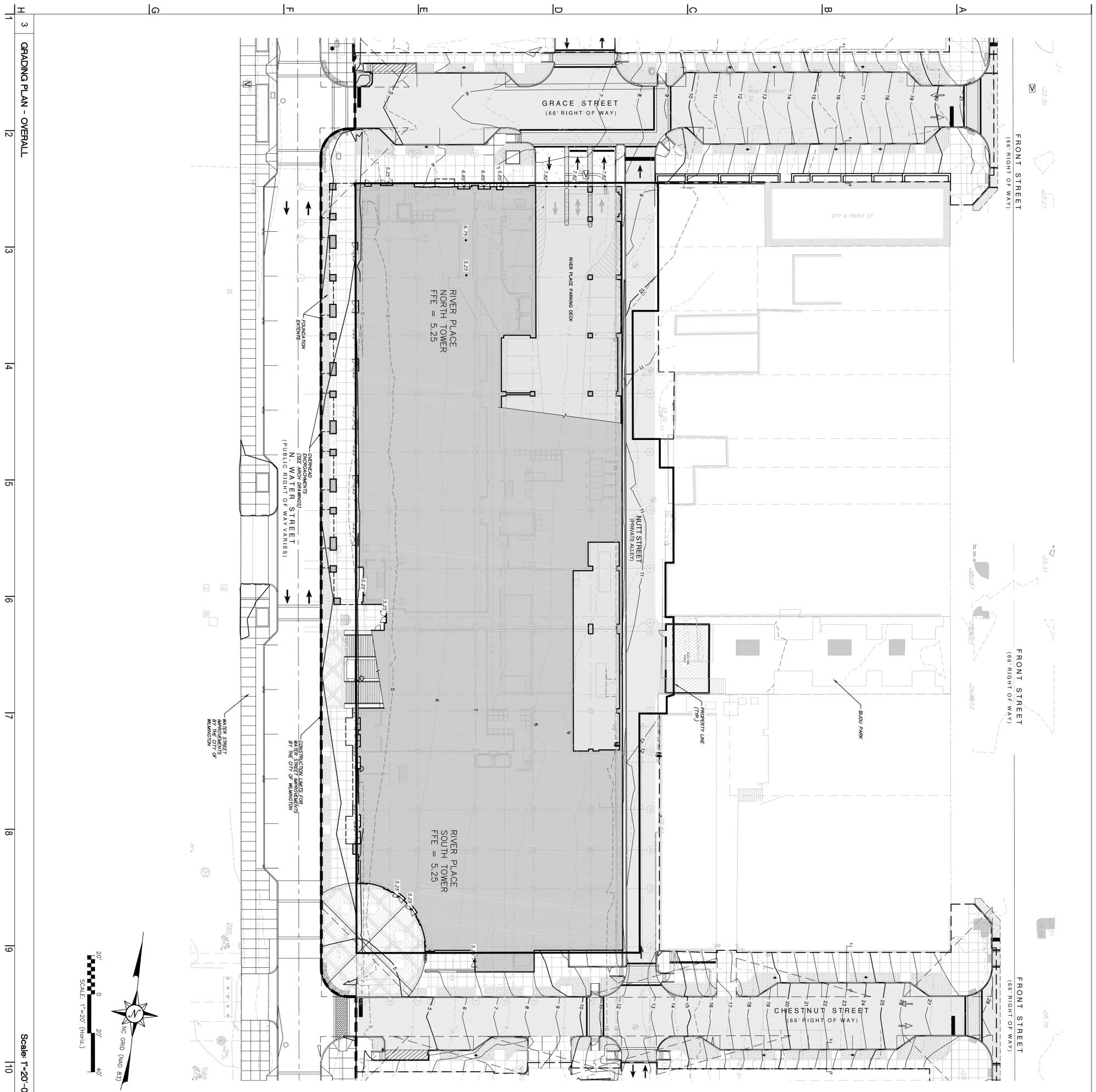
**5**

**6**

**7**

**8**

**9**



<p><b>8 SECTION D-D</b></p> <p>Labels: WALKWAY, WALL, EXPANSION JOINT, SCORED CONCRETE (WITH WARRING), 4" BRICK STRIP, 6" GRANITE CURB, 1.5% SLOPE.</p>	<p><b>7 SECTION C-C</b></p> <p>Labels: EXPANSION JOINT, PAVEMENT SECTION, 18" SEAT WALL, 6" GRANITE CURB, 1.5% SLOPE, SCORED CONCRETE (WITH WARRING), 4" BRICK STRIP.</p>	<p><b>6 SECTION B-B</b></p> <p>Labels: EXPANSION JOINT, PAVEMENT SECTION, 1.5% SLOPE, SCORED CONCRETE (WITH WARRING), 4" BRICK STRIP, 6" GRANITE CURB.</p>	<p><b>5 SECTION A-A</b></p> <p>Labels: EXPANSION JOINT, PAVEMENT SECTION, 1.5% SLOPE, SCORED CONCRETE (WITH WARRING), 4" BRICK STRIP, 6" GRANITE CURB, 0.50' VARIATION, 4.00' SEE PLANS, 2% SLOPE.</p>	<p><b>4 CHESTNUT STREET TYPICAL SECTION - NTS</b></p> <p>NOTE: SECTION SHOWS DRIVE AISLE ONLY. EXTEND PAVEMENT SECTION AT 1.5% CROSS SLOPE AS NEEDED FOR AREAS WITH PARKING.</p> <p>Labels: EXISTING FENCE, SCORED CONCRETE, BRICK STRIP (WARRING), 6" GRANITE CURB, SHEET CS-501, 1.5% SLOPE, 10.00' DRIVE AISLE, 21.00' TOTAL WIDTH, 0.50' VARIATION, 4.00' SEE PLANS, 2% SLOPE.</p>	<p><b>3 GRACE STREET TYPICAL SECTION - NTS</b></p> <p>NOTE: SECTION SHOWS DRIVE AISLE ONLY. EXTEND PAVEMENT SECTION AT 1.5% CROSS SLOPE AS NEEDED FOR AREAS WITH PARKING.</p> <p>Labels: EXISTING FENCE, SCORED CONCRETE, BRICK STRIP (WARRING), 6" GRANITE CURB, SHEET CS-501, 1.5% SLOPE, 10.00' DRIVE AISLE, 21.00' TOTAL WIDTH, 0.50' VARIATION, 4.00' SEE PLANS, 2% SLOPE.</p>	<p><b>2 NOTES</b></p> <ol style="list-style-type: none"> <li>1. ARCHITECTURAL INFORMATION SHOWN FOR INFORMATIONAL PURPOSES ONLY. SEE ARCHITECTURAL DRAWINGS FOR DETAILED INFORMATION.</li> <li>2. FOUNDATION INFORMATION SHOWN FOR INFORMATIONAL PURPOSES ONLY. SEE FOUNDATION DRAWINGS FOR DETAILED INFORMATION.</li> <li>3. ALL HARDSCAPE MUST MEET ADA STANDARDS.</li> <li>4. ADA ACCESSIBLE RAMPS AND ASSOCIATED CROSSWALKS ARE REQUIRED AT ALL STREET INTERSECTIONS.</li> <li>5. NEW PAVEMENT CROSS SECTION WILL BE 8" AGC WITH 3" 593.5A. ALL EXISTING PAVEMENT 2" AND OVERLAY WITH 2" 593.5A.</li> <li>6. NEW CURB TO BE 6" GRANITE CURB TO MEET CITY TECHNICAL STANDARD DETAIL SP 3-11.</li> <li>7. NEW CONCRETE SIDEWALK TO BE 4" THICK, 3000 PSI.</li> </ol>	<p><b>1 APPROVALS</b></p> <p><b>STORMWATER MANAGEMENT PLAN</b></p> <p>APPROVED CITY OF WILMINGTON ENGINEERING DEPARTMENT DATE _____ PERMIT # _____ SIGNED _____</p> <p>Approved Construction Plan Name _____ Date _____ Title _____ File # _____</p> <p>For each open utility cut of 6" or larger, a 3x20" permit sign shall be posted in the City prior to occupancy, and/or project acceptance.</p>
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DMA Architecture PLC  
3804 Knollwood Street, Suite 174  
Wilmington, NC 27110  
Phone: 336-723-6360  
distributormc.com

MCKIM & CREED  
243 North Front Street  
Wilmington, North Carolina 28401  
Phone: 910-343-1046, Fax: (910)251-8282  
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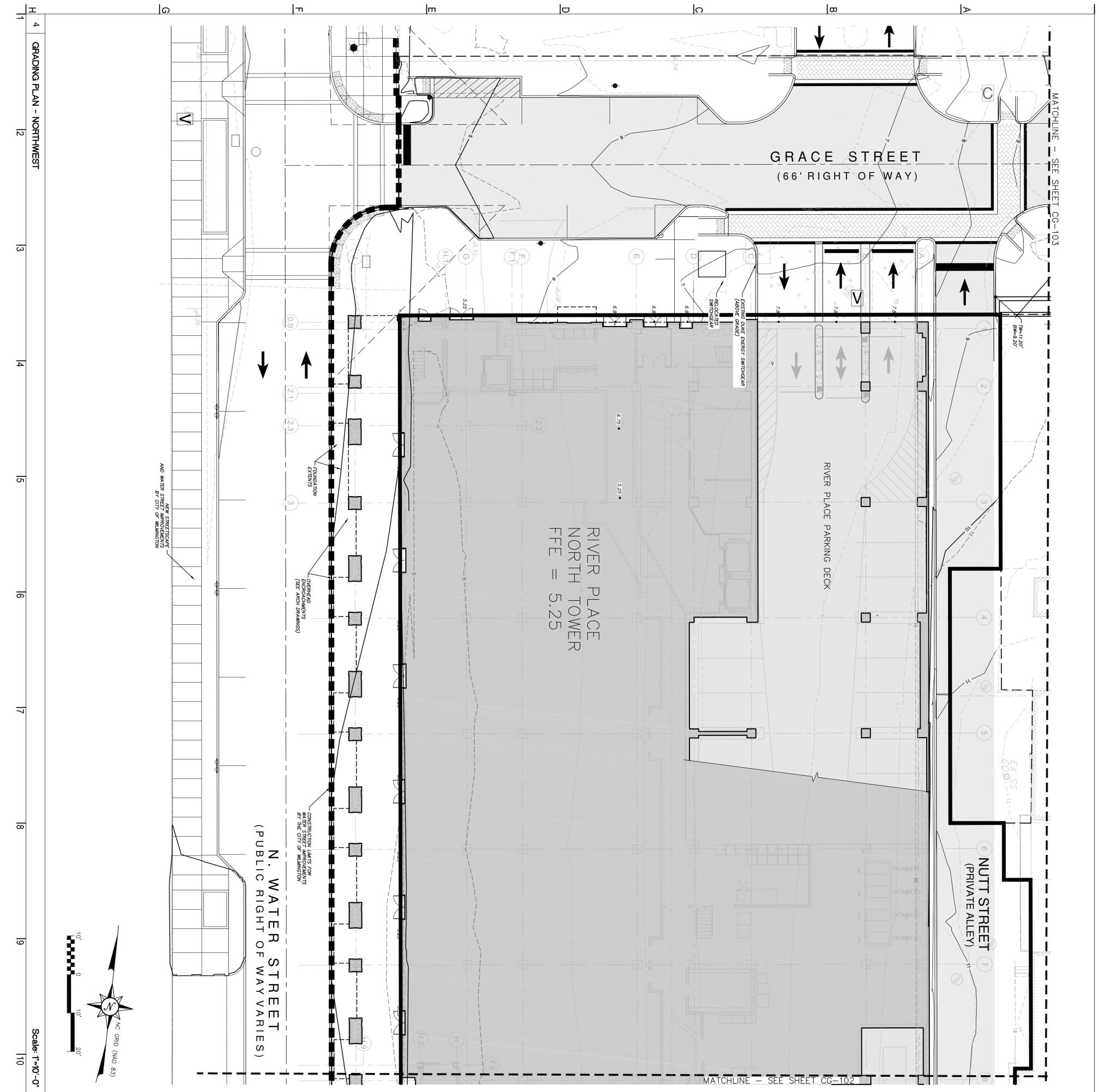
**RIVERPLACE**  
(Water Street Parking Deck  
Redevelopment)

200 North Water Street, City of Wilmington  
Wilmington Township  
New Hanover County, NC 28412

date: 08-25-2016  
job no. MCE 0205-0001  
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OVERALL  
GRADING PLAN

# CG-100



**2 NOTES**

1. ARCHITECTURAL INFORMATION SHOWN FOR INFORMATIONAL PURPOSES ONLY. SEE ARCHITECTURAL DRAWINGS FOR DETAILED INFORMATION.
2. FOUNDATION INFORMATION SHOWN FOR INFORMATIONAL PURPOSES ONLY. SEE FOUNDATION DRAWINGS FOR DETAILED INFORMATION.

**STORMWATER MANAGEMENT PLAN**

**APPROVED**  
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
SIGNED \_\_\_\_\_

**Approved Construction Plan**

Name	Date
Planning _____	_____
Title _____	_____
File _____	_____

For each open utility cut or other disturbance, a signed permit shall be obtained from the City prior to occupancy, and/or project acceptance.

**ENLARGED GRADING PLAN (NW)**

# CG-101

**RIVERPLACE**  
(Water Street Parking Deck Redevelopment)

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**DMA Architecture PLLC**

3804 Knollwood Street, Suite 174  
Wilmington, NC 27103  
Phone: 336-773-6360  
dismarkinc.com

**MCKIM & CREED**

243 North Front Street  
Wilmington, North Carolina 28401  
Phone: (810)343-1046 Fax: (810)251-8282  
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**REVISIONS:**

A. CIV. TRC SUBMITTAL	06-29-16
B. FIC DRY-UTILITY PLANS	08-25-16
C. NCCO/SWM PERMIT	08-25-16
C. TRC RESUBMITTAL	09-12-16

date: 08-25-2016  
job no. MCE 0205-0001  
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dismark@dma.com



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Wilmington, North Carolina 28401  
Phone: (810)343-1046 Fax: (810)251-8282  
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REVISIONS:

- A. CIV. TRC SUBMITTAL 06-23-16
- B. FIC DRY-UTILITY PLANS 08-25-16
- C. NCCO/SWM PERMIT 08-25-16
- D. TRC RESUBMITTAL 09-12-16

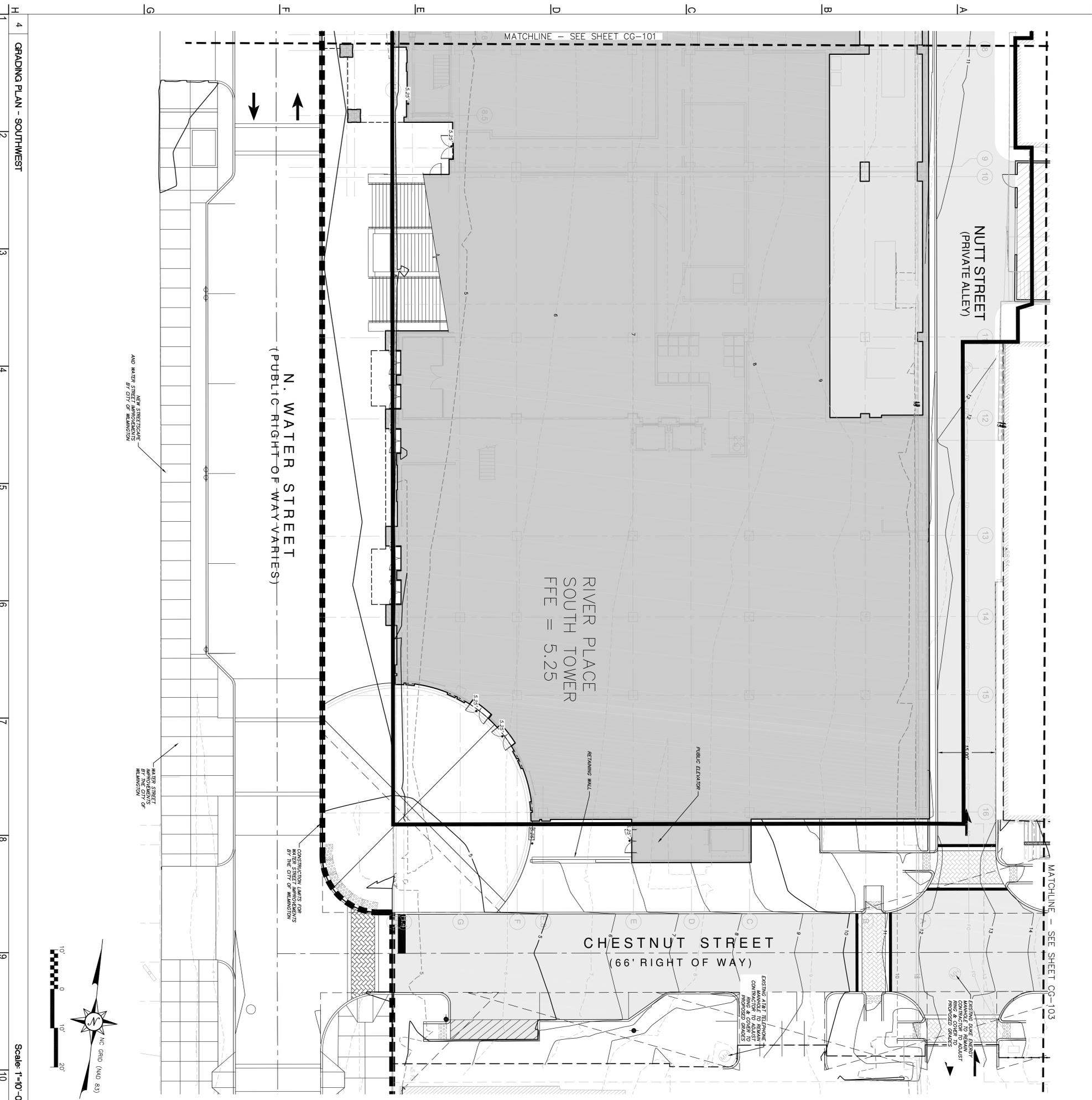
# RIVERPLACE (Water Street Parking Deck Redevelopment)

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date: 08-25-2016  
job no. MCE 0205-0001  
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ENLARGED  
GRADING PLAN (SW)

# CG-102



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2. FOUNDATION INFORMATION SHOWN FOR INFORMATIONAL PURPOSES ONLY. SEE FOUNDATION DRAWINGS FOR DETAILED INFORMATION.

