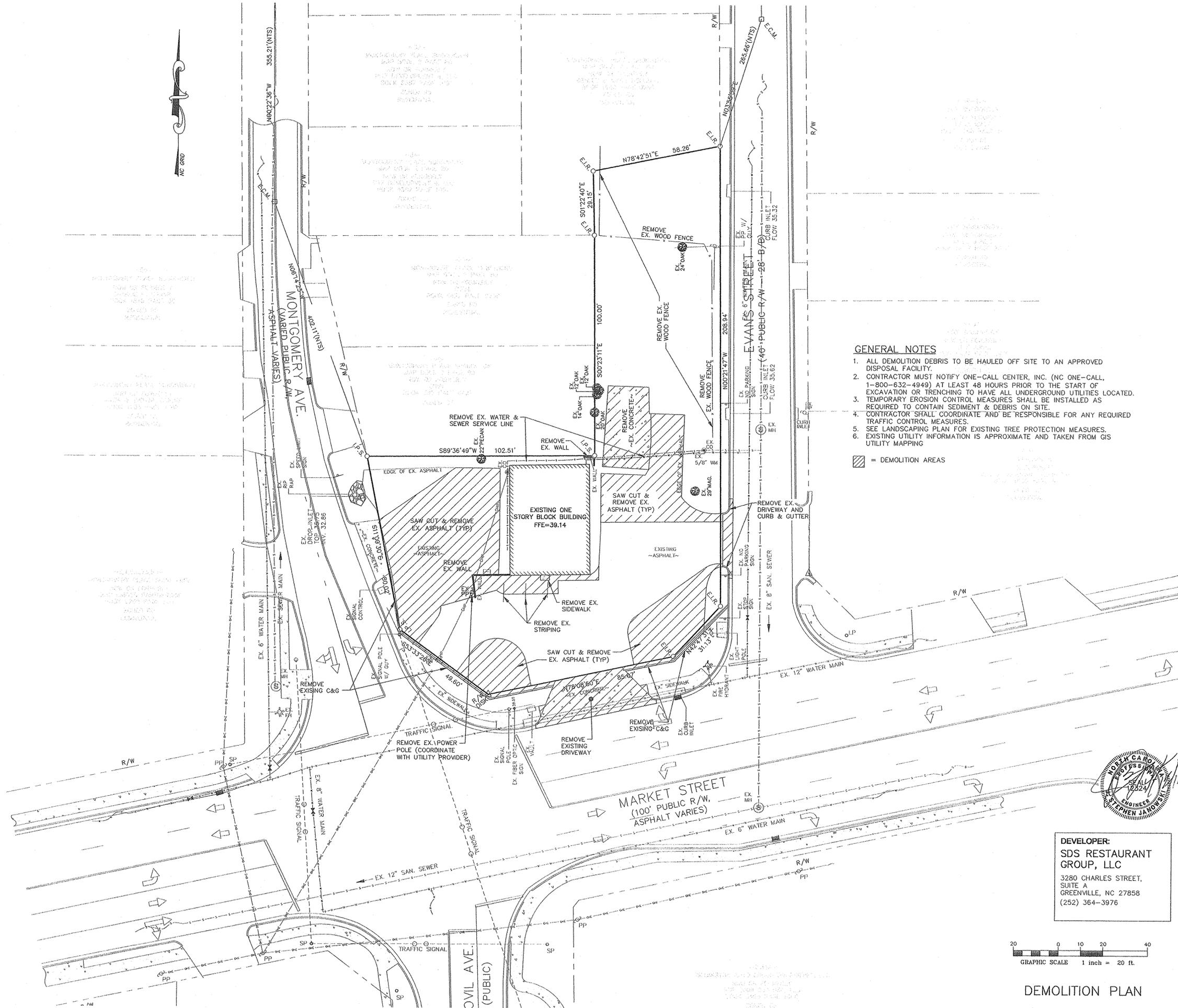


VICINITY MAP
(NOT TO SCALE)

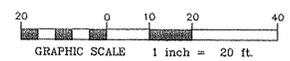


GENERAL NOTES

1. ALL DEMOLITION DEBRIS TO BE HAULED OFF SITE TO AN APPROVED DISPOSAL FACILITY.
2. CONTRACTOR MUST NOTIFY ONE-CALL CENTER, INC. (NC ONE-CALL, 1-800-632-4949) AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION OR TRENCHING TO HAVE ALL UNDERGROUND UTILITIES LOCATED.
3. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED TO CONTAIN SEDIMENT & DEBRIS ON SITE.
4. CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR ANY REQUIRED TRAFFIC CONTROL MEASURES.
5. SEE LANDSCAPING PLAN FOR EXISTING TREE PROTECTION MEASURES.
6. EXISTING UTILITY INFORMATION IS APPROXIMATE AND TAKEN FROM GIS UTILITY MAPPING

▨ = DEMOLITION AREAS

DEVELOPER:
SDS RESTAURANT GROUP, LLC
3280 CHARLES STREET,
SUITE A
GREENVILLE, NC 27858
(252) 364-3976



DEMOLITION PLAN

SURVEY PROVIDED BY:
MICHAEL UNDERWOOD and ASSOCIATES, PA
102 CINEMA DRIVE, SUITE A
WILMINGTON, NC 28403
PHONE: 910-915-0650
FAX: 910-915-0393
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Pizza Hut
3205 Market Street
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ENGINEER OF RECORD:
J.S. JANOWSKI
ENGINEERING, PA
ENGINEERING, PLANNING AND PROJECT MANAGEMENT
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CELL (252) 714-3002, OFFICE/FAX (252) 321-6236
JSTEPHENJANOWSKI@JSEENGINEERING.COM C-3754

SHEET NAME:
DEMOLITION PLAN

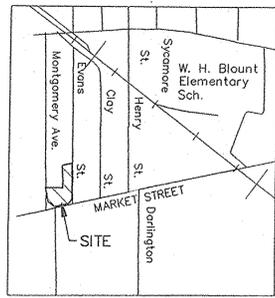
PHASE:
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REVISIONS:
4-12-13: CITY COMMENTS

ISSUE DATE: 03-20-2013
PROJECT #: 2013-007
DRAWN BY: CPT

SHEET NUMBER
C2.0

-DURHAM
-GREENVILLE



VICINITY MAP
(NOT TO SCALE)

GENERAL NOTES

- PROPOSED USES SHALL COMPLY WITH THE CITY OF WILMINGTON ZONING REGULATIONS FOR CS ZONING DISTRICT.
- PAVED AREAS SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY EXCEPT FOR THE TOP 6" OF SUBGRADE WHICH SHALL BE COMPACTED TO 100% MAXIMUM DRY DENSITY IN ACCORDANCE WITH AASHTO-T99.
- AGGREGATE BASE COURSE SHALL BE TYPE ABC CONFORMING TO SECTION 529 OF THE NCDOT STANDARD SPECIFICATIONS.
- BITUMINOUS CONCRETE SURFACE COURSE SHALL BE TYPE SP9.5A CONFORMING TO SECTION 645 OF THE NCDOT STANDARD SPECIFICATIONS.
- ALL MATERIALS AND INSTALLATION METHODS OF WATER AND SANITARY SEWER UTILITIES SHALL MEET THE MINIMUM REQUIREMENTS OF THE CITY OF WILMINGTON SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER AND WASTE WATER SYSTEMS EXTENSIONS. CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AT NEW STORM DRAIN AND SANITARY SEWER TIE-IN POINTS PRIOR TO ANY INSTALLATION OF UTILITIES.
- PROVIDE EXTERIOR CONCRETE WALLS AND CONCRETE AREAS WITH EXPANSION AND SCORED JOINTS IN PRE-APPROVED LOCATIONS. EXPANSION JOINTS SHALL BE 1/2" WIDE WITH EDGES TOOLED TO 1/8" RAD AND FILLED WITH HOT RUBBER ASPHALT SEALANT. PROVIDE ALL CORNERS, INTERSECTIONS, CHANGES IN SLOPE OR DIRECTION, AGAINST EXISTING OR NEW WALLS OR PAVEMENTS, AND AT INTERVALS NOT TO EXCEED 30'. SCORED JOINTS SHALL BE SCORED 1" DEEP MINIMUM AND RADIUS 1/8", AND SHALL BE PLACED AT INTERVALS NOT TO EXCEED 5 FEET.
- EACH PRIME CONTRACTOR PERFORMING EXCAVATIONS OR UNDER GROUND WORK SHALL BE RESPONSIBLE FOR THE LOCATION OF ANY EXISTING UTILITIES IN THE AREA OF THEIR WORK. NOTIFY THE UTILITY LOCATOR SERVICE (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION IN ORDER THAT EXISTING UTILITIES IN THE AREA MAY BE FLAGGED AND STAKED. CONTRACTOR SHALL USE ALL CARE NECESSARY WHEN WORKING IN AREAS KNOWN OR SUSPECTED TO CONTAIN UNDERGROUND UTILITIES, INCLUDING HAND DIGGING.
- AN APPROVED STORM WATER DETENTION PLAN IS NOT REQUIRED.
- CITY OF WILMINGTON DRIVEWAY PERMIT IS REQUIRED.
- AN APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS REQUIRED.
- COORDINATE DIRECTLY WITH NCDOT TO OBTAIN NECESSARY PERMIT REQUIRED TO PERFORM WORK IN MARKET STREET RIGHT-OF-WAY.
- A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
- GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS PRIOR TO CONSTRUCTION.
- NEW AND EXISTING FIRE HYDRANTS SHOWN ON THIS PLAN HAVE OR SHALL BE INSTALLED THAT NO PORTION OF BUILDING(S) LOCATED FURTHER THAN 400' FROM THE HYDRANT AS THE HOSE IS LAID.
- WILMINGTON UTILITIES POINT OF SERVICE FOR THE SEWER SHALL BE C.O. LOCATED AT THE RIGHT-OF-WAY OR AT THE EDGE OF THE SANITARY SEWER EASEMENT.
- NEW BUILDING CONSTRUCTION MUST COMPLY WITH ALL APPLICABLE BUILDING CODES.
- SITE SHALL MEET ALL ACCESSIBILITY REQUIREMENTS OF THE NC BUILDING CODE VOL. I-C, DEPT. OF INSURANCE APPROVAL OF CONSTRUCTION PLANS.
- NO WETLANDS EXIST ON THIS PROPERTY.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET THE LATEST VERSION AND/OR INTERPRETATION OF THE MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER AND IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED. CONTACT CITY OF WILMINGTON AT 341-5888 FOR MORE DETAILS.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH THE MUTCD STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.