2 NOTES

**STORMWATER MANAGEMENT PLAN**  
**APPROVED**  
 CITY OF WILMINGTON  
 ENGINEERING DEPARTMENT  
 DATE PERMIT #  
 SIGNED

**Approved Construction Plan**

Planning	NAME	DATE
Traffic		
File		

For each open utility cut or other disturbance, a signed permit shall be obtained from the City prior to occupancy, and/or project acceptance.

H 4 GRADING PLAN - SOUTHWEST 1 2 3 4 5 6 7 8 9 10 Scale: 1"=10'-0" 1 APPROVALS 11 12



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3804 Knollwood Street, Suite 174  
Wilmington, NC 27103  
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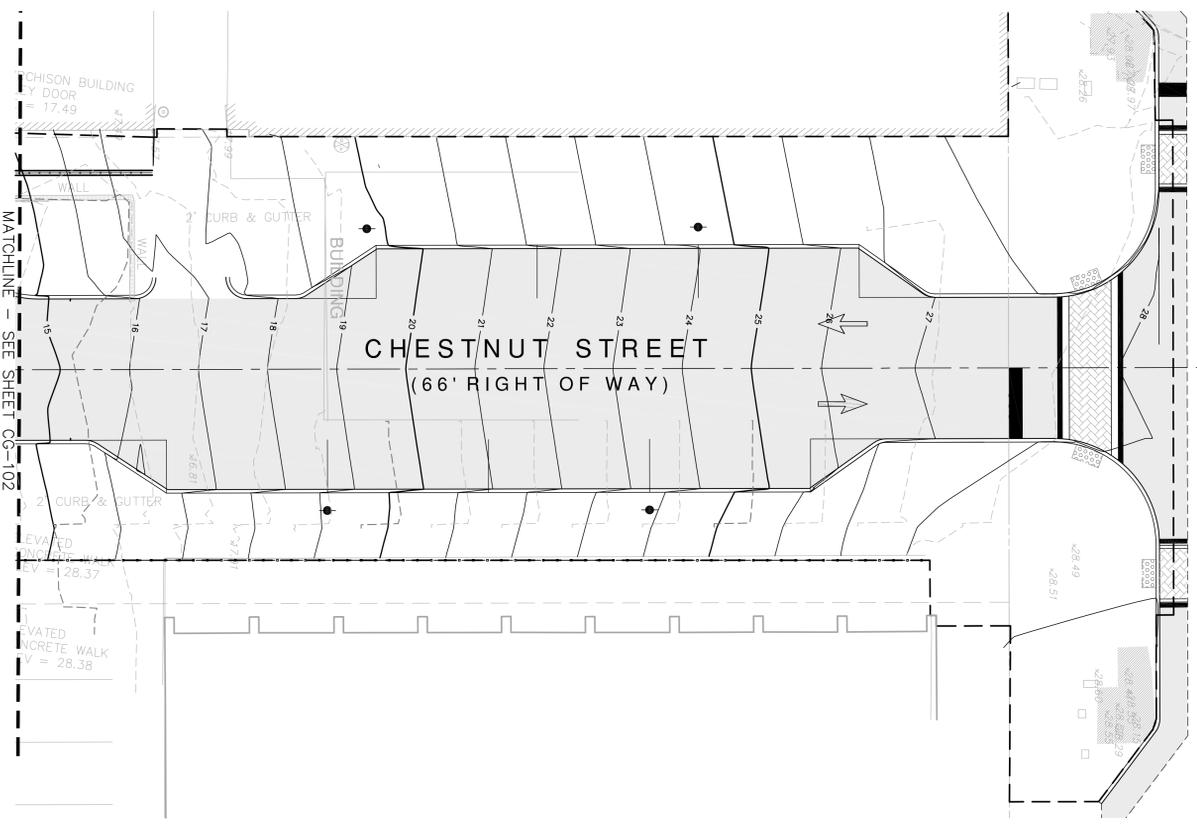
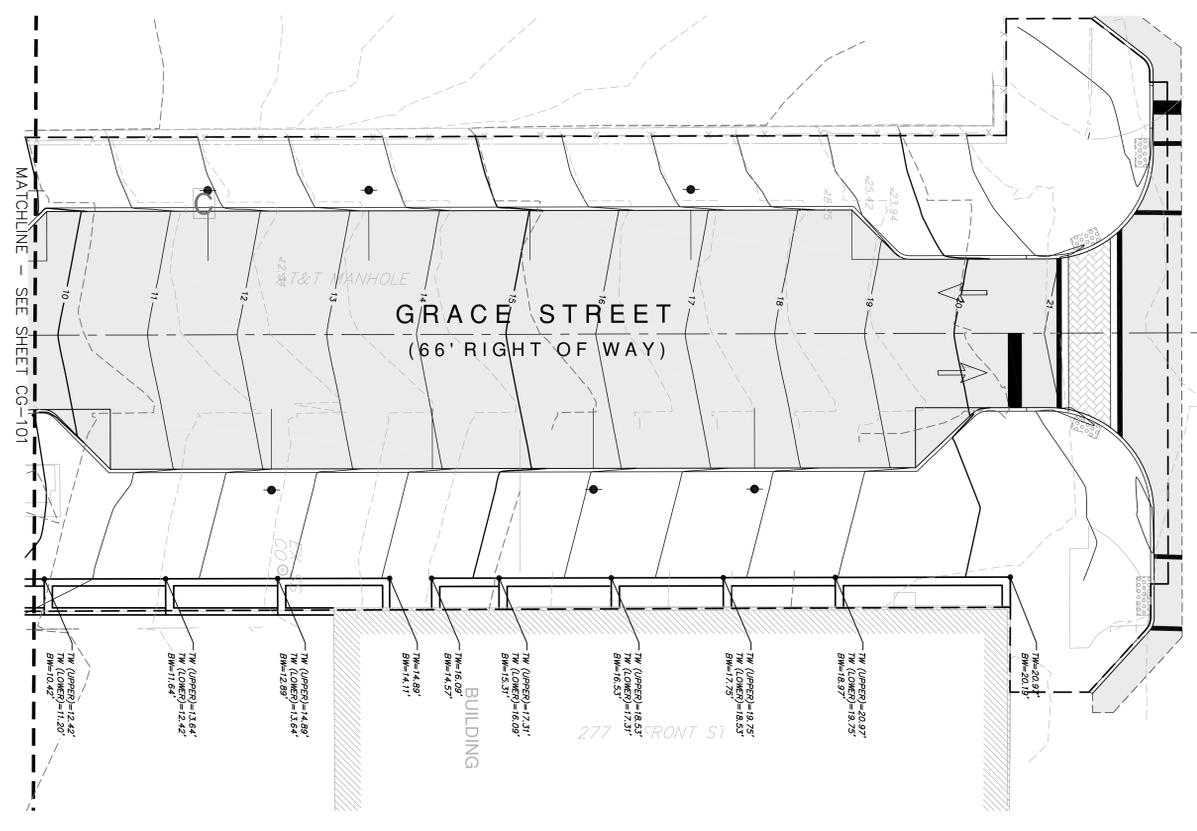
REVISIONS:  
A. CIVIL TRC SUBMITTAL 06-29-16  
B. FIC DRY-UTILITY PLANS 08-25-16  
C. NCECO/SMM PERMIT 08-25-16  
D. TRC RESUBMITTAL 09-12-16

**RIVERPLACE**  
(Water Street Parking Deck  
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200 North Water Street, City of Wilmington  
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date: 08-25-2016  
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ENLARGED  
GRADING PLAN (NE&SE)

CG-103



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2. FOUNDATION INFORMATION SHOWN FOR INFORMATIONAL PURPOSES ONLY. SEE FOUNDATION DRAWINGS FOR DETAILED INFORMATION.

**2 NOTES**

**STORMWATER MANAGEMENT PLAN**

**APPROVED**  
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE PERMIT #  
SIGNED

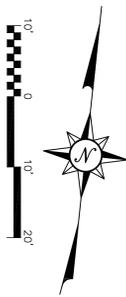
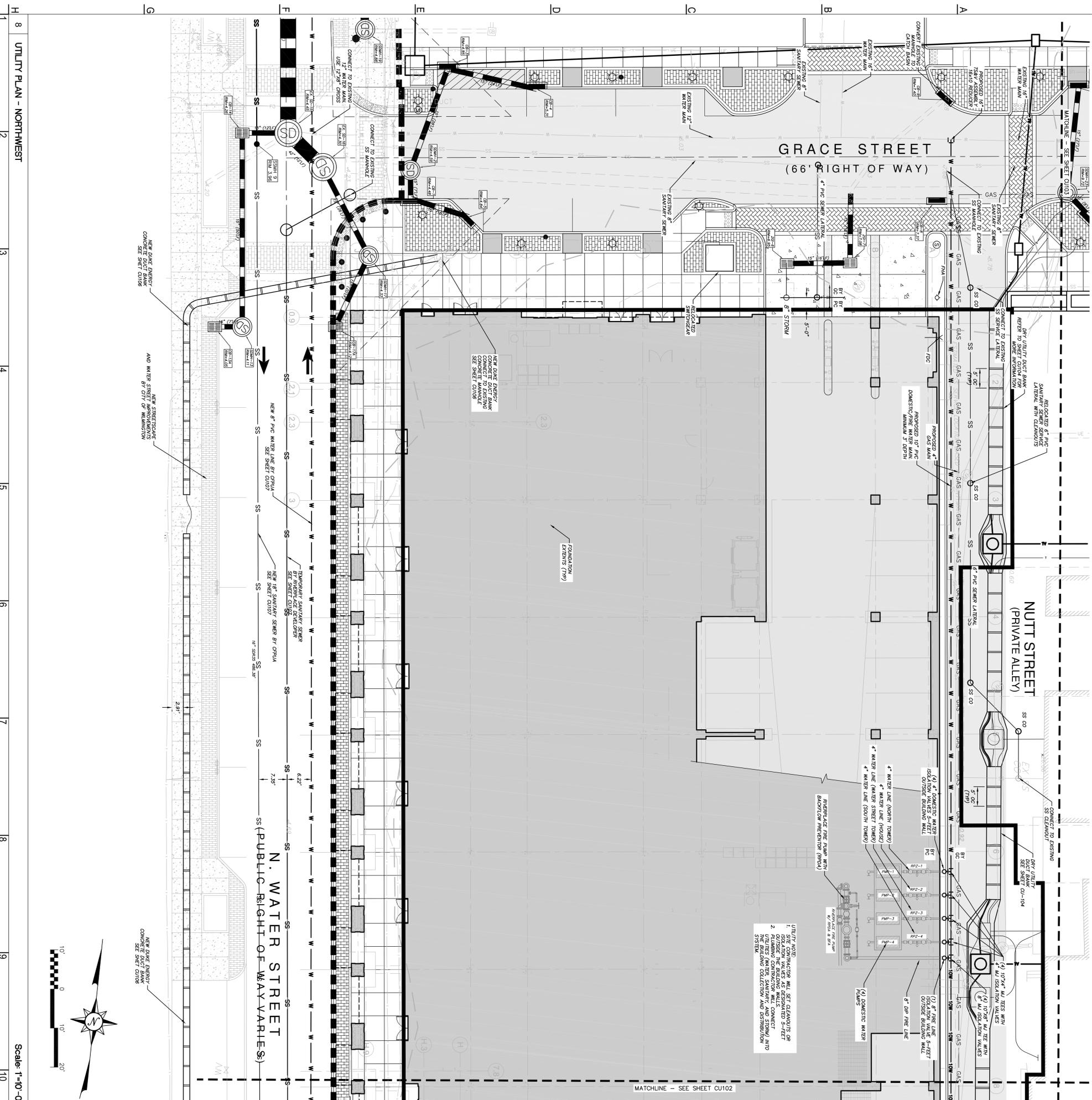
Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
File \_\_\_\_\_

For each open utility cut or other disturbance a signed permit shall be obtained from the City prior to occupancy, and/or project acceptance.

H 4 GRADING PLAN - NORTHEAST 1 2 3 4 5 Scale: 1"=10'-0"

G 3 GRADING PLAN - SOUTHEAST 6 7 8 9 10 Scale: 1"=10'-0"

F 1 APPROVALS 11 12



**UTILITY NOTES:**  
 1. SITE CONTRACTOR WILL SET CLEANOUTS OR ISOLATION VALVES 5'-FEET OUTSIDE THE BUILDING WALLS.  
 2. PLUMBING CONTRACTOR WILL CONNECT INTO THE BUILDING COLLECTION AND DISTRIBUTION SYSTEM.

**ESTIMATED WATER & SANITARY DEMAND**

PROPOSED USE	EXISTING FLOW (GPD)	REQUIREMENT	FLOW (GAL.)
RETAIL (33,990 SF)	0 (SURFACE PARKING)	100 GALLONS/1000 SF	3,399
1-BEDROOM APARTMENT (103 UNITS)	0 (SURFACE PARKING)	360 GALLONS/UNIT	37,080
2-BEDROOM APARTMENT (68 UNITS)	0 (SURFACE PARKING)	360 GALLONS/UNIT	24,480
<b>TOTAL</b>			<b>64,959</b>

- 3 WATER AND SANITARY DEMAND TABLE**
- ARCHITECTURAL INFORMATION SHOWN FOR INFORMATIONAL PURPOSES ONLY. SEE ARCHITECTURAL DRAWINGS FOR DETAILED INFORMATION.
  - FOUNDATION INFORMATION SHOWN FOR INFORMATIONAL PURPOSES ONLY. SEE FOUNDATION DRAWINGS FOR DETAILED INFORMATION.
  - SEE SHEET G-001 FOR ADDITIONAL NOTES.

**2 NOTES**

**STORMWATER MANAGEMENT PLAN**  
**APPROVED**  
 CITY OF WILMINGTON  
 ENGINEERING DEPARTMENT  
 DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
 SIGNED \_\_\_\_\_

Approved Construction Plan  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Title \_\_\_\_\_ File # \_\_\_\_\_

**1 APPROVALS**

111  
112

For each open utility cut of 36\"/>

**CU-101**

ENLARGED  
 UTILITY PLAN (NW)

date: 08-25-2016  
 job no. MCE 0205-0001  
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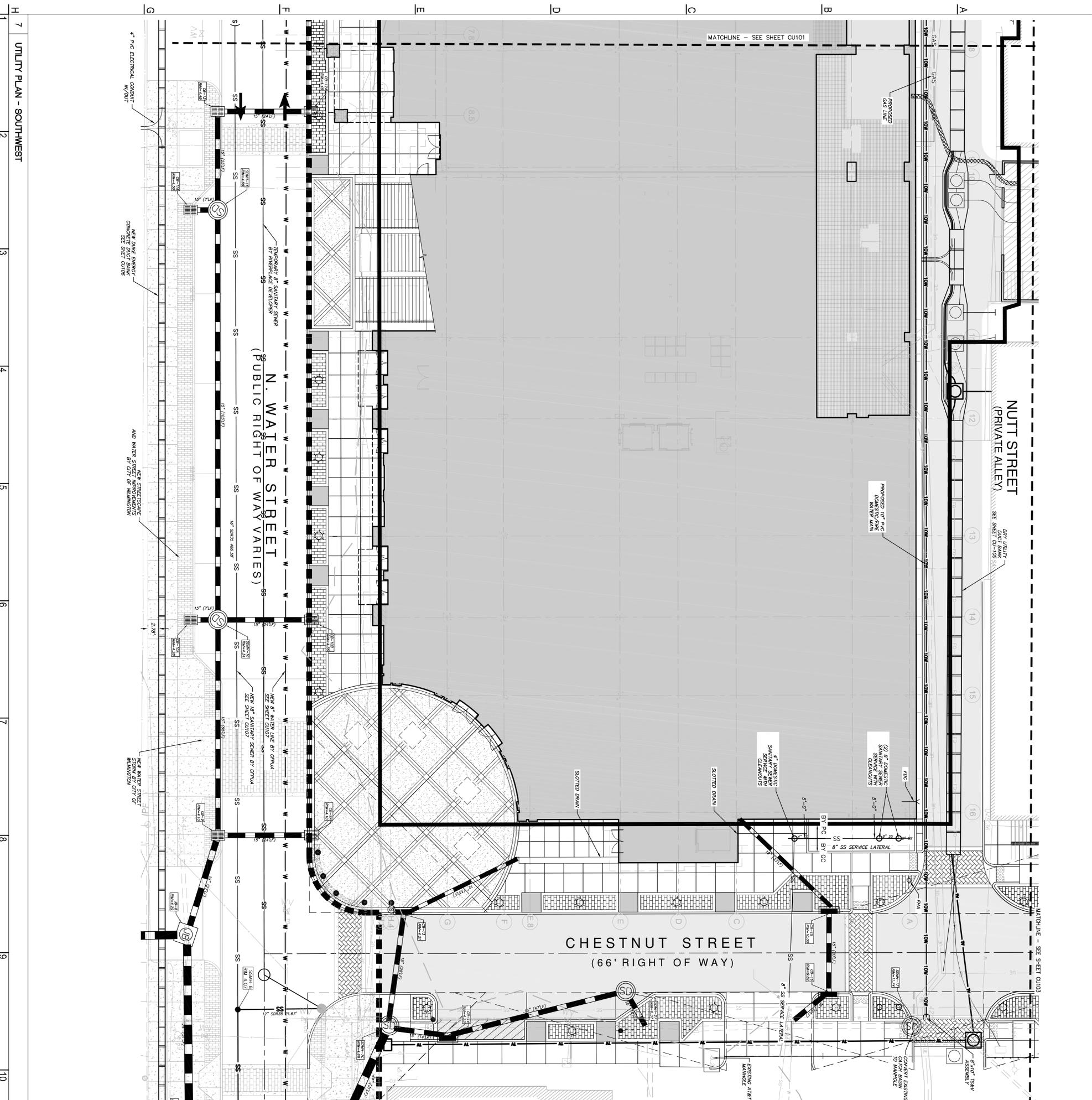
**REVISIONS:**

NO.	DESCRIPTION	DATE
A	CON TRC SUBMITTAL	06-29-16
B	FCC DRY-UTILITY PLANS	08-25-16
C	NOC/O/S/M PERMIT	08-25-16
C	TRC RESUBMITTAL	09-12-16

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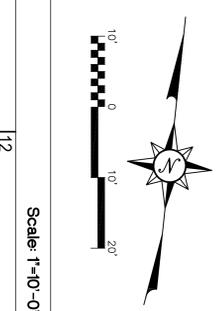
**1 APPROVALS**

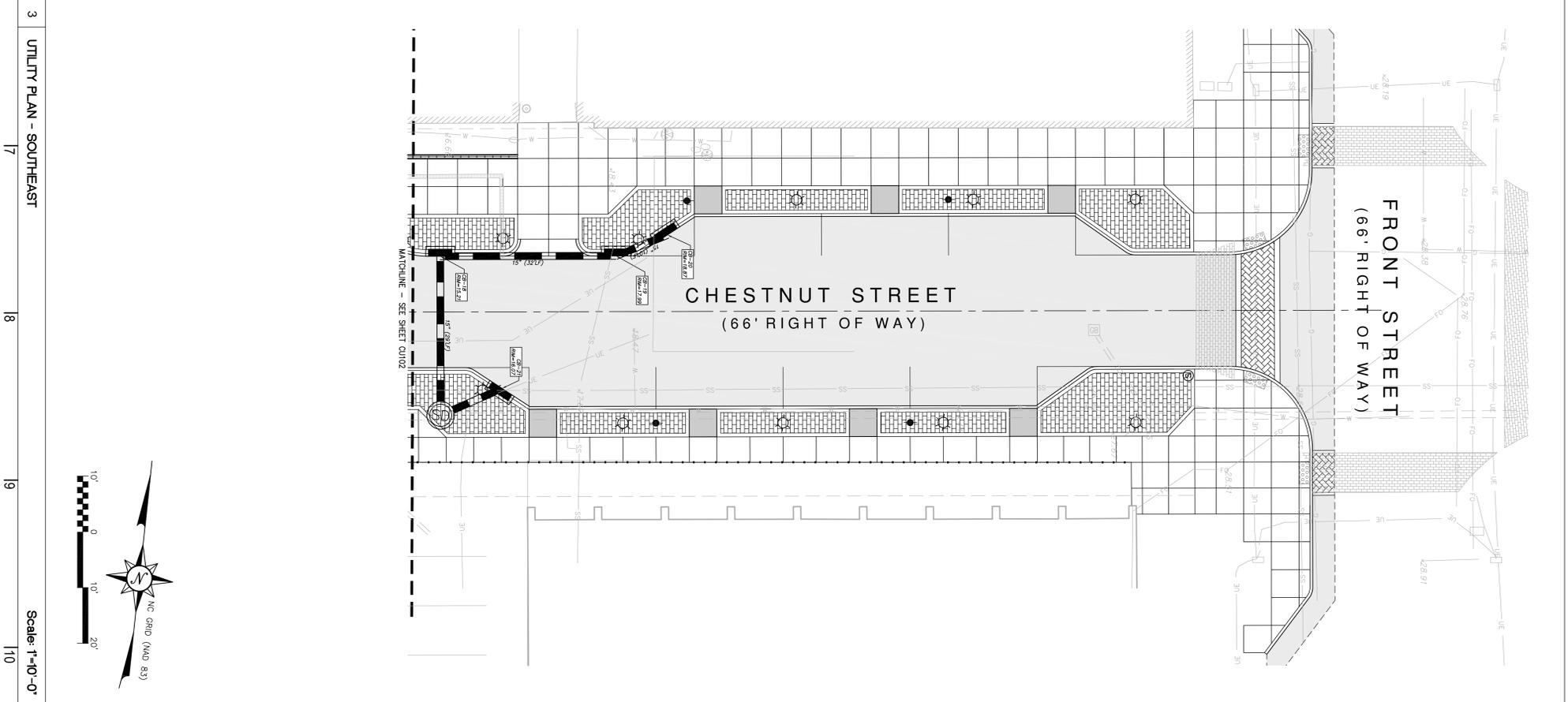
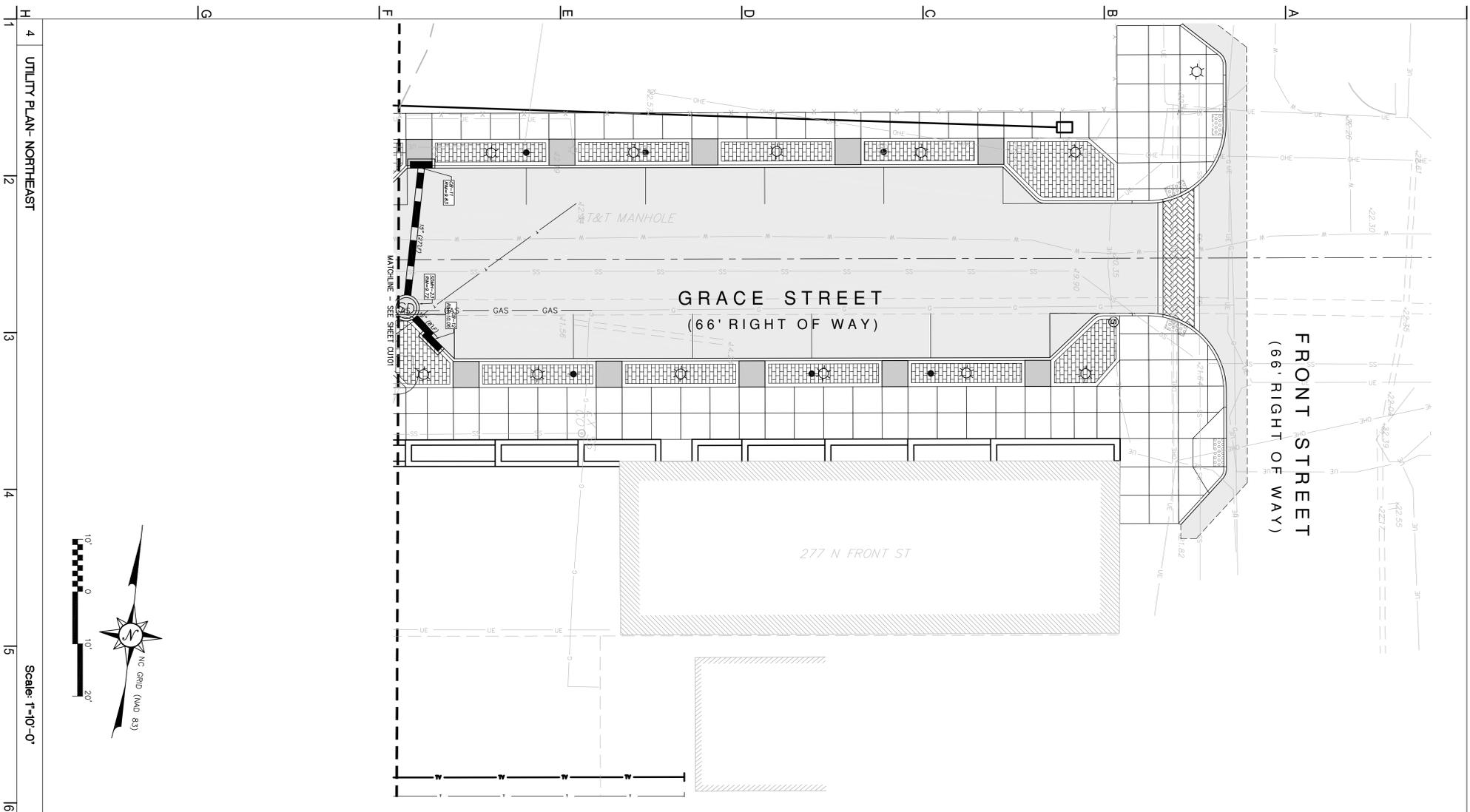
<b>STORMWATER MANAGEMENT PLAN</b> <b>APPROVED</b> CITY OF WILMINGTON ENGINEERING DEPARTMENT DATE _____ PERMIT # _____ SIGNED _____	<b>Approved Construction Plan</b> Name _____ Date _____ Planning _____ Traffic _____ File _____
---	---

For each open utility cut of City streets, a \$250 permit shall be obtained from the City prior to occupancy and/or project acceptance.

**2 NOTES**

1. ARCHITECTURAL INFORMATION SHOWN FOR INFORMATIONAL PURPOSES ONLY. SEE ARCHITECTURAL DRAWINGS FOR DETAILED INFORMATION.
2. FOUNDATION INFORMATION SHOWN FOR INFORMATIONAL PURPOSES ONLY. SEE FOUNDATION DRAWINGS FOR DETAILED INFORMATION.
3. SEE SHEET G-001 FOR ADDITIONAL NOTES.





**1 APPROVALS**

STORMWATER MANAGEMENT PLAN  
**APPROVED**  
 CITY OF WILMINGTON  
 ENGINEERING DEPARTMENT  
 DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
 SIGNED \_\_\_\_\_

Approved Construction Plan  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 File \_\_\_\_\_

For each open utility cut of City streets, a \$225 permit fee shall be collected by the City prior to occupancy, and/or project acceptance.

**2 NOTES**

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3. SEE SHEET G-001 FOR ADDITIONAL NOTES.

**CU-103**

ENLARGED  
UTILITY PLAN  
(NE & SE)

**RIVERPLACE**  
(Water Street Parking Deck  
Redevelopment)

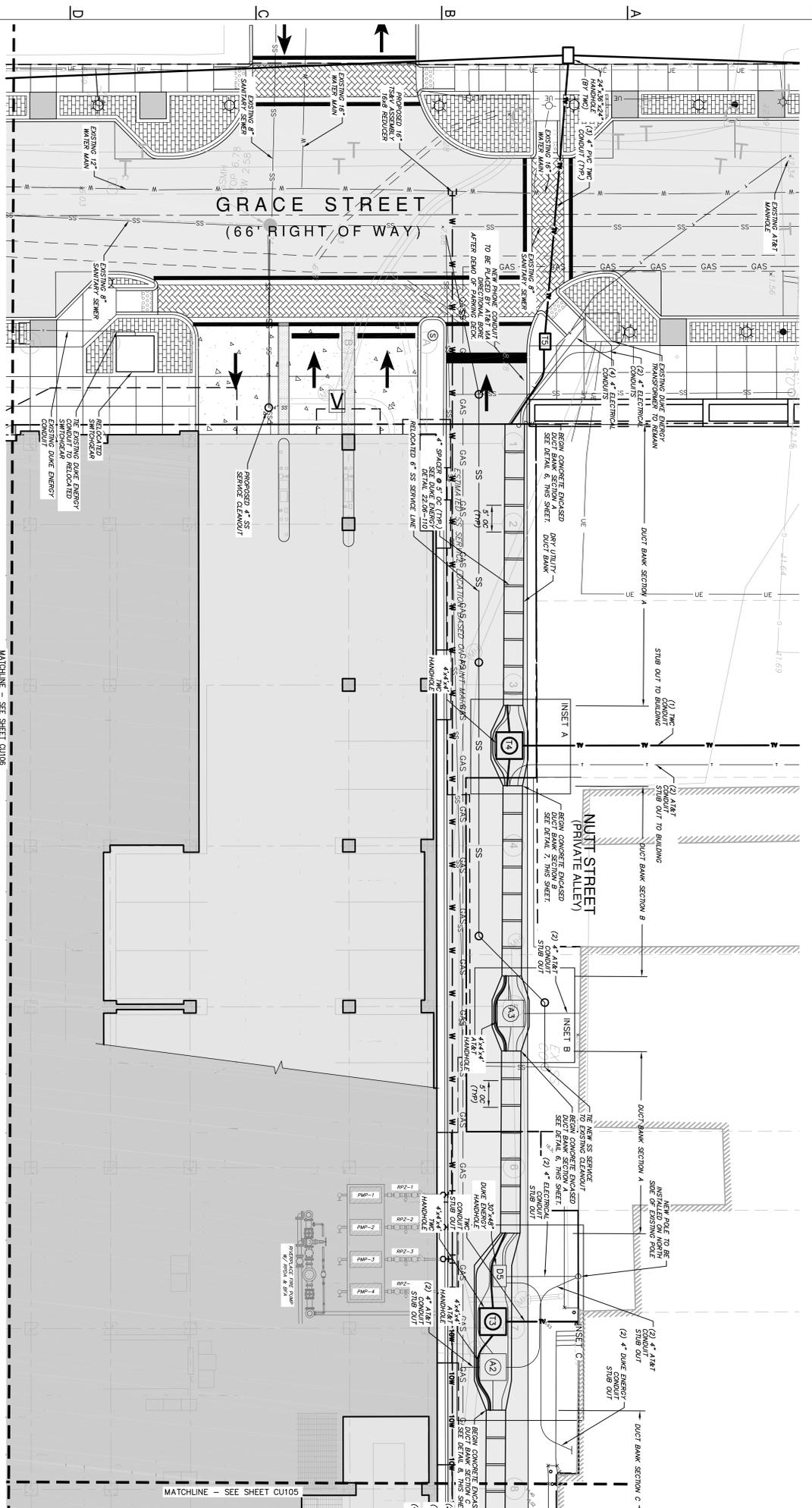
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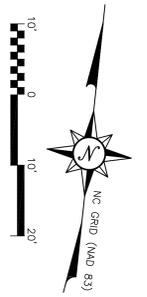
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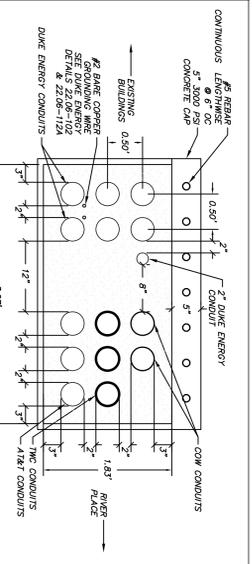
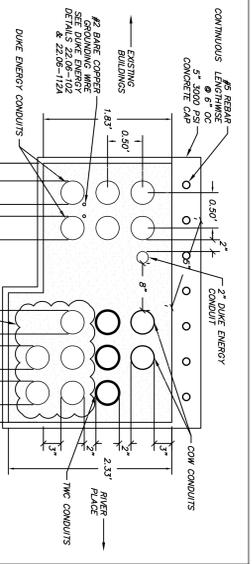
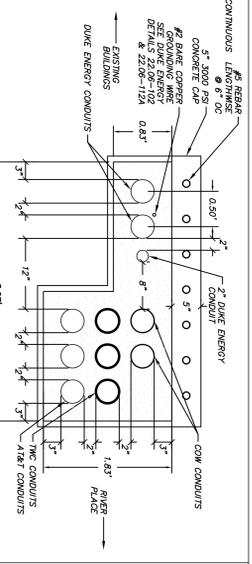
date: 08-25-2016  
 job no. MCE 0205-0001  
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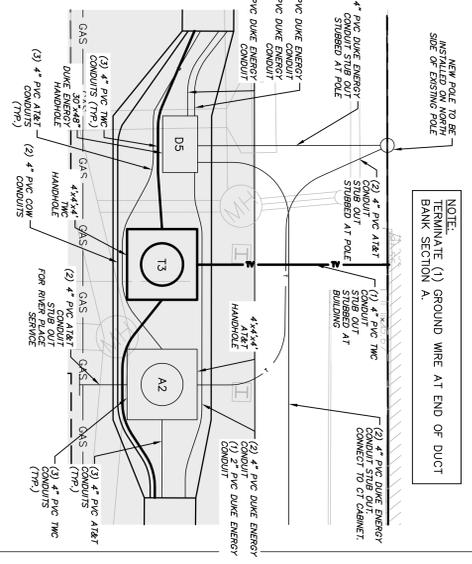
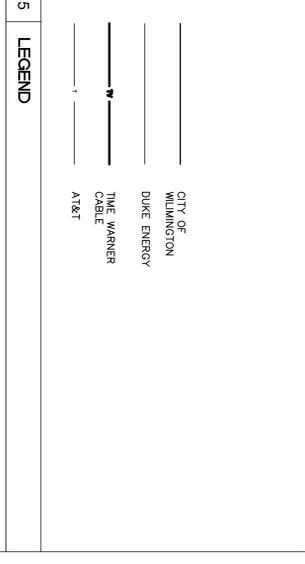
DUCT BANK RM	ELEVATIONS
T4	10.37
A3	11.48
D5	11.22
T3	11.08
A2	11.09



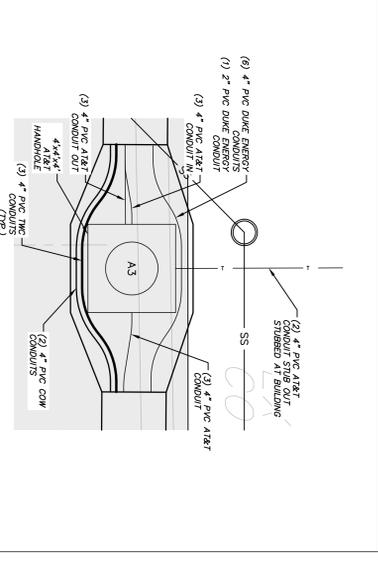
9 UTILITY PLAN - NORTHWEST



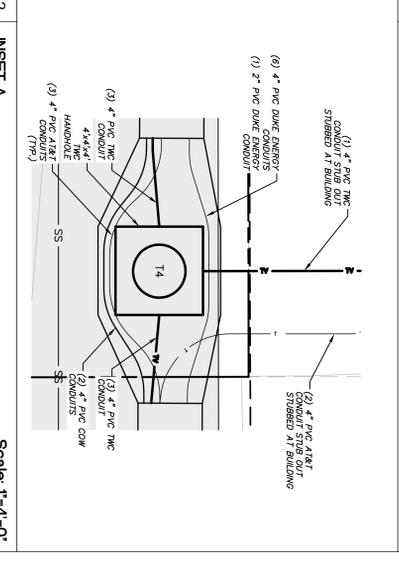
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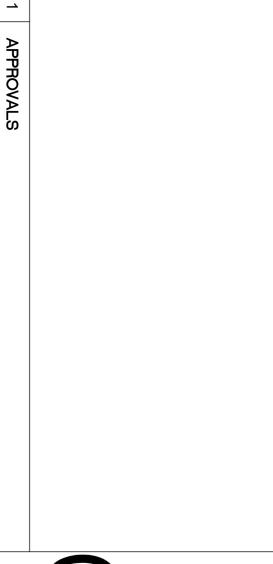
Scale: 1"=5'-0"



Scale: 1"=4'-0"



Scale: 1"=4'-0"