SITE PLAN NOTES

- THE PROCESS FOR TELEPHONE CABLE PLACEMENT:
 - FINAL GRADE WILL NEED TO BE ESTABLISHED.
 - POWER WILL PLACE THEIR CABLE FIRST - THEY GO IN AT ABOUT 3 FT DEEP.
 - BELLSOUTH / CABLE TV WILL THEN PLACE THEIR CABLE AT APPROX. 2 FT DEEP.
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- ANY BROKEN OR MISSING SIDEWALK OR DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- PROJECT SHALL COMPLY WITH CITY OF WILMINGTON CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPERS SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CITY WATER SHALL COMPLY WITH THE CITY'S CROSS CONNECTION CONTROL REGULATIONS. CALL 343-3910 FOR INFORMATION.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CITY WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USGFCO/HR OR ASSE.

REFERENCES

- SURVEY DATA PROVIDED BY MICHAEL UNDERWOOD and ASSOCIATES, P.A.
- MB 2, PG 80 OF THE NEW HANOVER COUNTY REGISTRY.

NOTE

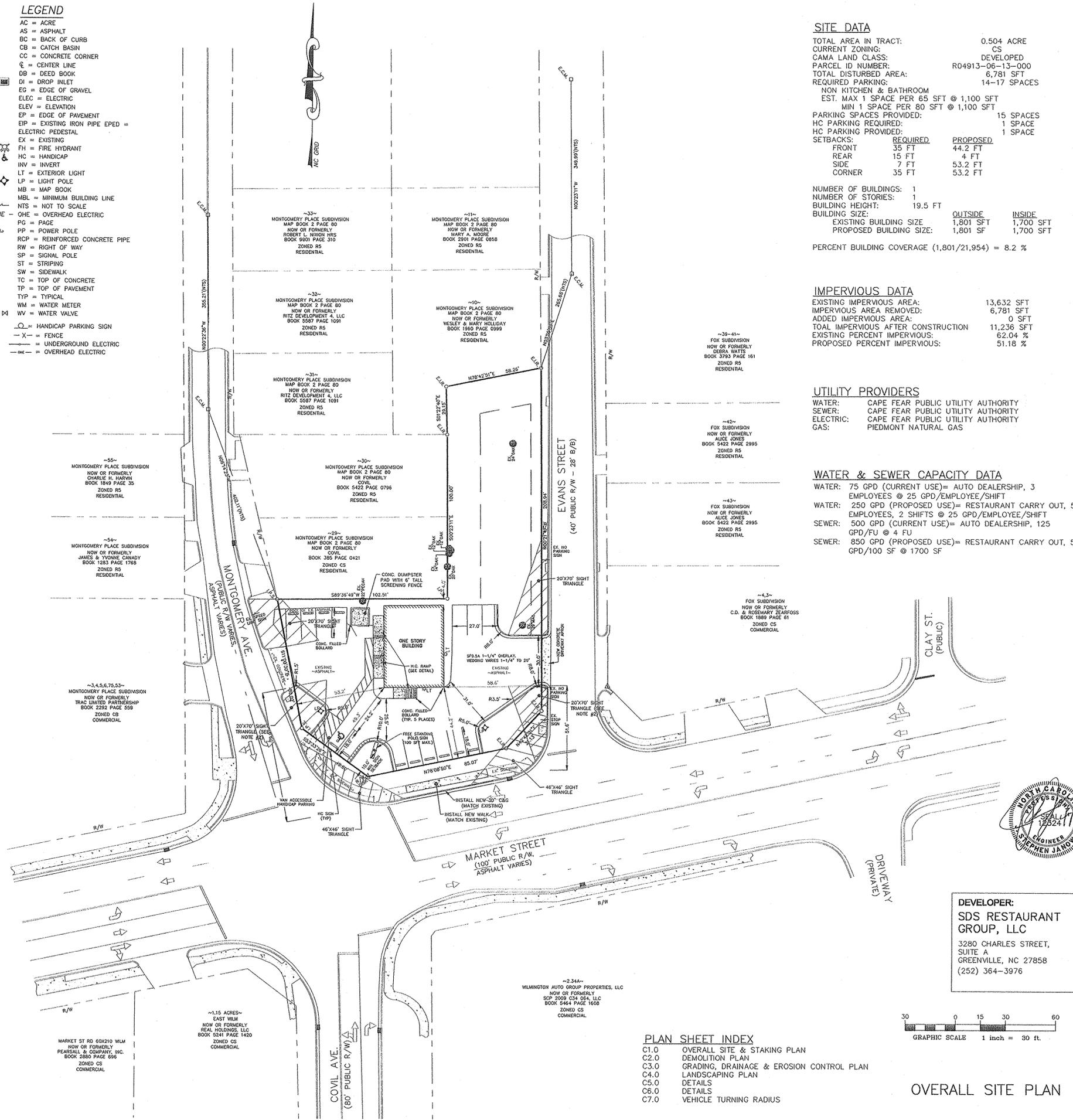
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SURVEY PROVIDED BY:

MICHAEL UNDERWOOD and ASSOCIATES, PA
102 CINEMA DRIVE, SUITE A
WILMINGTON, NC 28403
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FAX: 910-215-0393
E-MAIL: mu@muassoc.com Firm License # C-0615

LEGEND

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- X- = FENCE
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- OHE- = OVERHEAD ELECTRIC



SITE DATA

TOTAL AREA IN TRACT:	0.504 ACRE
CURRENT ZONING:	CS
CAMA LAND CLASS:	DEVELOPED
PARCEL ID NUMBER:	R04913-06-13-000
TOTAL DISTURBED AREA:	6,781 SFT
REQUIRED PARKING:	14-17 SPACES
NON KITCHEN & BATHROOM	
EST. MAX 1 SPACE PER 85 SFT @ 1,100 SFT	
MIN 1 SPACE PER 80 SFT @ 1,100 SFT	
PARKING SPACES PROVIDED:	15 SPACES
HC PARKING REQUIRED:	1 SPACE
HC PARKING PROVIDED:	1 SPACE
SETBACKS:	
FRONT	REQUIRED: 35 FT, PROPOSED: 44.2 FT
REAR	15 FT, 4 FT
SIDE	7 FT, 53.2 FT
CORNER	35 FT, 53.2 FT

NUMBER OF BUILDINGS:	1
NUMBER OF STORIES:	1
BUILDING HEIGHT:	19.5 FT
BUILDING SIZE:	
EXISTING BUILDING SIZE:	1,801 SFT
PROPOSED BUILDING SIZE:	1,700 SFT

PERCENT BUILDING COVERAGE (1,801/21,954) = 8.2 %

IMPERVIOUS DATA

EXISTING IMPERVIOUS AREA:	13,632 SFT
IMPERVIOUS AREA REMOVED:	6,781 SFT
ADDED IMPERVIOUS AREA:	0 SFT
TOAL IMPERVIOUS AFTER CONSTRUCTION	11,236 SFT
EXISTING PERCENT IMPERVIOUS:	62.04 %
PROPOSED PERCENT IMPERVIOUS:	51.18 %