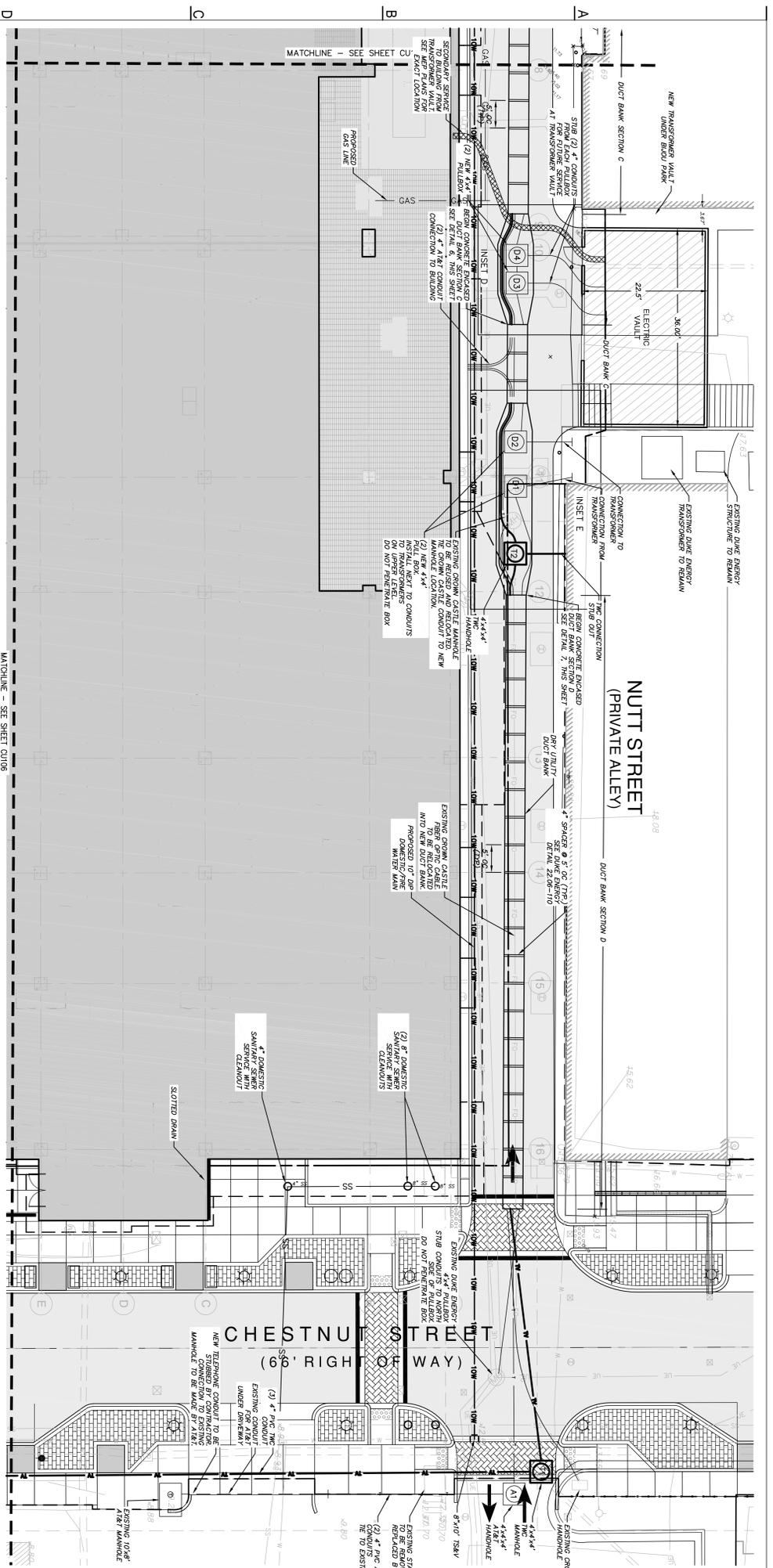
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 Wilmington, North Carolina 28401  
 Phone: 336-739-3840 Fax: (910)251-8282  
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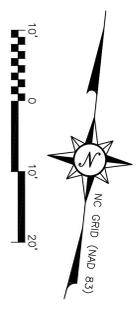
date: 08-25-2016  
 job no. MCE 0205-0001  
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**DRY-UTILITY DUCTBANK  
 ISSUED FOR  
 CONSTRUCTION**

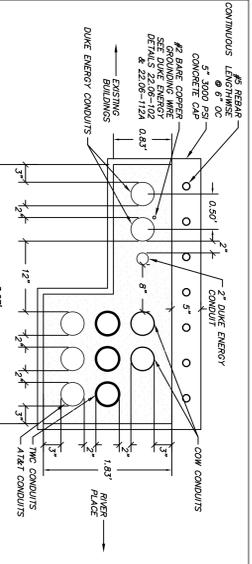
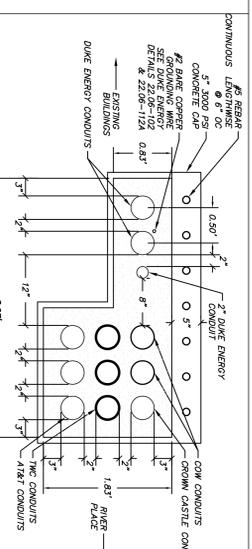
ENLARGED  
 DRY UTILITY PLAN (NW)  
**CU-104**



DUCT BANK R/W ELEVATIONS	MANHOLE ELEVATION
D4	11.43
D3	11.49
D2	11.78
D1	11.80
T1	11.96
T1	12.70
A1	12.62



7 UTILITY PLAN - SOUTHWEST



NOTE:  
TOP OF DUCT BANK CONCRETE CAP TO BE MINIMUM 4\"/>

\*ALL CONDUIT IS 4\"/>

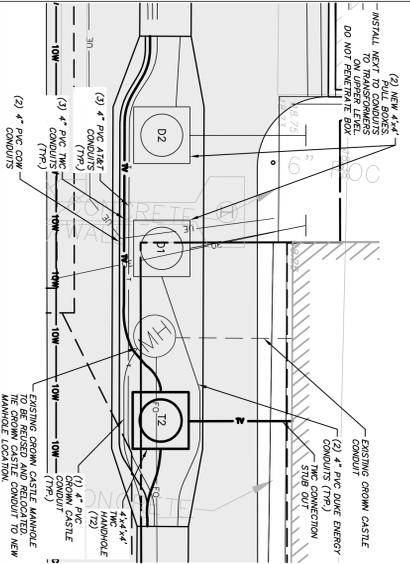
DUCT BANK ENCASED WITH FULL CONCRETE AND FILLED WITH FLOWABLE FILL. TO BE PROVIDED BY UTILITY COMPANY.

DUCT BANK ENCASED WITH CONCRETE AND FILLED WITH FLOWABLE FILL. TO BE PROVIDED BY UTILITY COMPANY.

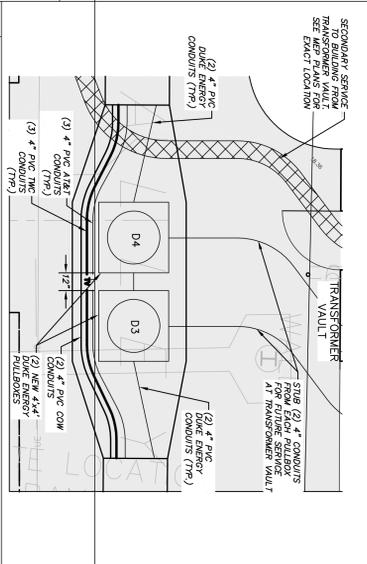
4 LEGEND

- CITY OF WILMINGTON
- GROWN CASTLE
- DUKE ENERGY
- TIME WARNER
- CABLE
- AT&T

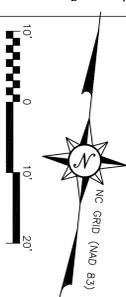
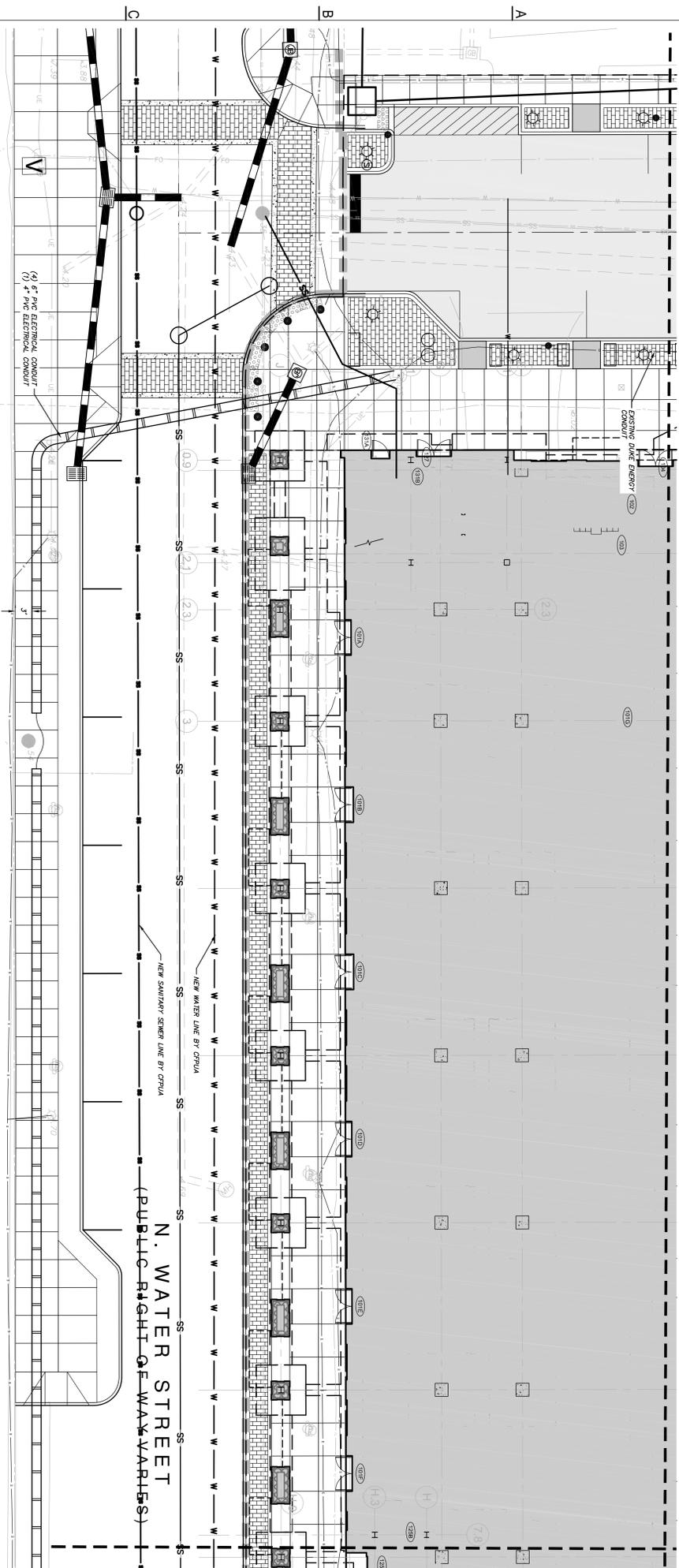
3 INSET E



2 INSET D



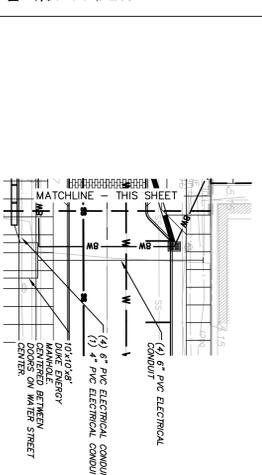
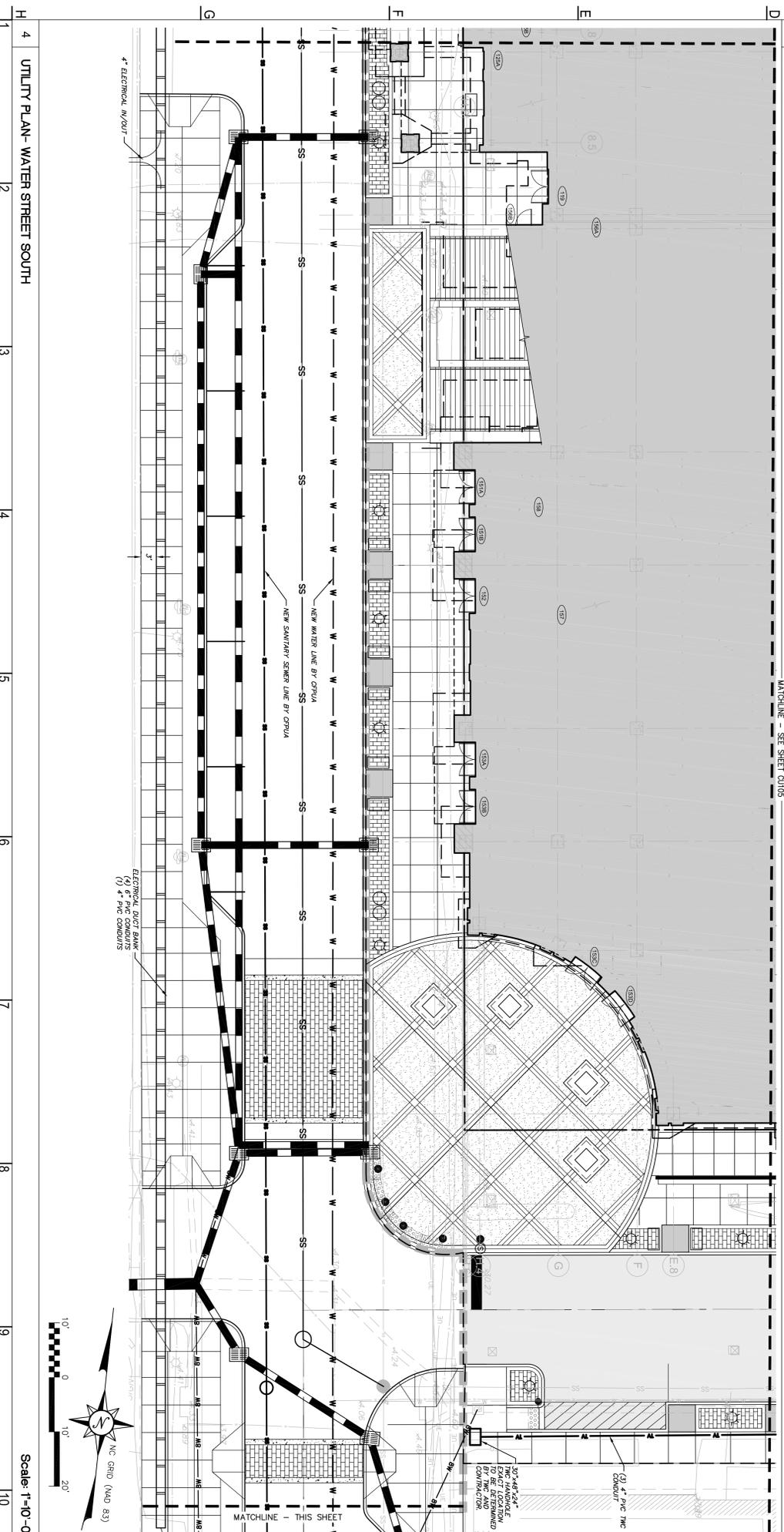
MATCHLINE - SEE SHEET CU104



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TEVISIONS:  
 A. CIV. TRC SUBMITTAL 06-29-16  
 B. FIC DRY-UTILITY PLANS 08-25-16  
 C. N/C/O/S/M PERMIT 08-25-16  
 TRC RESUBMITTAL 09-12-16

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 3804 Knollwood Street, Suite 174  
 Wilmington, NC 27103  
 Phone: 336-723-6360  
 dma@dmaarch.com



3 UTILITY PLAN - SOUTHWEST EXT. Scale: 1"=20'-0"

1. ARCHITECTURAL INFORMATION SHOWN FOR INFORMATIONAL PURPOSES ONLY. SEE ARCHITECTURAL DRAWINGS FOR DETAILED INFORMATION.
2. FOUNDATION INFORMATION SHOWN FOR INFORMATIONAL PURPOSES ONLY. SEE FOUNDATION DRAWINGS FOR DETAILED INFORMATION.
3. SEE SHEET G-001 FOR ADDITIONAL NOTES.

2 NOTES

STORMWATER MANAGEMENT PLAN

APPROVED

CITY OF WILMINGTON

ENGINEERING DEPARTMENT

PERMIT # \_\_\_\_\_

DATE \_\_\_\_\_

SIGNED \_\_\_\_\_

Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_

Title \_\_\_\_\_

File # \_\_\_\_\_

1 APPROVALS

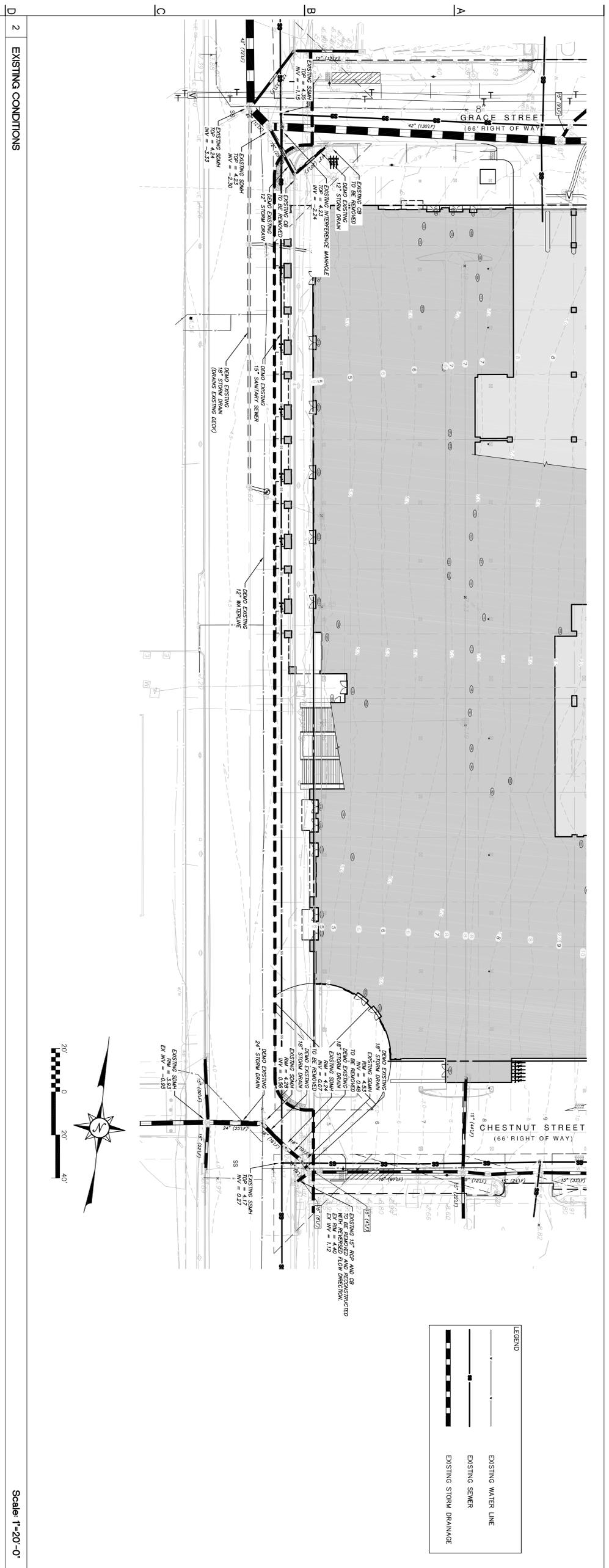
For each open utility cut of City streets, a \$325 permit City prior to occupancy, and/or project acceptance.