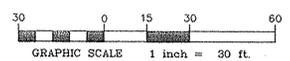
UTILITY PROVIDERS

WATER:	CAPE FEAR PUBLIC UTILITY AUTHORITY
SEWER:	CAPE FEAR PUBLIC UTILITY AUTHORITY
ELECTRIC:	CAPE FEAR PUBLIC UTILITY AUTHORITY
GAS:	PIEDMONT NATURAL GAS

WATER & SEWER CAPACITY DATA

WATER:	75 GPD (CURRENT USE)= AUTO DEALERSHIP, 3 EMPLOYEES @ 25 GPD/EMPLOYEE/SHIFT
WATER:	250 GPD (PROPOSED USE)= RESTAURANT CARRY OUT, 5 EMPLOYEES, 2 SHIFTS @ 25 GPD/EMPLOYEE/SHIFT
SEWER:	500 GPD (CURRENT USE)= AUTO DEALERSHIP, 125 GPD/FU @ 4 FU
SEWER:	850 GPD (PROPOSED USE)= RESTAURANT CARRY OUT, 50 GPD/100 SF @ 1700 SF

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PLAN SHEET INDEX

- C1.0 OVERALL SITE & STAKING PLAN
- C2.0 DEMOLITION PLAN
- C3.0 GRADING, DRAINAGE & EROSION CONTROL PLAN
- C4.0 LANDSCAPING PLAN
- C5.0 DETAILS
- C6.0 DETAILS
- C7.0 VEHICLE TURNING RADIUS

OVERALL SITE PLAN

MHAworks
INTERIORS
PLANNING ARCHITECTURE

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SHEET NAME:
OVERALL SITE PLAN

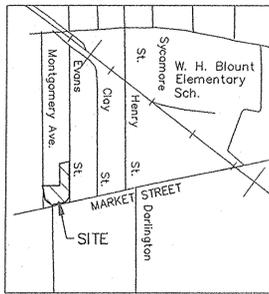
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REVISIONS:
4-12-13: CITY COMMENTS

ISSUE DATE: **03-20-2013**
PROJECT #: **2013-007**

DRAWN BY: **CPT**

SHEET NUMBER
C1.0



VICINITY MAP
(NOT TO SCALE)

GENERAL NOTES

- GENERAL NOTES
- COORDINATE DIRECTLY WITH NCDOT TO OBTAIN NECESSARY PERMIT REQUIRED TO PERFORM WORK IN MARKET STREET RIGHT-OF-WAY.
- CONTRACTOR MUST NOTIFY ONE - CALL CENTER, INC. (NC ONE-CALL) 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION OR TRENCHING TO HAVE ALL UNDERGROUND UTILITIES LOCATED.
- ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO THE CITY OF WILMINGTON LAND DEVELOPMENT CODE AND TECHNICAL STANDARDS.
- CONTRACTOR SHALL NOTIFY PUBLIC WORKS, STREET MAINTENANCE DIVISION 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING STORM DRAINS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS OR RIGHT-OF-WAY.
- ANY LAND DISTURBING ACTIVITY WHICH WILL UNCOVER MORE THAN ONE (1) ACRE SHALL OBTAIN SOIL EROSION AND SEDIMENTATION CONTROL PLAN APPROVAL OF THE CITY ENGINEER PRIOR TO INITIATION OF SUCH ACTIVITY.

SEEDING AND MULCHING

ALL ROADWAY AREAS	
MARCH 1-AUGUST 31	SEPTEMBER 1-FEBRUARY 28
50# TALL FESCUE	50# TALL FESCUE
10# CENTIPEDE	10# CENTIPEDE
25# BERMUDAGRASS (HULLED)	35# BERMUDAGRASS (HULLED)
500# FERTILIZER	500# FERTILIZER
4000# LIMESTONE	4000# LIMESTONE

- ON CUT AND FILL SLOPES 2:1 OR STEEPER CENTIPEDE SHALL BE APPLIED AT A RATE OF 5 POUNDS PER ACRE AND ADD 20# OF SERICEA LESPEDEZA FROM JANUARY 1-DECEMBER 31.
- FERTILIZER SHALL BE 10-20-20 ANALYSIS. A DIFFERENT ANALYSIS OF FERTILIZER MAY BE USED PROVIDED THE 1-2-2 RATIO IS MAINTAINED AND THE RATE OF APPLICATION ADJUSTED TO PROVIDE THE SAME AMOUNT OF PLANT FOOD AS A 10-20-20 ANALYSIS AND AS DIRECTED.
- ALL AREAS SEEDED AND MULCHED SHALL BE TACKED WITH ASPHALT. CRIMPING OF STRAW IN LIEU OF ASPHALT TACK SHALL NOT BE ALLOWED ON PROJECTS.
- CRIMPING STRAW MULCH
 - CRIMPING SHALL BE REQUIRED ON PROJECTS ADJACENT TO ANY SECTION OF ROADWAY WHERE TRAFFIC IS TO BE MAINTAINED OR ALLOWED DURING CONSTRUCTION. IN AREAS WITHIN SIX FEET OF THE EDGE OF PAVEMENT, STRAW IS TO BE APPLIED AND THEN CRIMPED. AFTER THE CRIMPING OPERATION IS COMPLETE, AN ADDITIONAL APPLICATION OF STRAW SHALL BE APPLIED AND IMMEDIATELY TACKED WITH A SUFFICIENT AMOUNT OF UNDILUTED EMULSIFIED ASPHALT. STRAW MULCH SHALL BE SUFFICIENT LENGTH AND QUALITY TO WITHSTAND THE CRIMPING OPERATION.
 - CRIMPING EQUIPMENT INCLUDING POWER SOURCE SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER PROVIDING THAT MAXIMUM SPACING OF CRIMPER BLADES SHALL NOT EXCEED 8"

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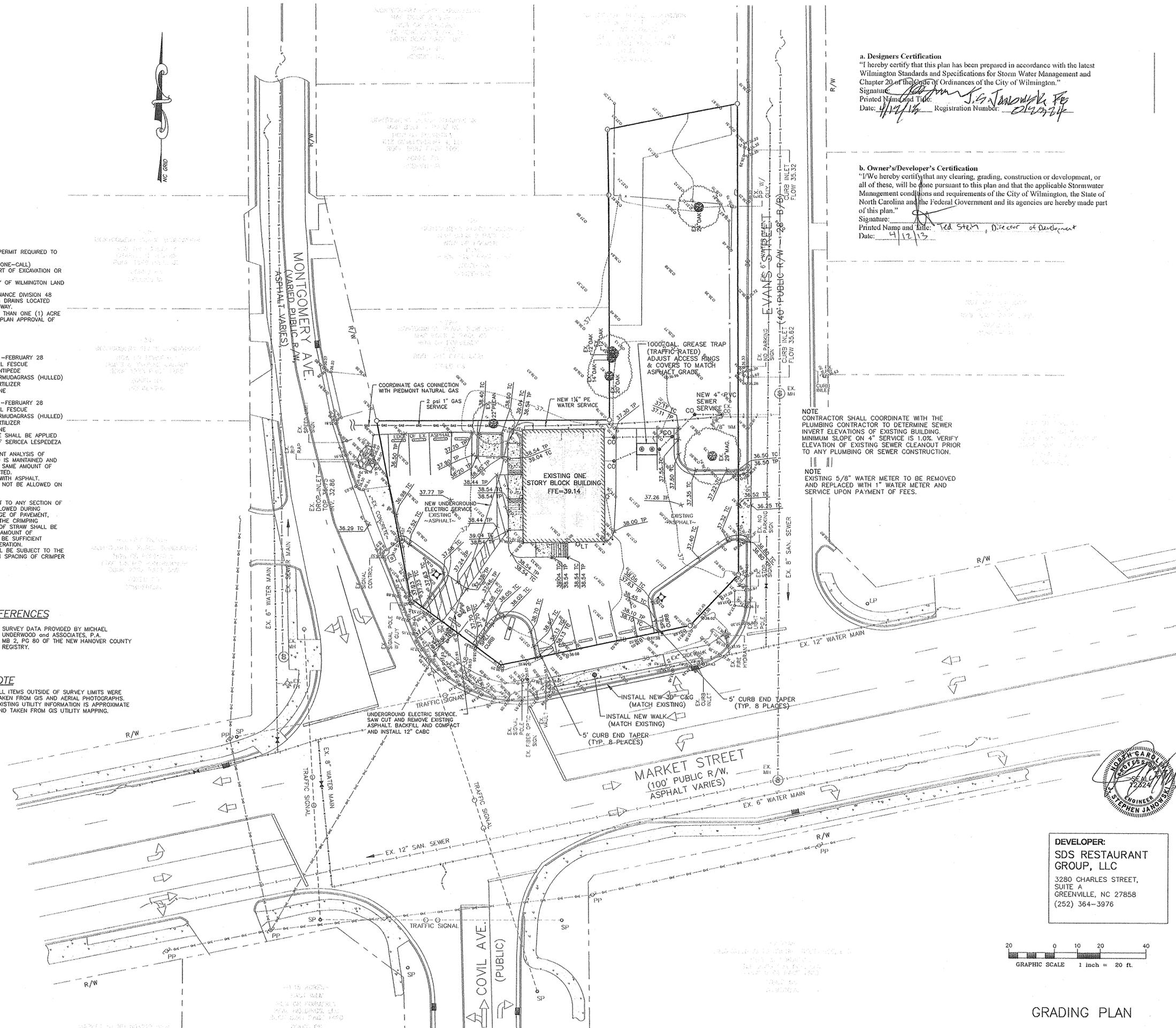
REFERENCES