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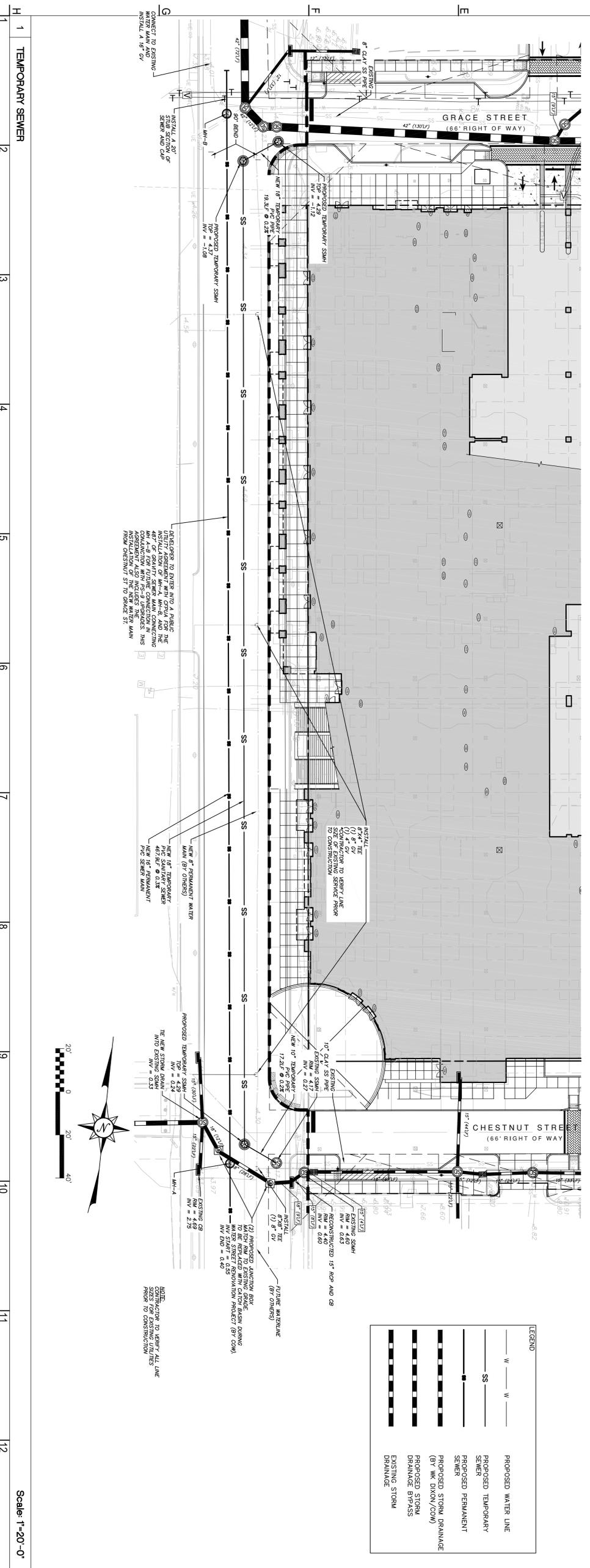
date: 08-25-2016  
 job no. MCE 02005-0001  
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**CU-106**

ENLARGED  
 DRY UTILITY PLAN  
 WATER STREET



Scale: 1"=20'-0"



Scale: 1"=20'-0"



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dismaster@comcast.com



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REVISIONS:  
A. CIVIL TRC SCHEDULE 06-23-16  
B. FIC DRY-UTILITY PLANS 08-25-16  
C. NCCCO/SMM PERMIT 08-25-16  
D. TRC RESUBMITTAL 09-12-16

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WATER STREET  
UTILITY PLAN

CU-107

H 1 2 3 4 5 6 7 8 9 10 11 12  
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12



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AS PER 18-196 (h) (4) THE FOLLOWING MATERIALS ARE NOT USED:  
a. VINYL SIDING  
b. SHINGLE SIDING  
c. FAUX-WOOD GRAINED MATERIAL  
d. FAUX METAL FACADES  
e. EXPOSED OR UNFINISHED CONCRETE BLOCK

revisions:

1	09/09/16	TRC Resubmittal
---	----------	-----------------

METERS & MECH UNITS WILL BE SCREENED FROM PUBLIC VIEW

1 EAST ELEVATION - NUTT ST. - NOT INCLUDED IN GLAZING CALCULATION  
1/16" = 1'-0"

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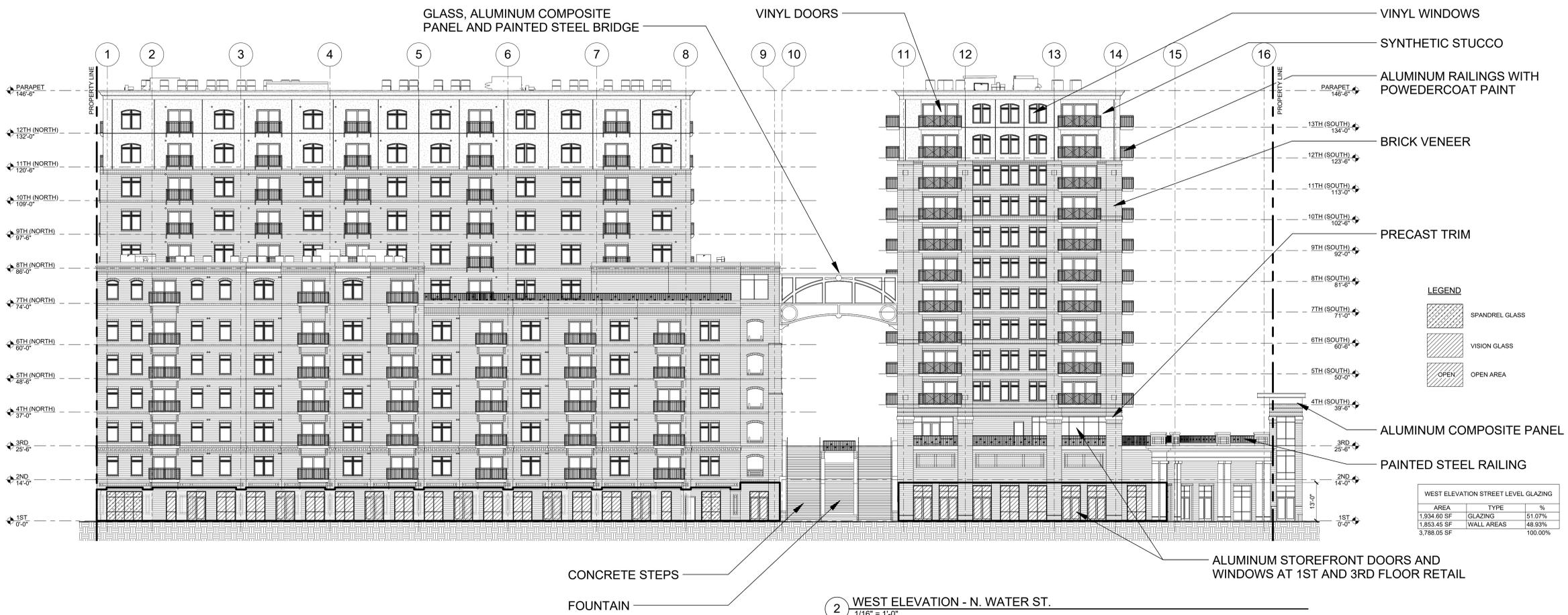
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DESIGN  
DEVELOPMENT

TRC BUILDING  
ELEVATIONS

A0.16



CONCRETE STEPS  
FOUNTAIN

2 WEST ELEVATION - N. WATER ST.  
1/16" = 1'-0"



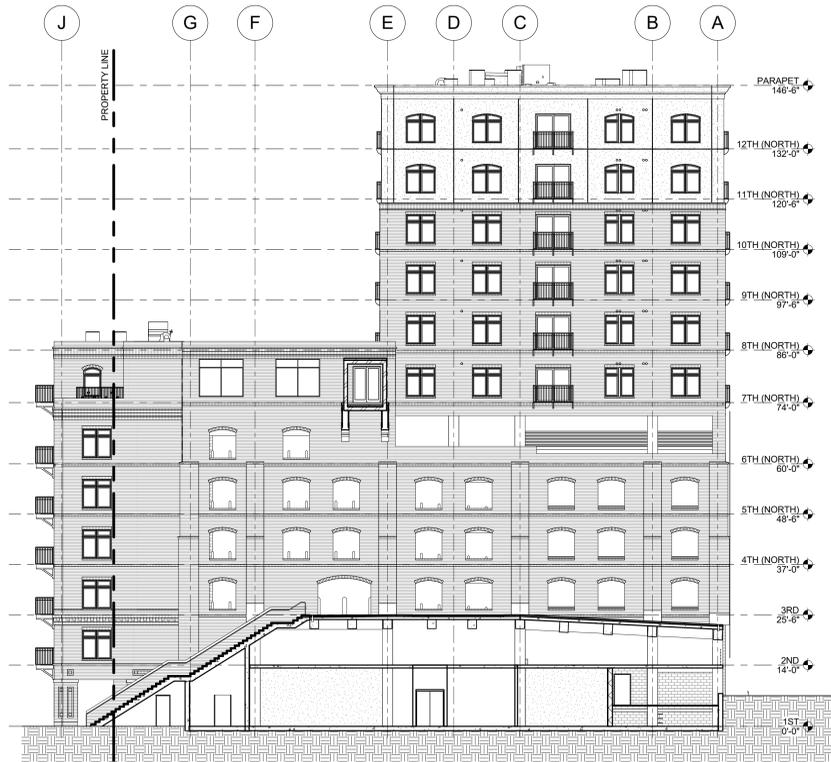
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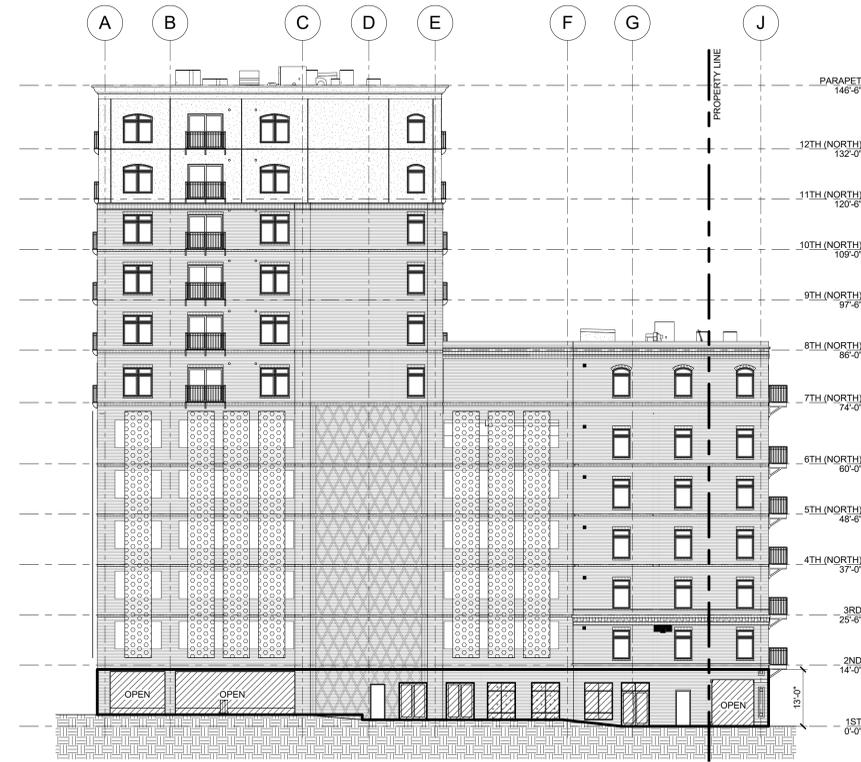


3 PLAZA ELEVATION  
1/16" = 1'-0"

PLAZA ELEVATION STREET LEVEL GLAZING		
AREA	TYPE	%
304.00 SF	GLAZING	42.53%
410.71 SF	WALL AREAS	57.47%
714.71 SF		100.00%



5 NORTH TOWER - SOUTH ELEVATION - BIJOU PARK CONNECTOR  
1/16" = 1'-0"



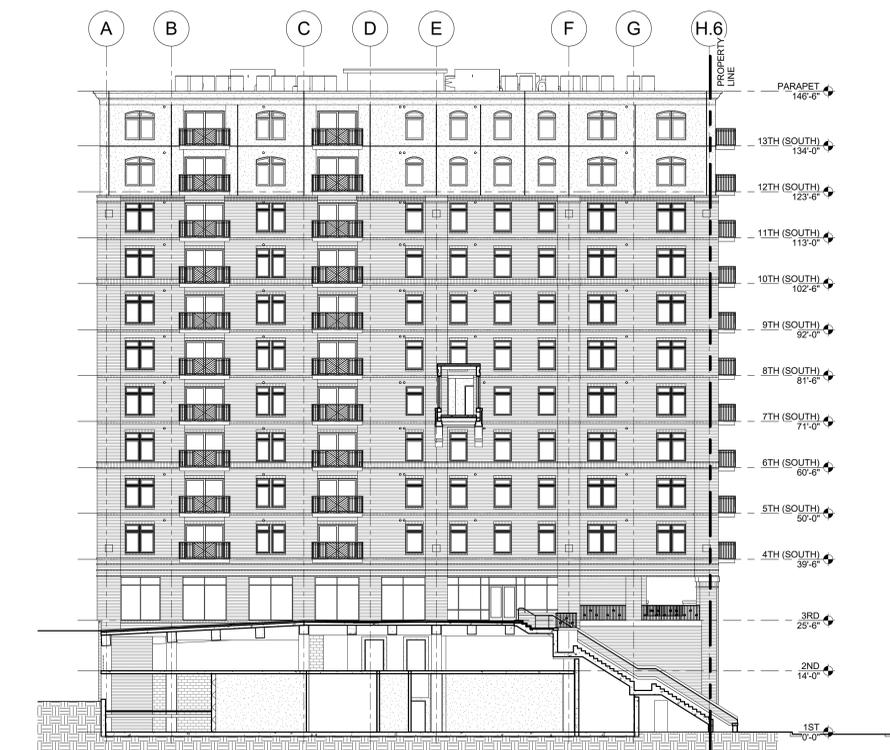
2 NORTH TOWER - NORTH ELEVATION - GRACE ST.  
1/16" = 1'-0"

AS PER 18-196 (h) (4) THE FOLLOWING MATERIALS ARE NOT USED:

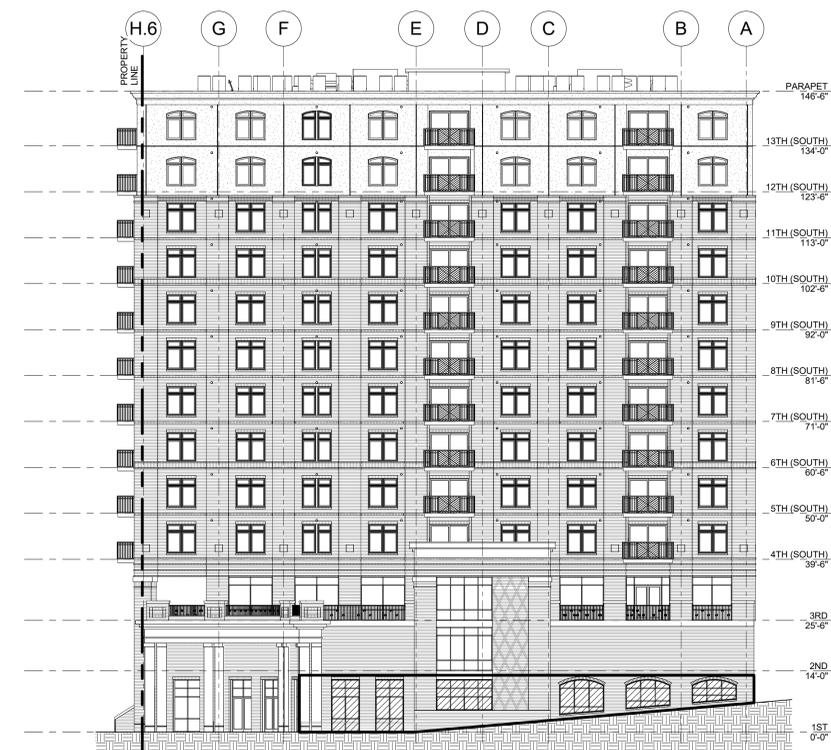
- VINYL SIDING
- SHINGLE SIDING
- FAUX-WOOD GRAINED MATERIAL
- FAUX METAL FACADES
- EXPOSED OR UNFINISHED CONCRETE BLOCK

revisions:	
1	09/09/16 TRC Resubmittal

NORTH ELEVATION STREET LEVEL GLAZING		
AREA	TYPE	%
822.11 SF	GLAZING	47.31%
915.59 SF	WALL AREAS	52.69%
1,737.70 SF		100.00%



4 SOUTH TOWER - NORTH ELEVATION - BIJOU PARK CONNECTOR  
1/16" = 1'-0"



1 SOUTH TOWER - SOUTH ELEVATION - CHESTNUT ST.  
1/16" = 1'-0"

LEGEND	
	SPANDEL GLASS
	VISION GLASS
	OPEN AREA

SOUTH ELEVATION STREET LEVEL GLAZING		
AREA	TYPE	%
415.07 SF	GLAZING	38.40%
665.92 SF	WALL AREAS	61.60%
1,080.99 SF		100.00%

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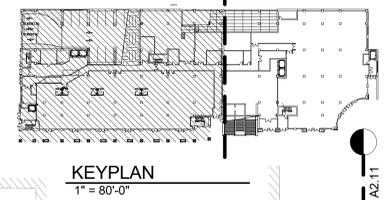
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DESIGN  
DEVELOPMENT