- SURVEY DATA PROVIDED BY MICHAEL UNDERWOOD AND ASSOCIATES, P.A.
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NOTE

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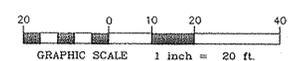
a. Designers Certification
"I hereby certify that this plan has been prepared in accordance with the latest Wilmington Standards and Specifications for Storm Water Management and Chapter 20 of the Code of Ordinances of the City of Wilmington."
Signature: *J.S. Janowski*
Date: 4/19/13 Registration Number: 0122374

b. Owner's/Developer's Certification
"I/We hereby certify that any clearing, grading, construction or development, or all of these, will be done pursuant to this plan and that the applicable Stormwater Management conditions and requirements of the City of Wilmington, the State of North Carolina and the Federal Government and its agencies are hereby made part of this plan."
Signature: *Ted Stern*
Printed Name and Title: Ted Stern, Director of Development
Date: 4/17/13

NOTE
CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR TO DETERMINE SEWER INVERT ELEVATIONS OF EXISTING BUILDING. MINIMUM SLOPE ON 4" SERVICE IS 1.0%. VERIFY ELEVATION OF EXISTING SEWER CLEANOUT PRIOR TO ANY PLUMBING OR SEWER CONSTRUCTION.

NOTE
EXISTING 5/8" WATER METER TO BE REMOVED AND REPLACED WITH 1" WATER METER AND SERVICE UPON PAYMENT OF FEES.

DEVELOPER:
SDS RESTAURANT GROUP, LLC
3280 CHARLES STREET,
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GRADING PLAN

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ARCHITECTURE INTERIORS
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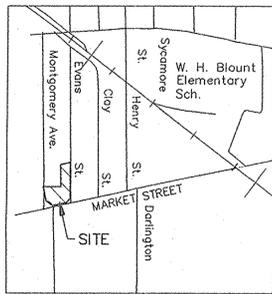
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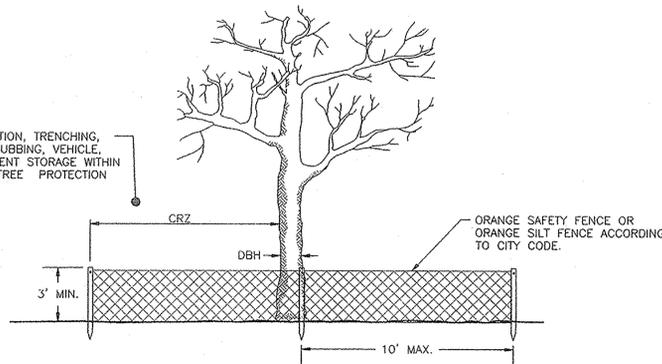


VICINITY MAP
(NOT TO SCALE)

NOTE:
THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.

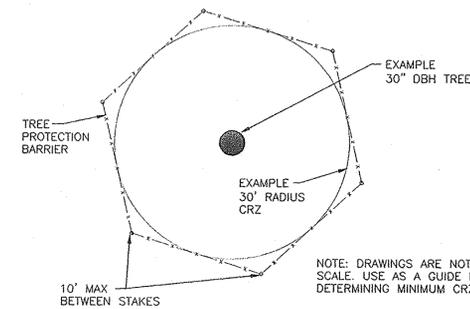
NOTE:
CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISFIGURE CROWN WITH INTENSIVE PRUNING.

NO EXCAVATION, TRENCHING, TILLING, GRUBBING, VEHICLE, OR EQUIPMENT STORAGE WITHIN LIMITS OF TREE PROTECTION FENCING.



- NOTES:
1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
 2. CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT THE BREAST HEIGHT (DBH).
 3. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
 4. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO HEAVY MATERIALS SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
 5. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES MAY RESULT IN A STOP WORK ORDER AND A FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YEARS FOR TREE MITIGATION.

1" DBH = 1' RADIUS OF THE CRZ.
(DBH=DIAMETER BREAST HEIGHT)

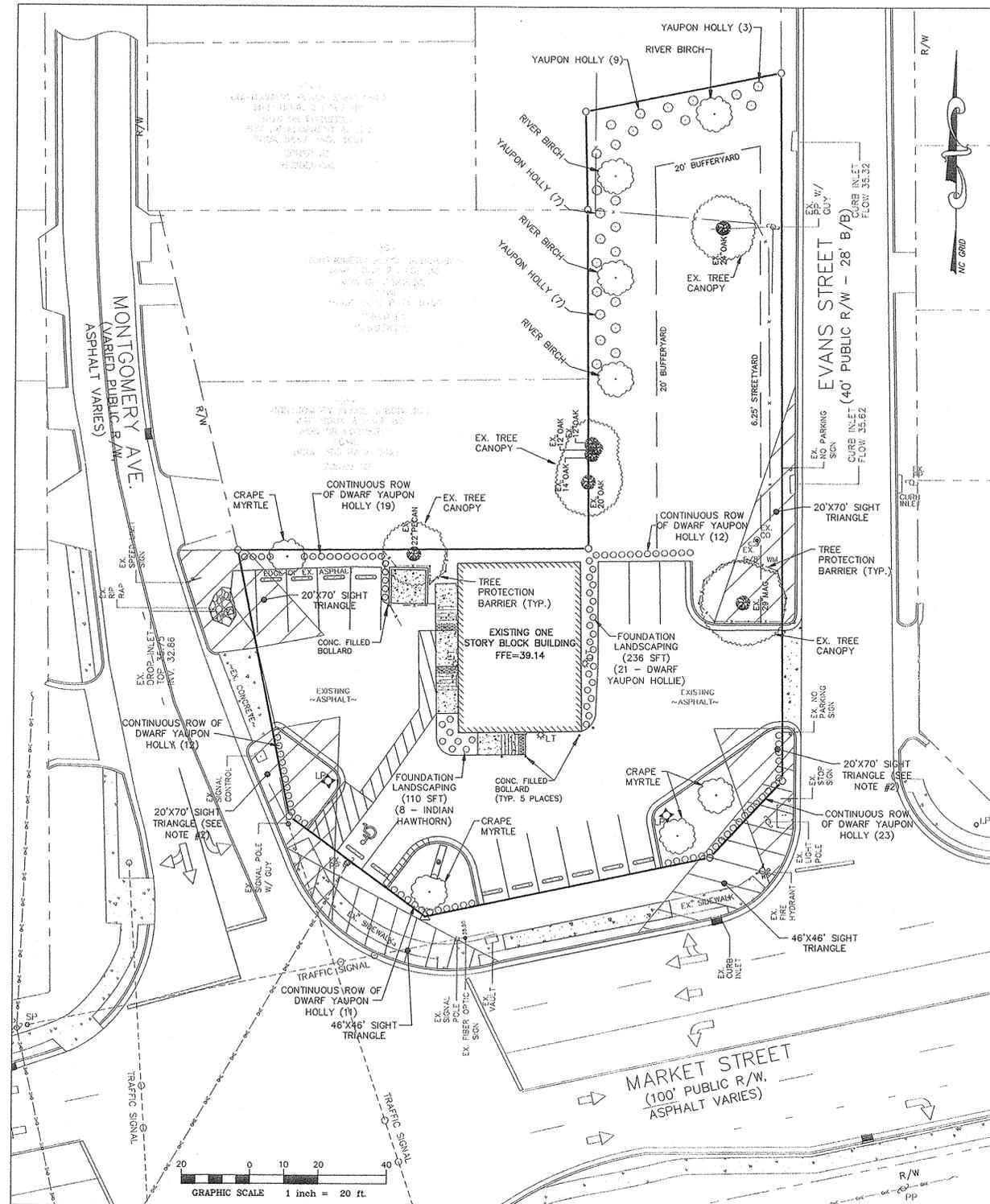


NOTE: DRAWINGS ARE NOT TO SCALE. USE AS A GUIDE FOR DETERMINING MINIMUM CRZ.