TRC BUILDING  
ELEVATIONS

A0.17

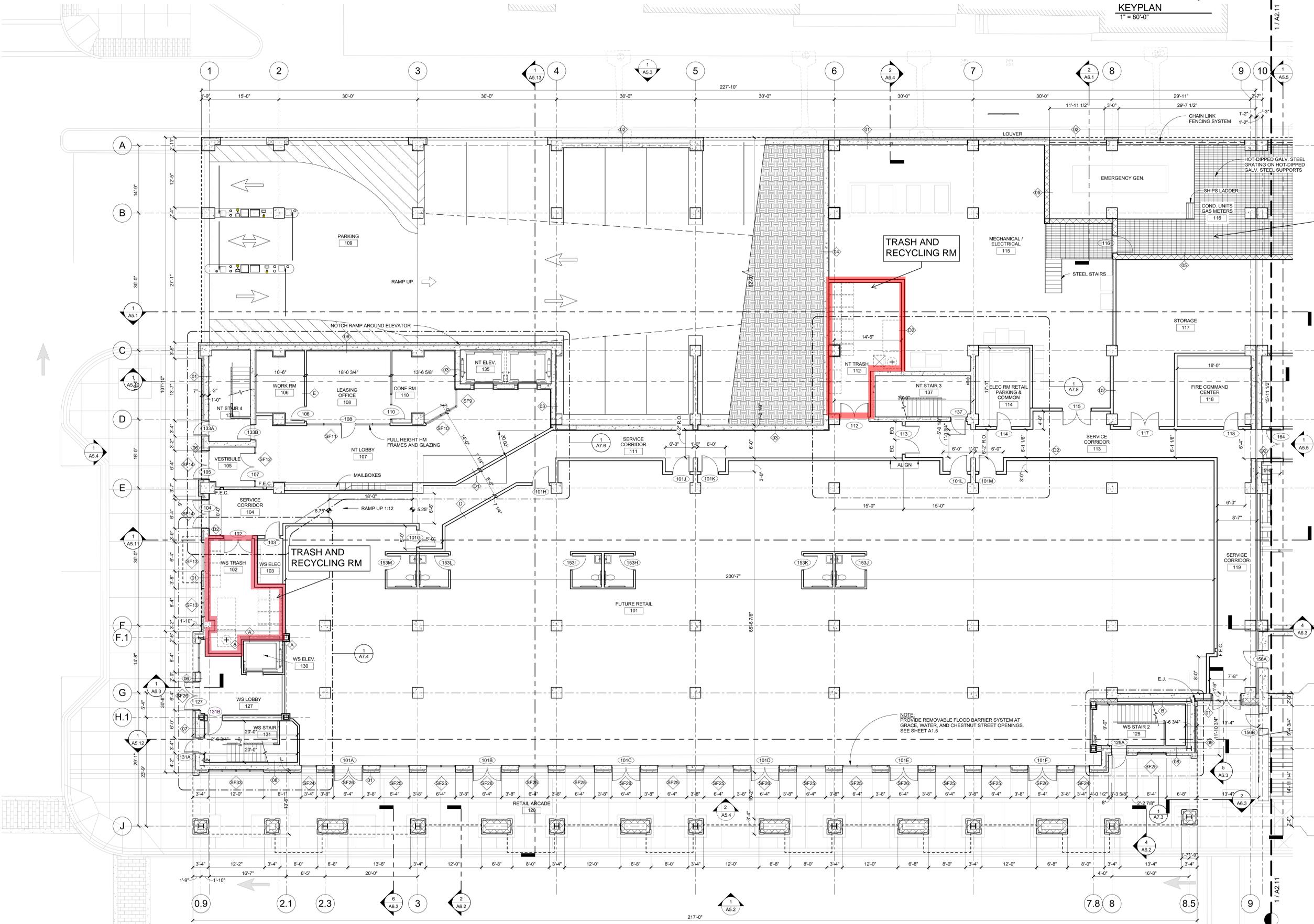
ENCROACHMENTS WERE ADDRESSED IN SIGNED PDA. ENCROACHMENTS TO BE RECORDED PRIOR TO FINAL C.O. SEE CS-100 FOR BUILDING CONSTRUCTION TYPE



MECH UNITS AND METERS ARE RECESSED INTO THE BUILDING TO PREVENT VISIBILITY FROM GRACE ST AND CHESTNUT STREET. MECH UNITS ARE VISIBLE FROM FRONT STREET

revisions:

1	07/22/16
2	09/09/16 TRC Resubmittal



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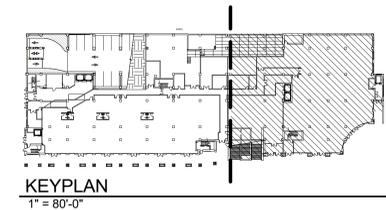
**DESIGN DEVELOPMENT**

**NORTH TOWER 1ST FLOOR PLAN**

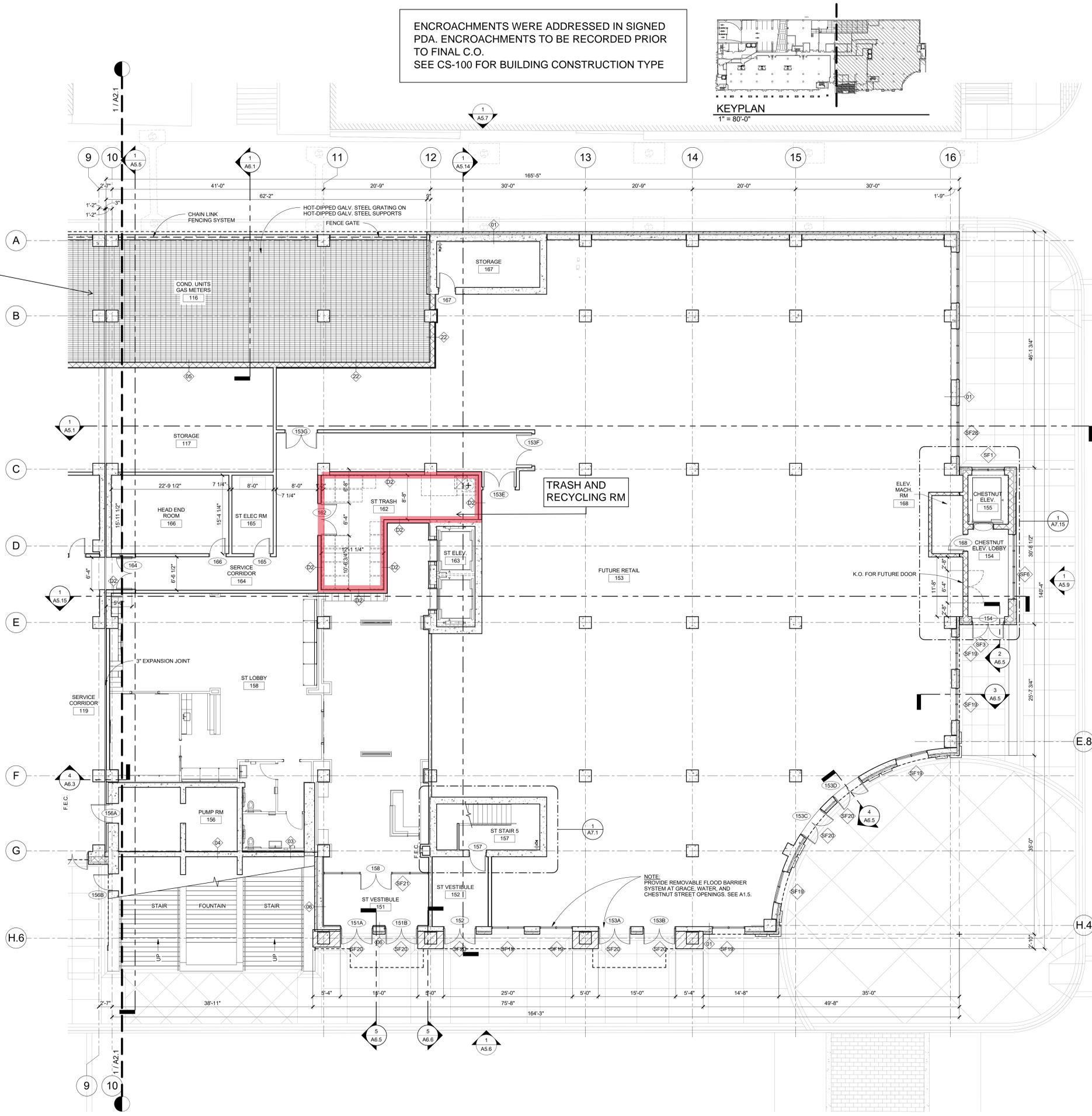
**A2.1**

1 1ST FLOOR PLAN  
1/8" = 1'-0"

ENCROACHMENTS WERE ADDRESSED IN SIGNED PDA. ENCROACHMENTS TO BE RECORDED PRIOR TO FINAL C.O.  
SEE CS-100 FOR BUILDING CONSTRUCTION TYPE



MECH UNITS AND METERS ARE RECESSED INTO THE BUILDING TO PREVENT VISIBILITY FROM GRACE ST AND CHESTNUT STREET. MECH UNITS ARE VISIBLE FROM FRONT STREET



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1	07/22/16
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**DESIGN**  
**DEVELOPMENT**

**SOUTH TOWER**  
**1ST FLOOR PLAN**

**A2.11**

1 1ST FLOOR PLAN  
1/8" = 1'-0"

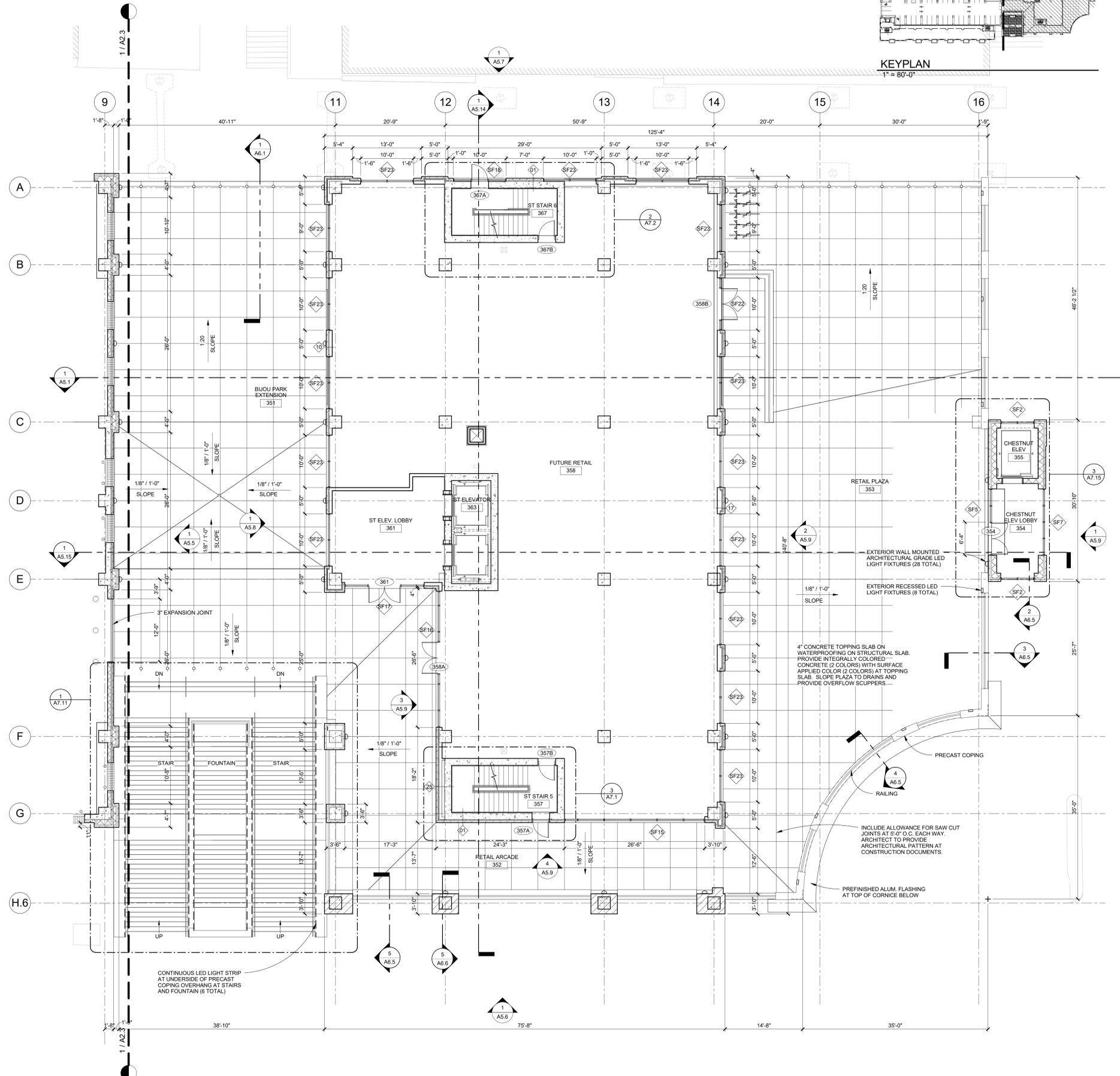


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KEYPLAN

1" = 80'-0"



revisions:

1	07/22/16
2	09/09/16 TRC Resubmittal

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**DESIGN  
DEVELOPMENT**

**SOUTH TOWER  
3RD FLOOR PLAN**

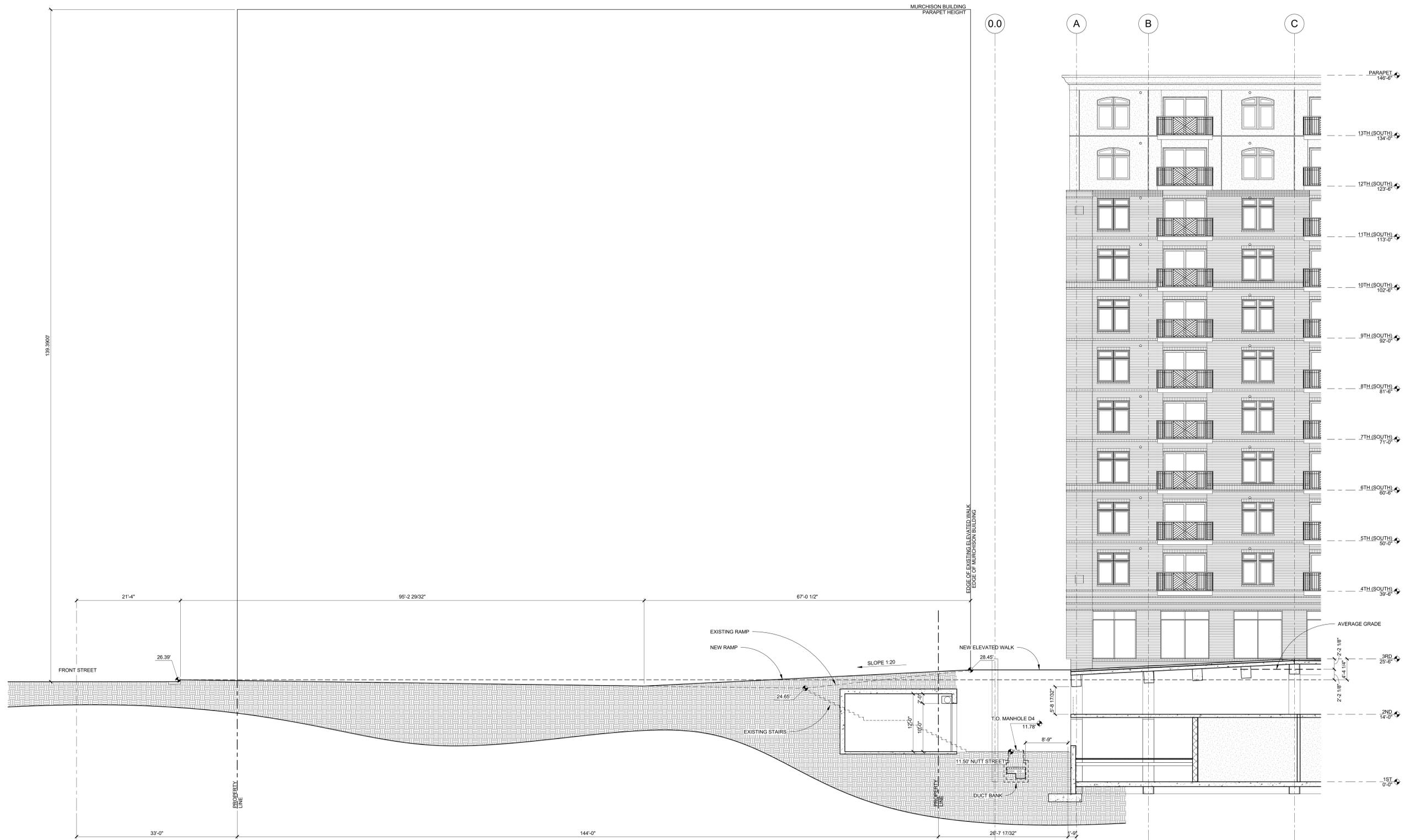
**A2.13**

1 3RD FLOOR PLAN  
1/8" = 1'-0"



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revisions:

**Bijou Park**  
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DESIGN DEVELOPMENT

SECTION THRU BIJOU PARK

# A5.1

1 SECTION THRU BIJOU PLAZA  
1/8" = 1'-0"



2 WEST ELEVATION NORTH TOWER  
1/8" = 1'-0"



1 WEST ELEVATION WATER STREET  
1/8" = 1'-0"



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revisions:

1	07/22/16
2	09/09/16 TRC Resubmittal

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DESIGN  
DEVELOPMENT

NORTH TOWER  
BUILDING  
ELEVATIONS

**A5.2**



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BRICK LEGEND	
	BRICK COLOR A PALMETTO BRICK BROWN WIRECUT
	BRICK COLOR B PALMETTO BRICK BLACK WIRECUT
	BRICK COLOR C LAWRENCEVILLE BRICK 4-103 SMOOTH FLASHED
	BRICK COLOR D CHEROKEE TUSCAN SIZE MODULAR
	BRICK COLOR E TAYLOR CLAY 101W WHITE
	BRICK COLORS A & B IN A DIAPER PATTERN

**BRICK NOTES:**  
 1. BRICK VENEER SHALL BE 3-5/8" x 3-5/8" x 7-5/8" CLOSURE BRICKS THROUGHOUT UNLESS NOTED OTHERWISE IN LEGEND.



revisions:	
1	07/22/16
2	09/09/16 TRC Resubmittal

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DESIGN DEVELOPMENT

NORTH TOWER BUILDING ELEVATIONS

A5.3

1 EAST ELEVATION - NORTH TOWER  
1/8" = 1'-0"



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revisions:

1	07/22/16
2	09/09/16 TRC Resubmittal

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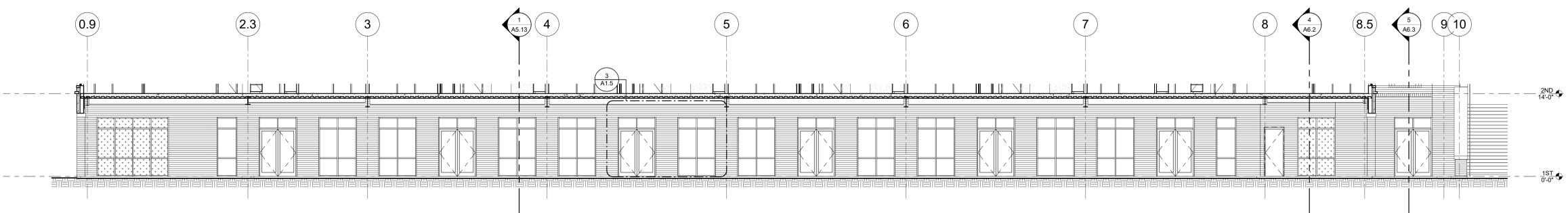
date: 06/27/16  
job no. 14-1800

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DESIGN  
DEVELOPMENT

NORTH TOWER  
ELEVATIONS

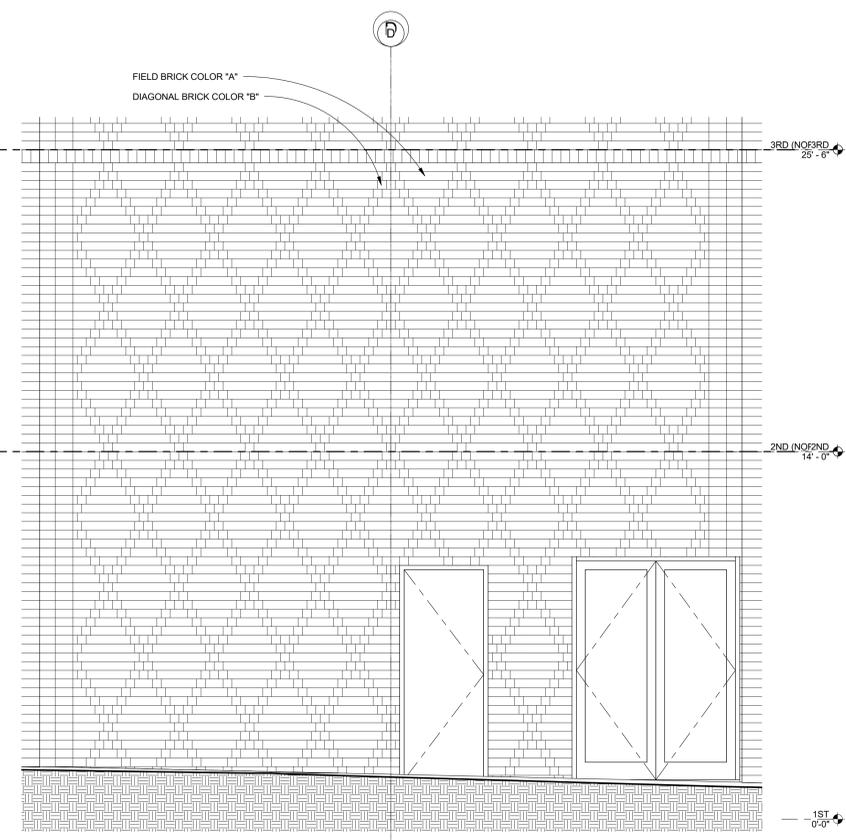
# A5.4



2 ELEVATION BEYOND  
1/8" = 1'-0"



1 NORTH ELEVATION  
1/8" = 1'-0"

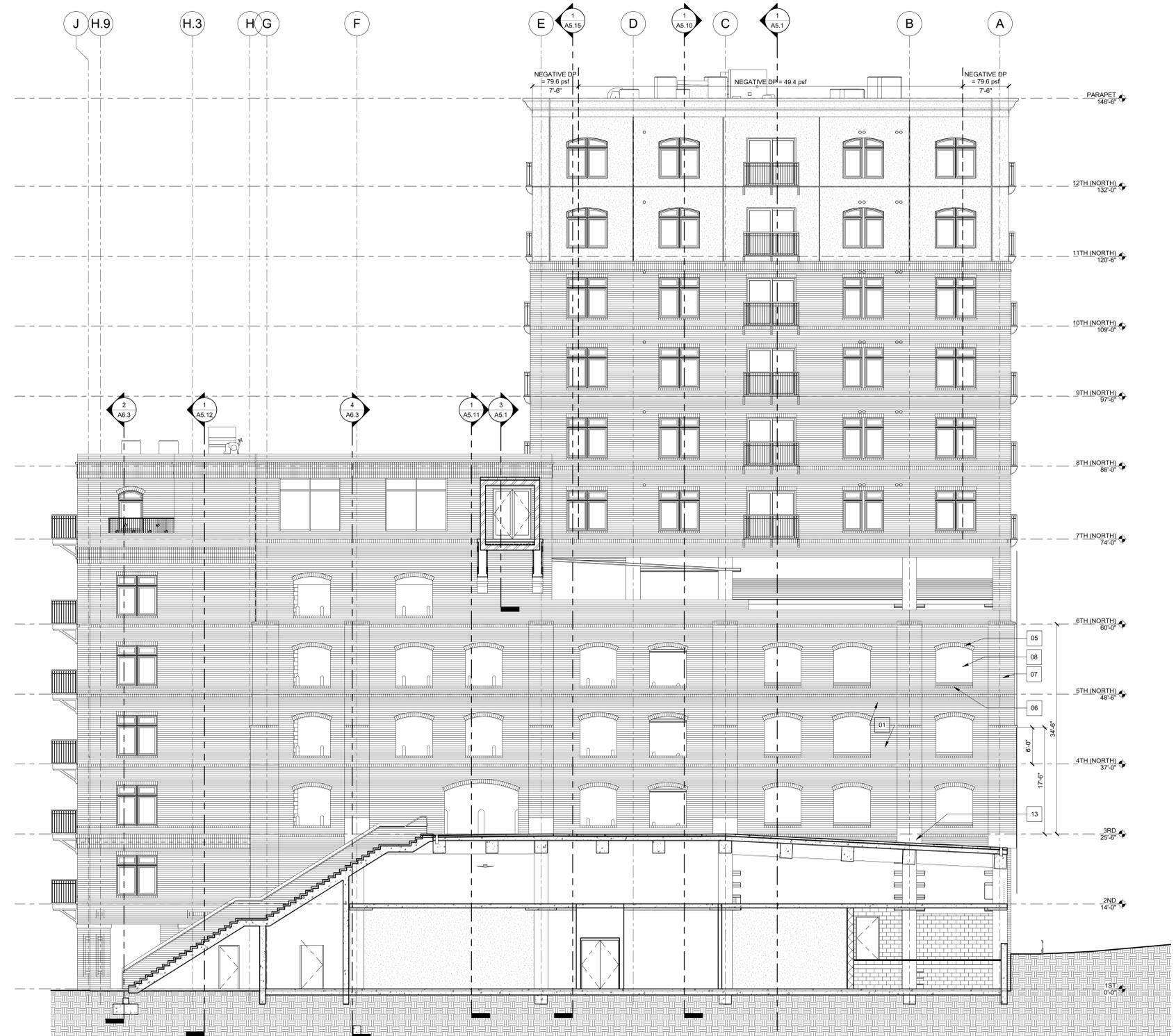


3 ENLARGED BRICK DETAIL  
3/8" = 1'-0"



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**DESIGN**  
**DEVELOPMENT**

**NORTH TOWER**  
**BUILDING**  
**ELEVATIONS**

**A5.5**

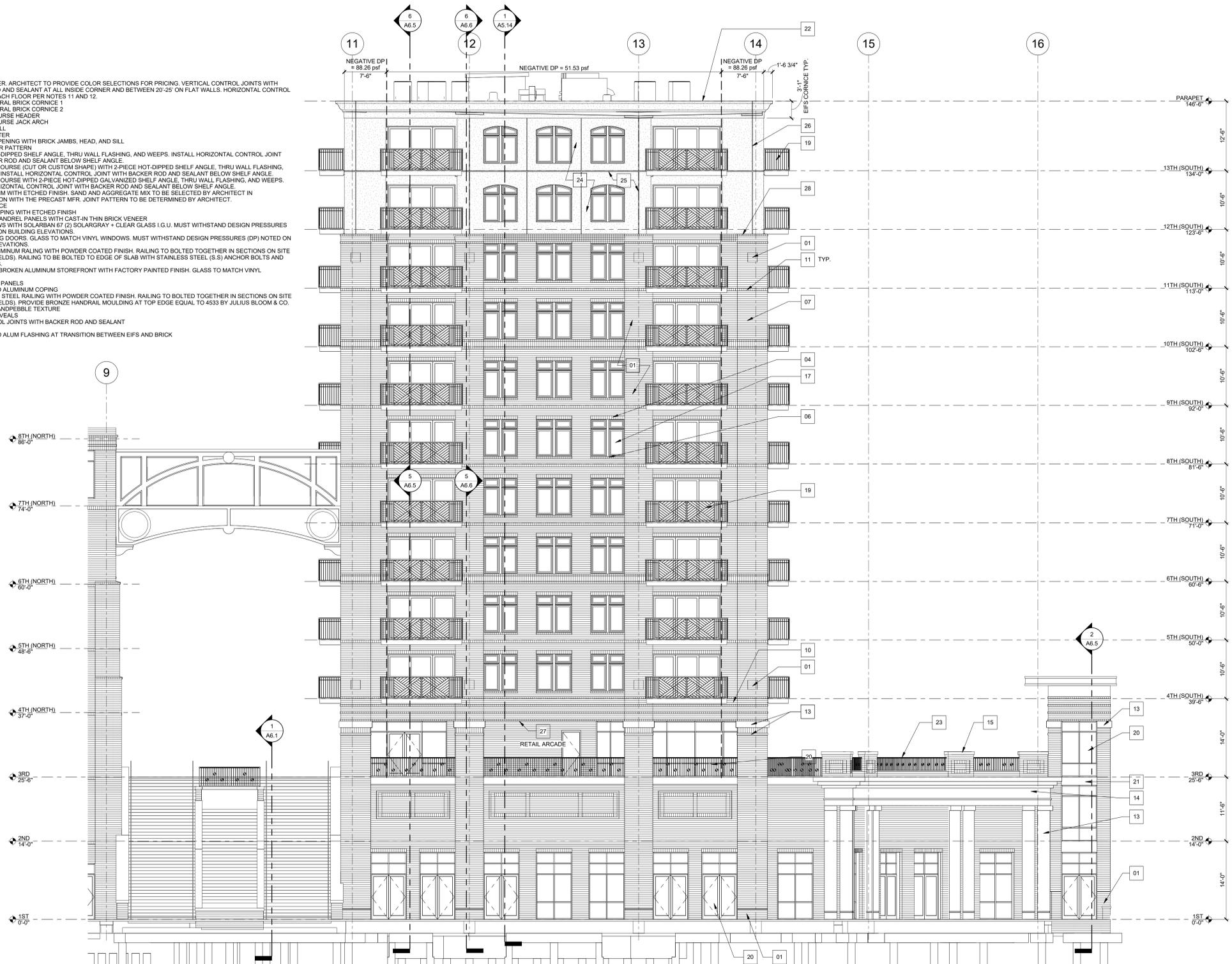
1 SOUTH ELEVATION NORTH TOWER  
 1/8" = 1'-0"



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1. BRICK VENEER, ARCHITECT TO PROVIDE COLOR SELECTIONS FOR PRICING. VERTICAL CONTROL JOINTS WITH BACKER ROD AND SEALANT AT ALL INSIDE CORNER AND BETWEEN 20'-25' ON FLAT WALLS. HORIZONTAL CONTROL JOINTS AT EACH FLOOR PER NOTES 11 AND 12.
2. ARCHITECTURAL BRICK CORNICE 1
3. ARCHITECTURAL BRICK CORNICE 2
4. SOLDIER COURSE HEADER
5. SOLDIER COURSE JACK ARCH
6. ROWLOCK SILL
7. BRICK PLASTER
8. MASONRY OPENING WITH BRICK JAMBS, HEAD, AND SILL
9. BRICK DIAPER PATTERN
10. 2-PIECE HOT-DIPPED SHELF ANGLE, THRU WALL FLASHING, AND WEEPS. INSTALL HORIZONTAL CONTROL JOINT WITH BACKER ROD AND SEALANT BELOW SHELF ANGLE.
11. 6" SOLDIER COURSE (CUT OR CUSTOM SHAPE) WITH 2-PIECE HOT-DIPPED SHELF ANGLE, THRU WALL FLASHING, AND WEEPS. INSTALL HORIZONTAL CONTROL JOINT WITH BACKER ROD AND SEALANT BELOW SHELF ANGLE.
12. 8" SOLDIER COURSE WITH 2-PIECE HOT-DIPPED GALVANIZED SHELF ANGLE, THRU WALL FLASHING, AND WEEPS. INSTALL HORIZONTAL CONTROL JOINT WITH BACKER ROD AND SEALANT BELOW SHELF ANGLE.
13. PRECAST TRIM WITH ETCHED FINISH, SAND AND AGGREGATE MIX TO BE SELECTED BY ARCHITECT IN COORDINATION WITH THE PRECAST MFR. JOINT PATTERN TO BE DETERMINED BY ARCHITECT.
14. GFRC CORNICE
15. PRECAST COPING WITH ETCHED FINISH
16. PRECAST SPANDREL PANELS WITH CAST-IN THIN BRICK VENEER
17. VINYL WINDOWS WITH SOLARBAN 87 (2) SOLARGRAY + CLEAR GLASS I.G.U. MUST WITHSTAND DESIGN PRESSURES (DP) NOTED ON BUILDING ELEVATIONS
18. VINYL SLIDING DOORS, GLASS TO MATCH VINYL WINDOWS. MUST WITHSTAND DESIGN PRESSURES (DP) NOTED ON BUILDING ELEVATIONS
19. CUSTOM ALUMINUM RAILING WITH POWDER COATED FINISH. RAILING TO BOLTED TOGETHER IN SECTIONS ON SITE (NO FIELD WELDS). RAILING TO BE BOLTED TO EDGE OF SLAB WITH STAINLESS STEEL (3.5) ANCHOR BOLTS AND ACORN NUTS.
20. THERMALLY BROKEN ALUMINUM STOREFRONT WITH FACTORY PAINTED FINISH. GLASS TO MATCH VINYL WINDOWS.
21. ALUCOBOND PANELS
22. PREFINISHED ALUMINUM COPING
23. DECORATIVE STEEL RAILING WITH POWDER COATED FINISH. RAILING TO BOLTED TOGETHER IN SECTIONS ON SITE (NO FIELD WELDS). PROVIDE BRONZE HANDRAIL MOULDING AT TOP EDGE EQUAL TO 4533 BY JULIUS BLOOM & CO.
24. EIFS WITH SANDPAPERABLE TEXTURE
25. 3/4" DEEP REVEALS
26. EIFS CONTROL JOINTS WITH BACKER ROD AND SEALANT
27. EIFS SOFFIT
28. PREFINISHED ALUM FLASHING AT TRANSITION BETWEEN EIFS AND BRICK



revisions:	
1	07/22/16
2	09/09/16 TRC Resubmittal

**River Place**  
Water Street Parking Deck  
Redevelopment

200 North Water Street, City of Wilmington  
Wilmington Township  
New Hanover County, NC 28412

date: 06/27/16  
job no. 14-1800

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**DESIGN  
DEVELOPMENT**

**SOUTH TOWER  
BUILDING  
ELEVATIONS**

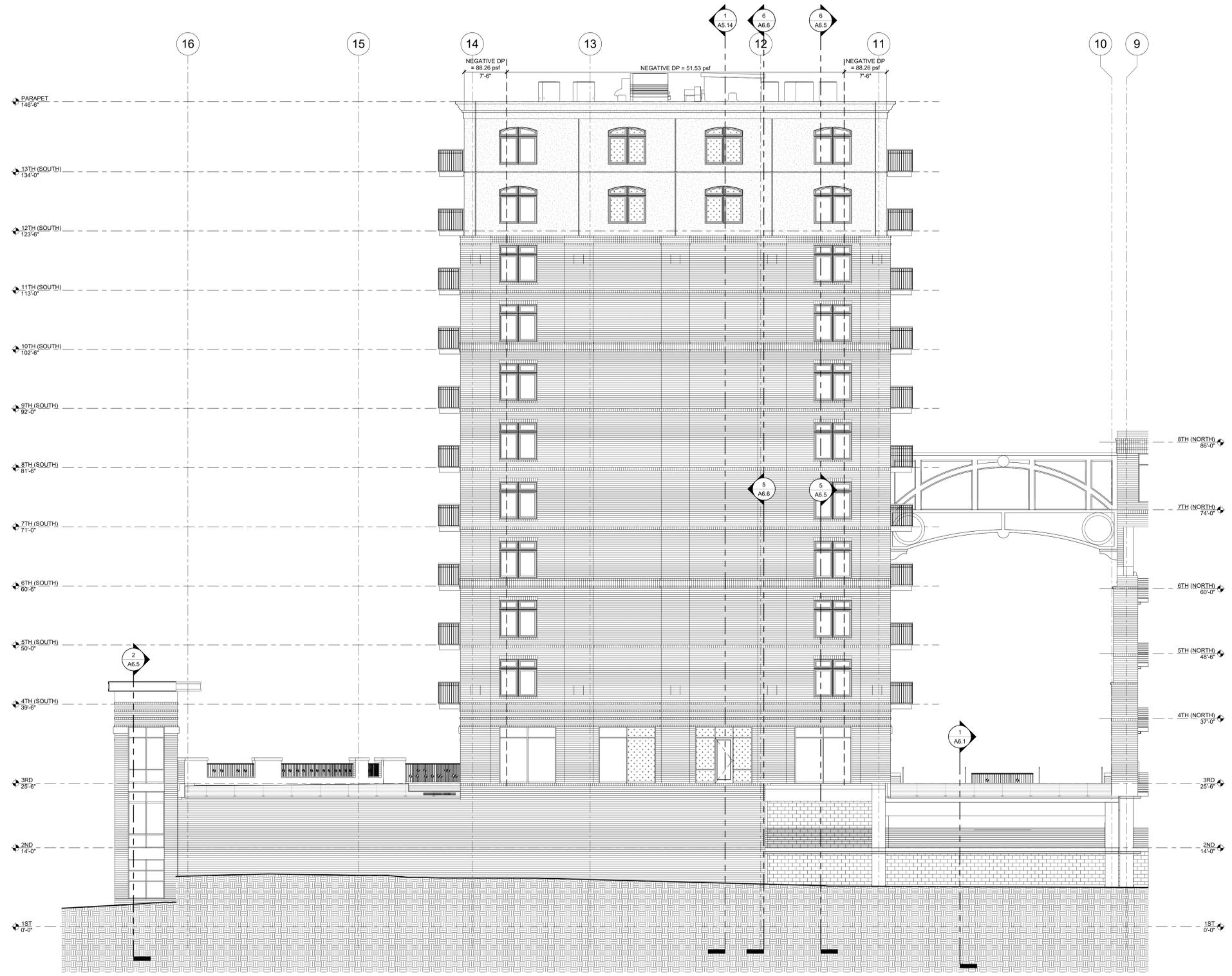
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1 WEST ELEVATION SOUTH TOWER  
1/8" = 1'-0"