A
C-4 TREE PROTECTION DURING CONSTRUCTION
NOT TO SCALE

NOTES

1. INSTALL TREE PROTECTION AS REQUIRED PROTECT ALL EXISTING TREES FROM DAMAGE DURING CONSTRUCTION.
2. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10'.
3. PROTECTION FROM VEHICULAR TRAFFIC PROVIDED AROUND ALL LANDSCAPING WITH A MINIMUM HEIGHT OF 6 INCHES.
4. OWNER IS RESPONSIBLE FOR MAINTENANCE TO ENSURE PLANT MATERIAL LIVES AND PROSPERS.
5. PLANTING PLANS SHALL BE APPROVED BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION.
6. LANDSCAPING SHALL BE REQUIRED AT THE ENDS OF ALL PARKING ROWS.
7. A LOW BUFFER SHALL BE REQUIRED WHERE PARKING IS WITHIN 50 FEET OF THE RIGHT-OF-WAY.
8. LANDSCAPED ISLANDS SHALL BE A MINIMUM WIDTH OF 12 FEET (BACK OF CURB TO BACK OF CURB) AND A MINIMUM OF 216 SQUARE FEET.
9. A MINIMUM OF 15 TREES 2.5 INCHES OR GREATER IN DIAMETER AS MEASURED 6 INCHES ABOVE GROUND PER DISTURBED ACRE.
10. FOR RECOMMENDED PLANT LIST SEE "LANDSCAPE" T-10.4 OF THE CITY CODE.
11. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.



LEGEND

- = NEW TREE
 - = NEW SHRUB
 - = EXISTING TREE
 - = EXISTING TREE CANOPY
- B&B = BALLED & BURLAPPED

SCHEDULE FOR LANDSCAPING

NAME	SIZE	HEIGHT	QUANTITY	CALIPER
YAUPOON HOLLY	3 GAL.	N/A	26	N/A
GRAPE MYRTLE	B&B	8'-12"	4	2.5" MIN.
RIVER BIRCH	B&B	8'-12"	4	2.5" MIN.
DWARF YAUPOON HOLLY	1 GAL.	N/A	98	N/A
INDIAN HAWTHORN	1 GAL.	N/A	8	N/A

LANDSCAPING NOTES:

LANDSCAPING FOR EXPANSIONS TO EXISTING PRINCIPAL STRUCTURES OR USES

- A. Disturbed Area = 7326 sf
- B. Gross Finished Floor Expansion = 0 sf
- C. Increase in Parking Spaces = (-6)
- D. Required Trees = 2 (Exceeded with existing vegetation)
- E. 1/2 Required for New Construction - not practical on Market Street and Montgomery. Planted landscaped islands to mitigate
- F. Buffer Yard = 1/2 the width of the required buffer for new construction

STREET YARD LANDSCAPING

- CS zoning multiplier = 25
- A Market Street 165.8 lf 4145 sf required for new construction primary street
- B Montgomery Street 80.0 lf 2073 sf required for expansion of existing facilities. Note: existing property paved into the right of way - impervious area in the right of way removed and islands added as mitigation.
- C Evans Street 208.9 lf 5200 sf required for new construction 2600 sf required for secondary street. Note: At 600 sf per canopy tree use 4 ea. Existing Magnolia and oak tree account for 8 trees therefore none added along Evans Street. Minimum width = 12.5 / 2 = 6.25 ft

TREE PRESERVATION

The CRZ (Critical Root Zone) is currently under existing impervious area. Tree protection fencing will be installed to the maximum practical extents possible.

Existing Tree	Equivalent New Trees
29' Magnolia Trees	5
14' Oak	3
12' Oak	3
12' Oak	3
22' Pecan	4
20' Oak	4
24' Oak	4

Total Equivalent New Trees 26

BUFFER YARD REQUIREMENT

Buffer yards shall provide approximately one hundred (100) percent opacity with plantings as specified in the approved plantings list. Buffer yards may be occupied only by natural and/or planted vegetation, berms, and fencing as specified below. For all types, however, the planted material shall be a combination of trees and shrubs.

- (a) Natural vegetation must be retained in accordance with Division II of this article.
- (b) One (1) or more of the following means shall be used to supplement the natural vegetation as necessary or to provide an adequate buffer where no natural vegetation exists.
 - (1) Planted buffer yards—The planted buffer yards shall perform as "opaque screens" achieving one hundred (100) percent opacity from the ground to a height of six (6) feet, with intermittent visual obstructions from the opaque portion to a height of at least twenty (20) feet, within three (3) years of planting. Trees shall be of the size specified in section 18-448 at planting, and should be selected from the screening tree list. Shrubs shall be a minimum of three (3) feet high at planting. To provide a variety of height and depth, at least one (1) tree on average will be planted for every thirty (30) linear feet of screen. Spacing of trees should be varied from straight lines and equidistant spacing where practical. Clustering and/or random spacing of plants and trees is encouraged to produce a natural appearance in the landscape to the extent that the planting meets the screening and opacity intent of this section. Trees should be placed and spaced to provide visual aesthetic appeal; to accommodate specific growth habits of species used; to incorporate existing trees into the screen; and clustered where appropriate to provide the maximum visual buffering protection to the adjacent use.
 - (2) Compliance of planted vegetation screens or natural vegetation will be determined on the basis of the average mature height and density of foliage of the subject species, or field observation of existing vegetation. The opaque portion of the screen must be opaque in all seasons of the year. At maturity, the portion of intermittent visual obstruction should not leave any completely unobstructed openings of more than ten (10) feet wide where it is providing screening of structures. The portion of intermittent visual obstructions may contain deciduous plants.



DEVELOPER:
SDS RESTAURANT GROUP, LLC
3280 CHARLES STREET,
SUITE A
GREENVILLE, NC 27858
(252) 364-3976



408 EVANS STREET, SUITE 102
GREENVILLE, NORTH CAROLINA 27858
P 252.225.0119
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www.mhaworks.com

Pizza Hut
3205 Market Street

Wilmington, North Carolina

J.S. JANOWSKI
ENGINEERING, PA
ENGINEERING, PLANNING AND PROJECT MANAGEMENT
PO BOX 30906, Greenville, NC 27833-0906
CELL (252) 714-3002, OFFICE/FAX (252) 321-6236
JSTEPHENJANOWSKI@JSEENGINEERING.COM

SHEET NAME:
LANDSCAPING PLAN

PHASE:
CD

REVISIONS:
4-12-13: CITY COMMENTS

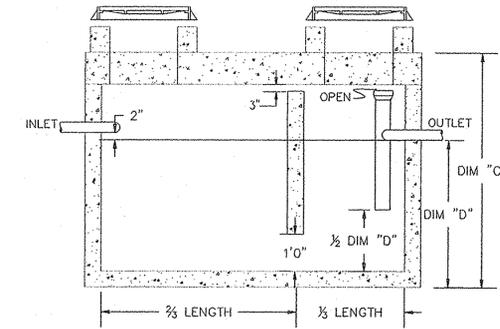
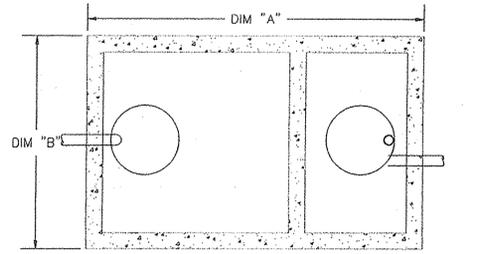
ISSUE DATE: 03-20-2013
PROJECT #: 2013-007
DRAWN BY: CPT

SHEET NUMBER
C4.0

LANDSCAPING PLAN

-DURHAM
-GREENVILLE

C-3754



THE OIL AND GREASE TRAP DIMENSIONAL DETAIL CONTAINS THE DIMENSION CHART FOR THE OIL/GREASE TRAP

OIL AND GREASE TRAP DIMENSION CHART				
CAP (GAL.)	DIM "A"	DIM "B"	DIM "C"	DIM "D"
600	7'0"	4'8"	7'0"	3'6"
750	7'0"	4'8"	7'0"	4'3"
1000	9'0"	5'0"	7'2"	4'2"
1250	9'0"	5'0"	7'2"	5'2"
1500	11'2"	5'8"	7'2"	4'4"
1750	11'2"	5'8"	7'2"	4'11"
2000	12'8"	6'8"	8'0"	4'7"
2500	12'8"	6'8"	8'0"	5'6"
2750	12'8"	6'8"	8'0"	6'0"
3000	15'7"	9'7"	8'6.5"	5'0"
4000	15'7"	9'7"	8'6.5"	6'3"
5000	19'11"	9'11"	8'11"	6'2"
6000	19'11"	9'11"	10'5"	7'2"

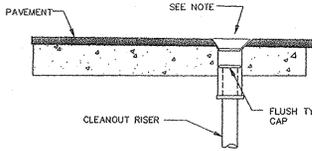
NOTES:

1. CONCRETE: 28 DAY $f_c=4500$ psi
2. REBAR: ASTM A-615 GRADE 60
3. MESH: ASTM A-185 GRADE 60
4. DESIGN: ACI 318-83 BUILDING CODE ASTM C-857 MINIMUM STRUCTURAL DESIGN LOADING FOR UNDERGROUND PRECAST CONCRETE UTILITY STRUCTURES
5. LOADS: H-20 TRUCK WHEEL WITH 30% IMPACT PER AASHTO
6. FILL WITH CLEAN WATER PRIOR TO START UP OF SYSTEM
7. CONTRACTOR TO SUPPLY AND INSTALL ALL PIPING, SANITARY TEES, AND 4" DUAL SWEEP CLEAN OUTS (FOR CLEANING TOWARD AND AWAY FROM TRAP ON BOTH THE INLET AND OUTLET SIDE).
8. GRAY WATER ONLY, BLACK WATER SHALL BE CARRIED BY SEPARATE SEWER.
9. ALL PIPE PENETRATIONS SHALL BE WATERTIGHT

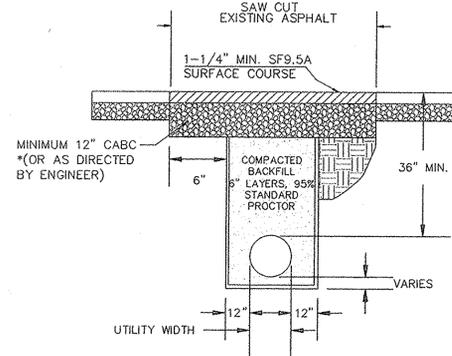
*OIL & GREASE TRAP SHALL BE TRAFFIC RATED WITH 6" CONCRETE TOP

A OIL & GREASE TRAP SIZING
C-5 NOT TO SCALE

- NOTE
- FOR 4" SERVICE, BOX TO BE VULCAN MODEL #98471 WITH #68480 LID MARKED SEWER.
 - FOR 6" SERVICE, BOX TO BE EAST JORDAN #15742 W/ LID MARKED SEWER.



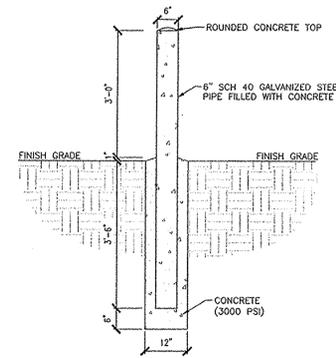
D SEWER CLEAN OUT
C-5 NOT TO SCALE



NOTES:

1. THE PAVEMENT SHALL BE DEFINED BY A STRAIGHT EDGE, PREFERABLY A MACHINED SAW CUT.
2. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH DRY SOIL OR ABC STONE USING MAXIMUM 6" LIFTS TO WITHIN 10" OF THE ROAD SURFACE. THE BACKFILL SHALL BE COMPACTED PER ASTM D698 TO A DENSITY OF 95% OF THE STANDARD PROCTOR DENSITY.
3. WITHIN ROADS MAINTAINED BY NCDOT, THE TRENCH SHALL BE BACKFILLED AND COMPACTED USING FLOWABLE FILL OR ABC STONE TO WITHIN 12" OF THE ROAD SURFACE. WHERE ABC STONE IS USED, IT SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO-99 AS MODIFIED BY NCDOT.
4. THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-80 AS MODIFIED BY NCDOT. BITUMINOUS BASE OR BINDER MAY BE SUBSTITUTED IF APPROVED BY THE ENGINEER.
5. THE ENTIRE THICKNESS/VERTICAL EDGE OF THE CUT SHALL BE TACKED.
6. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 2" THICK.
7. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY TO ACHIEVE A SMOOTH LEVEL PATCH.

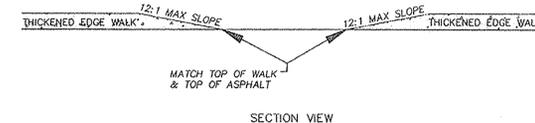
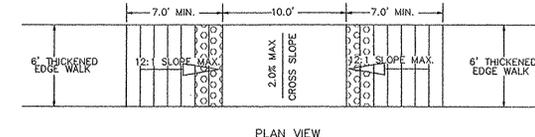
G TYPICAL ASPHALT PAVEMENT PATCH
C-5 NOT TO SCALE



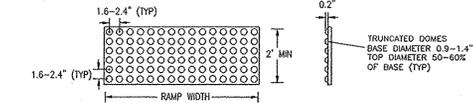
NOTE:

1. A MINIMUM OF TWO FIELD COATS OF ZINC CHROMATE PRIMER SHALL BE APPLIED TO STEEL PIPE ABOVE GROUND.
2. SEE PLAN FOR NUMBER OF BOLLARDS TO INSTALL.

B 6" CONCRETE FILLED PIPE BOLLARD
C-5 NOT TO SCALE

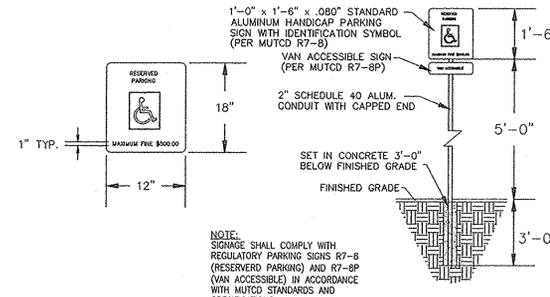


WARNING DOMES



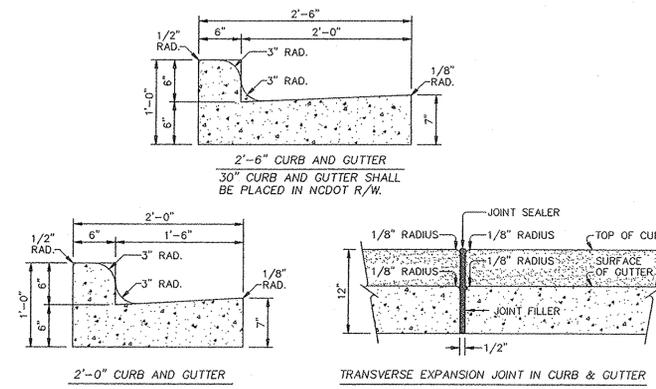
- WARNING DOME NOTES:
1. USE CONTRASTING COLORS, RED OR BLACK ON WHITE PAVEMENT.
 2. USE CAST IN PLACE PAVERS FOR NEW CONSTRUCTION.
 3. RUBBER MATS ARE PERMITTED FOR RETROFITS.
 4. LANDING AND RAMP WIDTH MAY BE REDUCED TO 3' WHERE SPACE IS LIMITED AND DESIGN IS APPROVED BY THE CITY ENGINEER.

C TYPICAL SIDEWALK ACCESS WIPE DOWN
C-5 NOT TO SCALE



- NOTE:
1. SIGNAGE SHALL COMPLY WITH REGULATORY PARKING SIGNS R7-6 (RESERVED PARKING) AND R7-8P (VAN ACCESSIBLE) IN ACCORDANCE WITH MUTCD STANDARDS AND SPECIFICATIONS.

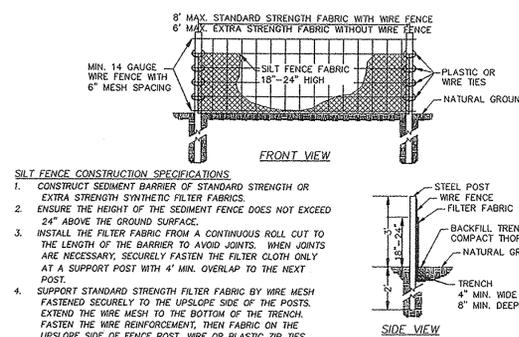
E HANDICAP PARKING SIGNAGE
C-5 NOT TO SCALE



NOTES:

1. CONTRACTION JOINTS SHALL BE PLACED AT 10' INTERVALS, EXCEPT THAT 15' SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10' INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.
2. CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS, WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE OBTAINED.
3. ALL CONTRACTION JOINTS SHALL BE FILLED WITH JOINT FILLER.
4. EXPANSION JOINTS SHALL BE SPACED AT 90' INTERVALS, AND ADJACENT TO ALL RIGID OBJECTS.
5. ALL CURB AND GUTTERS ARE TO BE POURED WITH CLASS "A" CONCRETE (3,000 PSI).
6. FLEXIBLE FORMS ARE TO BE USED WHEN RADIUS IS LESS THAN 200'.