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1	07/22/16	
2	09/09/16	TRC Resubmittal

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DESIGN  
DEVELOPMENT

SOUTH TOWER  
BUILDING  
ELEVATIONS

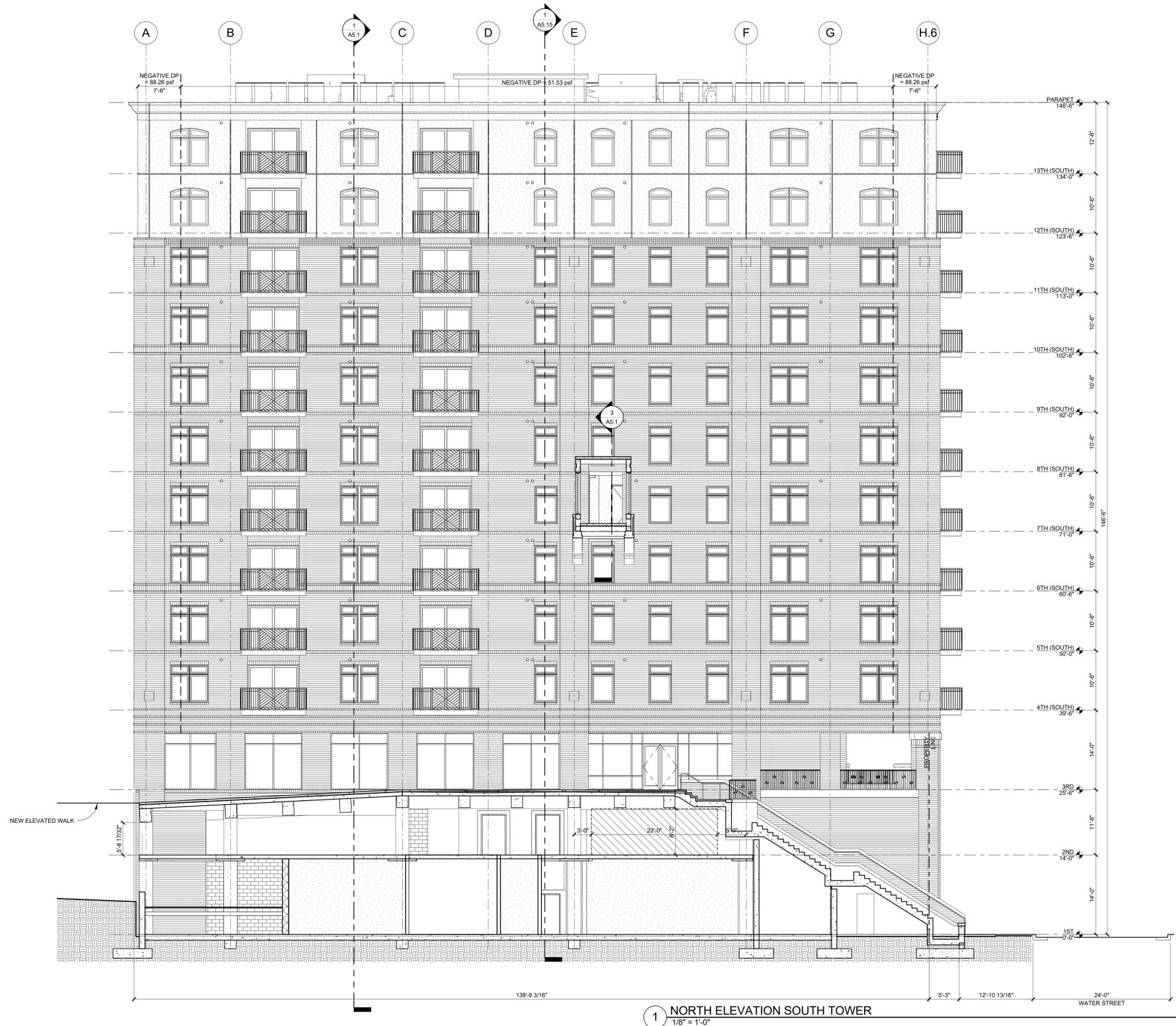
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1 EAST ELEVATION SOUTH TOWER  
1/8" = 1'-0"



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DESIGN  
DEVELOPMENT

SOUTH TOWER  
BUILDING  
ELEVATIONS

**A5.8**

1 NORTH ELEVATION SOUTH TOWER  
1/8" = 1'-0"



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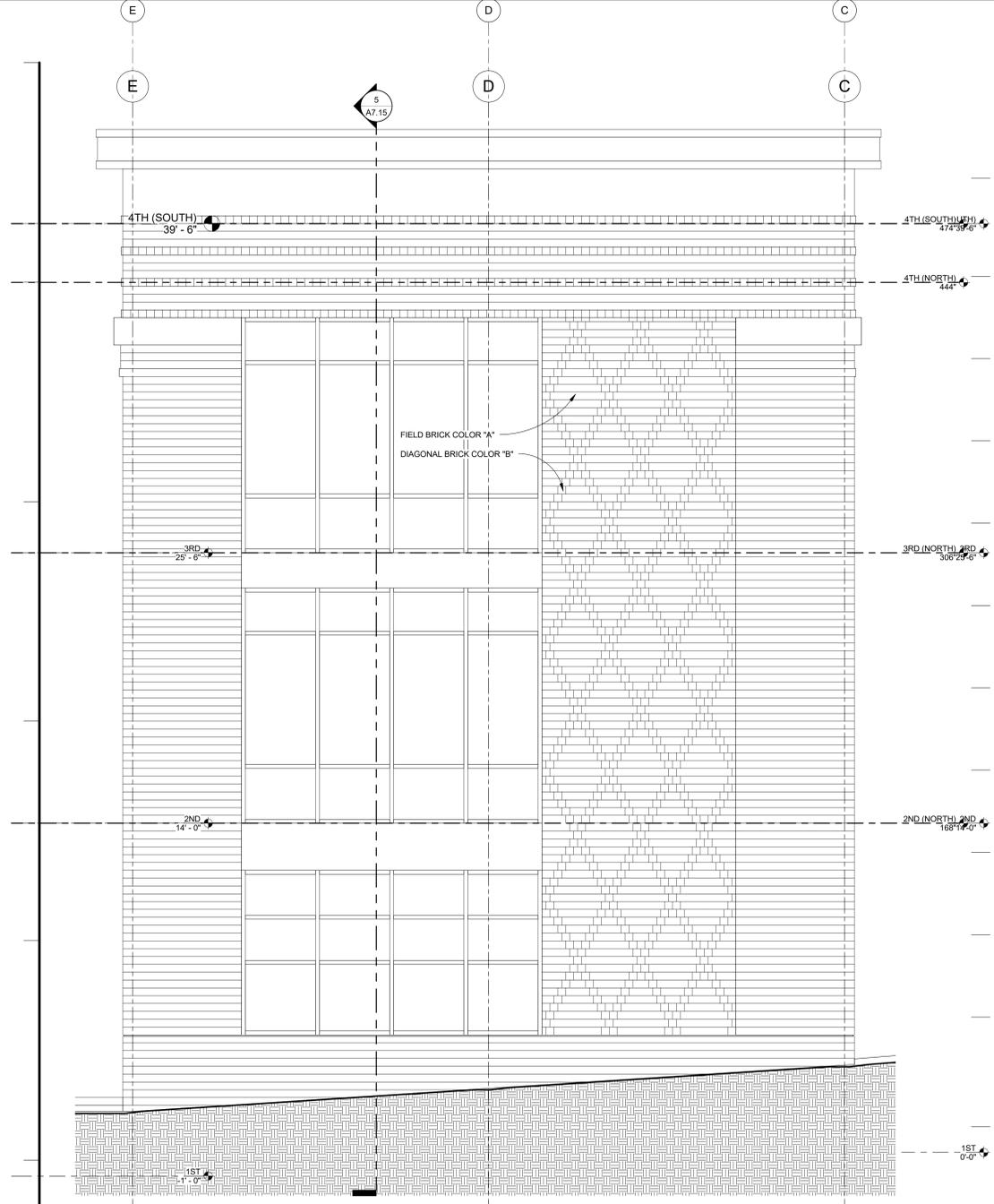
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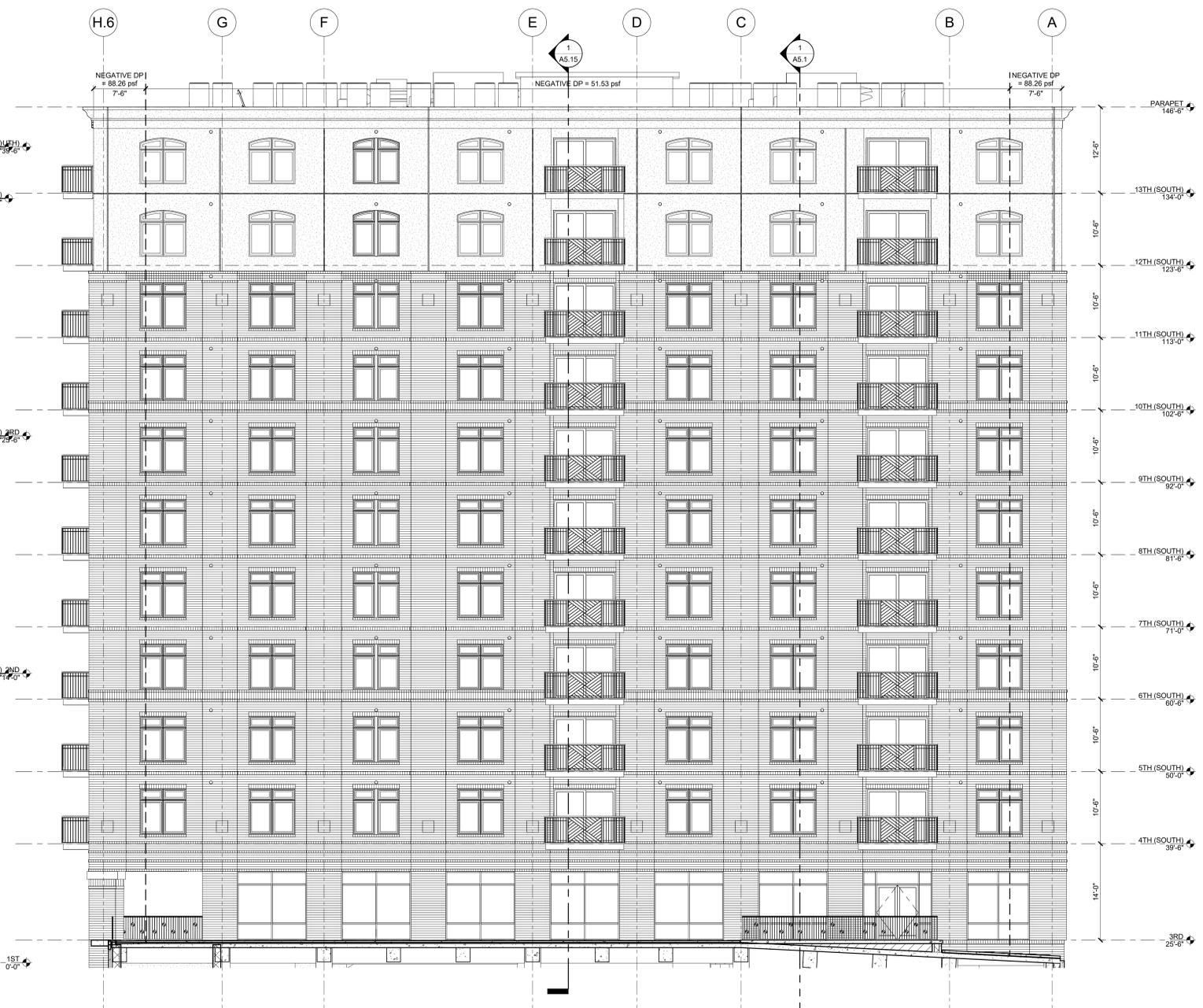
DESIGN  
DEVELOPMENT

SOUTH TOWER  
BUILDING  
ELEVATIONS

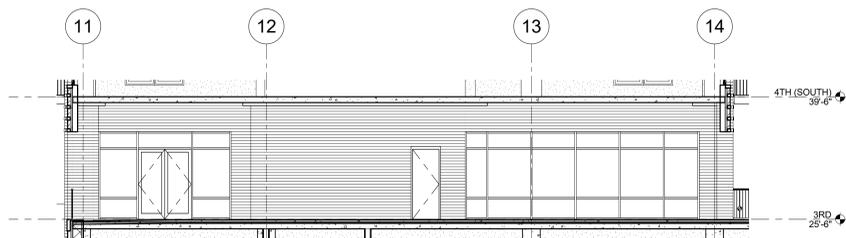
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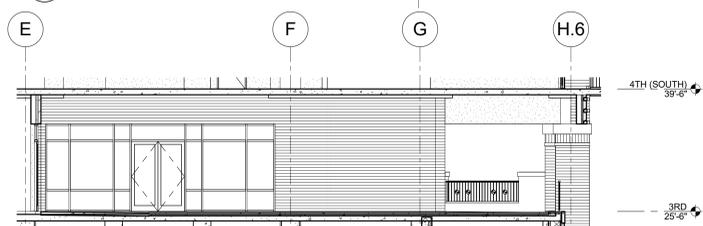
5 ENLARGED ELEVATION  
3/8" = 1'-0"



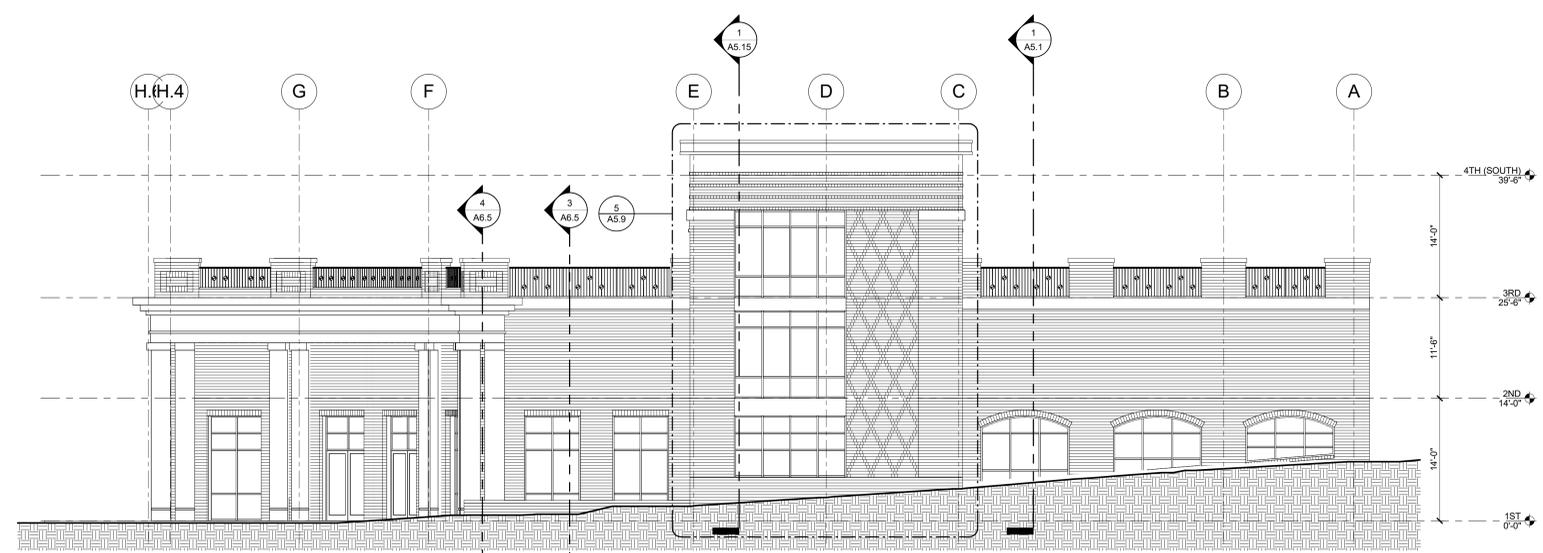
2 SOUTH ELEVATION SOUTH TOWER  
1/8" = 1'-0"



4 PARTIAL WEST ELEVATION SOUTH TOWER  
1/8" = 1'-0"



3 PARTIAL NORTH ELEVATION SOUTH TOWER  
1/8" = 1'-0"



1 SOUTH ELEVATION SOUTH TOWER  
1/8" = 1'-0"





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NOTE:  
ROOFTOP MOUNTED MECHANICAL EQUIPMENT  
IS NOT INCLUDED IN THIS SECTION

ELEVATOR SHAFT EXTEND  
THRU ROOF

BOTTOM OF HIGHEST STRUCTURAL  
MEMBER AT ROOF STRUCTURE

revisions:

1	09/09/16	TRC Resubmittal
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DESIGN  
DEVELOPMENT

SOUTH TOWER  
BUILDING  
SECTION

1 CROSS SECTION  
1/8" = 1'-0"

# A5.15