F STANDARD CURB & GUTTER
C-5 NOT TO SCALE

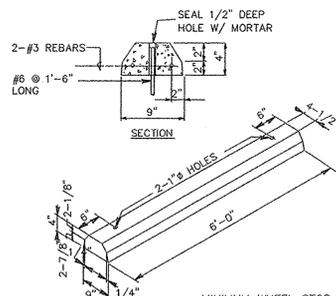


SILT FENCE CONSTRUCTION SPECIFICATIONS

1. CONSTRUCT SEDIMENT BARRIER OF STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS.
2. ENSURE THE HEIGHT OF THE SEDIMENT FENCE DOES NOT EXCEED 24" ABOVE THE GROUND SURFACE.
3. INSTALL THE FILTER FABRIC FROM A CONTINUOUS ROLL OUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FILTER CLOTH ONLY AT A SUPPORT POST WITH 4" MIN. OVERLAP TO THE NEXT POST.
4. SUPPORT STANDARD STRENGTH FILTER FABRIC BY WIRE MESH FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS. EXTEND THE WIRE MESH TO THE BOTTOM OF THE TRENCH. FASTEN THE WIRE REINFORCEMENT, THEN FABRIC ON THE UPSLOPE SIDE OF FENCE POST. WIRE OR PLASTIC ZIP TIES SHOULD HAVE A MIN. 50 POUND TENSILE STRENGTH.
5. WHEN A WIRE MESH SUPPORT FENCE IS USED, SPACE POSTS A MAX. OF 8' APART. DRIVE SUPPORT POST INTO THE GROUND A MIN. OF 24".
6. EXTRA STRENGTH FILTER FABRIC WITH 6" POST SPACING DOES NOT REQUIRE WIRE MESH SUPPORT. SECURELY FASTEN THE FILTER FABRIC DIRECTLY TO POSTS WITH WIRE OR ZIP TIES OF MIN. 50 POUND TENSILE STRENGTH.
7. EXCAVATE A TRENCH 4" WIDE AND 8" DEEP ALONG THE PROPOSED LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
8. PLACE 12" OF THE FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
9. BACKFILL THE TRENCH WITH SOIL PLACED OVER THE FILTER FABRIC AND COMPACT.
10. DO NOT ATTACH FILTER FABRIC TO EXISTING TREES.

SILT FENCE CONSTRUCTION MATERIALS

1. USE SYNTHETIC FILTER FABRIC THAT IS 95% BY WEIGHT POLYOLEFINS OR POLYESTER, AND IS CERTIFIED BY THE MANUFACTURER AS CONFORMING TO THE REQUIREMENTS IN ASTM D 6461.
2. USE FENCE POSTS THAT ARE 1.33 LB/LINEAR FT STEEL WITH A MIN. LENGTH OF 5'. POSTS SHALL HAVE PROJECTIONS TO FACILITATE FASTENING THE FABRIC.
3. USE WIRE FENCE WITH MINIMUM 14 GAUGE AND A MAXIMUM MESH SPACING OF 6".



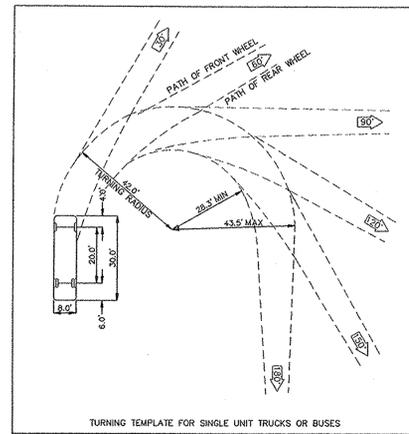
MINIMUM WHEEL STOP PLACEMENT:
2.5' FROM END OF THE PARKING SPACE.
WHEEL STOP MAX. HEIGHT = 4"

I PRECAST CONCRETE WHEEL STOP
C-5 NOT TO SCALE

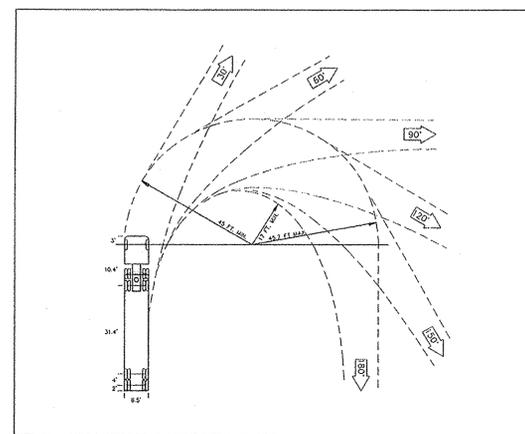
H STANDARD TEMPORARY SILT FENCE DETAIL
C-5 NOT TO SCALE



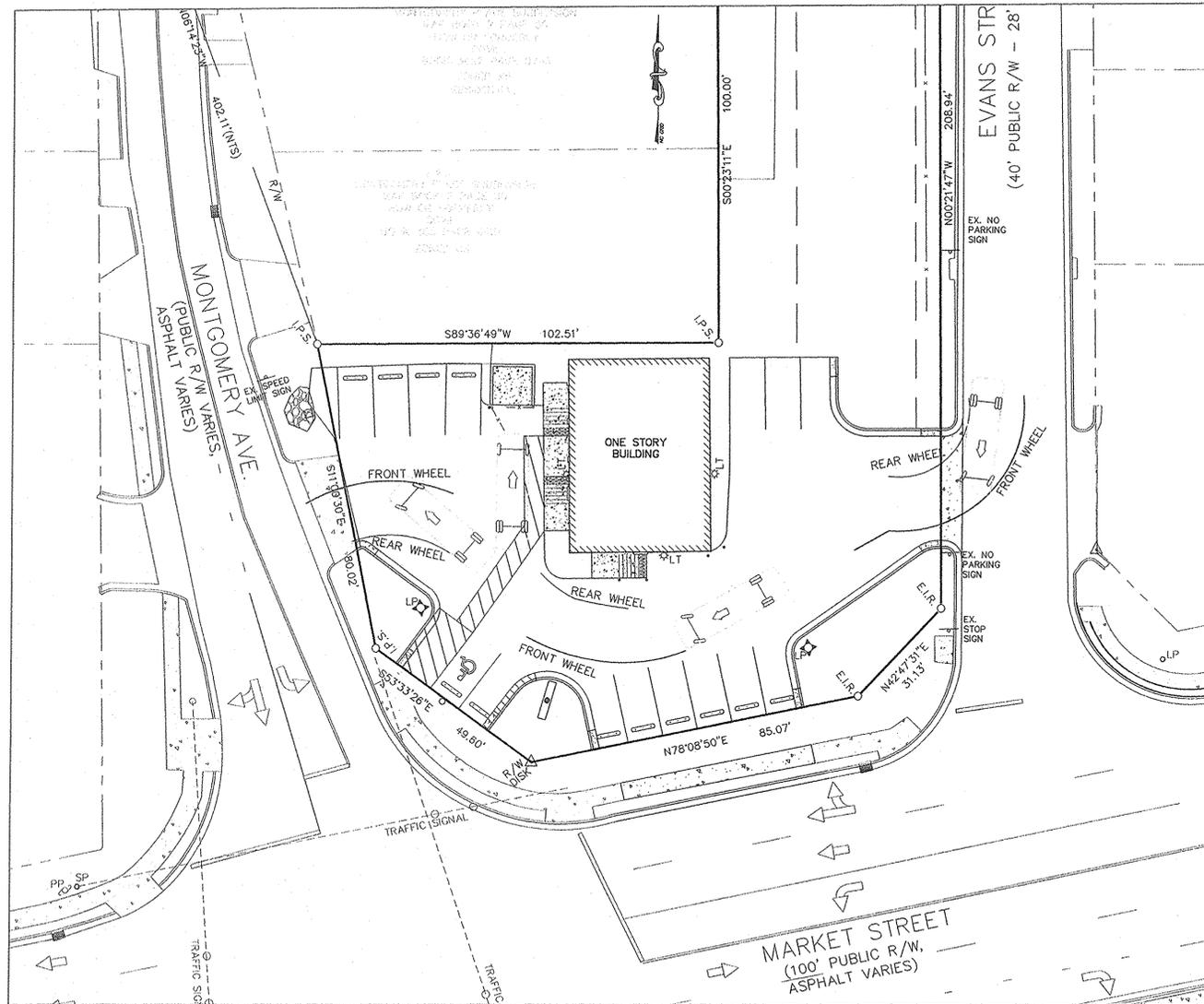
VICINITY MAP
(NOT TO SCALE)



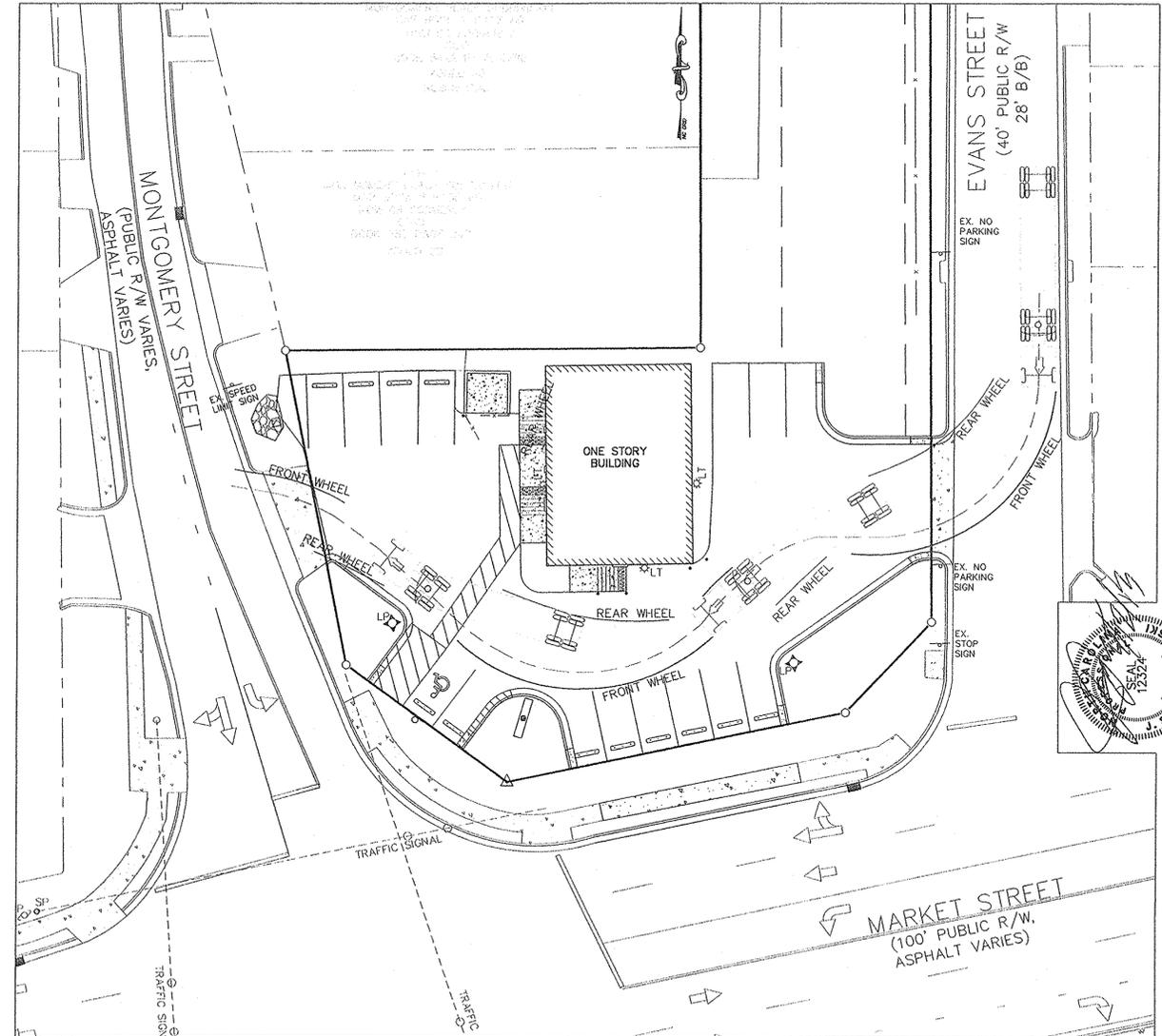
(A) SINGLE UNIT (SU) TRUCK DESIGN
VEHICLE TURNING RADIUS = 42'
SCALE 1"=30'



(C) WB-50 DESIGN VEHICLE
TURNING RADIUS = 45'
SCALE 1"=30'



(B) GARBAGE TRUCK DRIVE
SCALE 1"=20'



(D) WB 50 SEMI-TRUCK DRIVE
SCALE 1"=20'

VEHICLE TURNING RADIUS

Pizza Hut
3205 Market Street

Wilmington, North Carolina

ENGINEER OF RECORD:
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JSTEPHENJANOWSKI@JSENGINEERING.COM

C-3754

SHEET NAME:

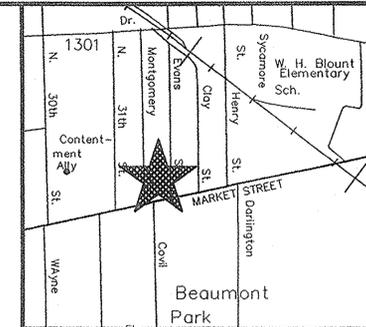
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REVISIONS:

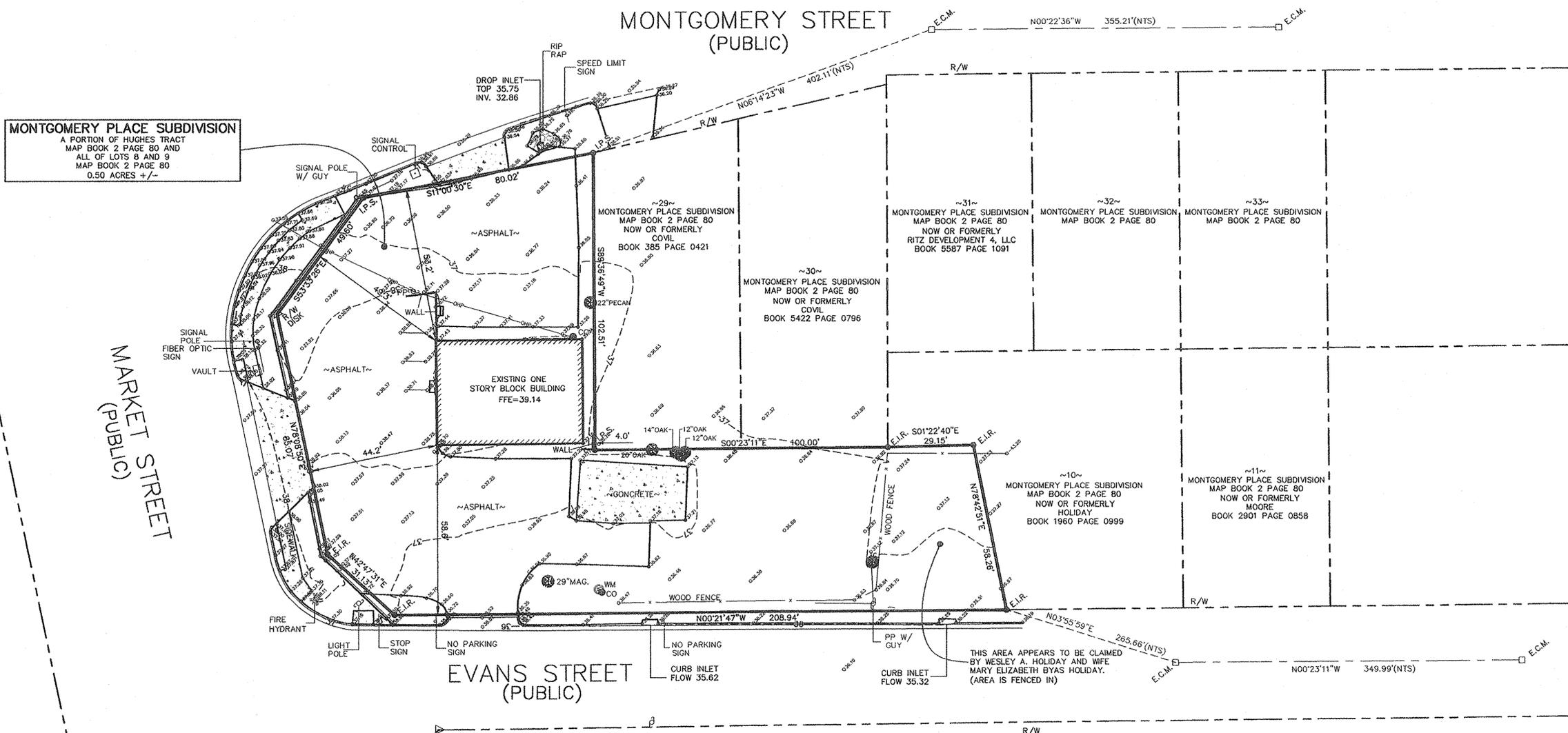
ISSUE DATE: 04-12-2013
PROJECT #: 2013-007
DRAWN BY: CPT

SHEET NUMBER

C7.0



VICINITY MAP
NO SCALE



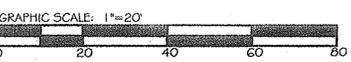
MONTGOMERY PLACE SUBDIVISION
A PORTION OF HUGHES TRACT
MAP BOOK 2 PAGE 80 AND
ALL OF LOTS 8 AND 9
MAP BOOK 2 PAGE 80
0.50 ACRES +/-

NOTE: THIS MAP IS SUBJECT TO ANY INFORMATION THAT WOULD BE REVEALED BY A CURRENT TITLE OPINION.

NOTE: AS BUILT AND LOCATION SURVEY OF SITE ONLY. ADJOINING MARKET STREET, EVANS STREET AND MONTGOMERY STREET NOT SURVEYED AS REQUESTED BY THE CLIENT.

SURVEY REFERENCE
BOOK 4929 PAGE 1749
MAP BOOK 2 PAGE 80
BOOK 1960 PAGE 0999

LEGEND
E.I.P. EXISTING IRON PIPE
E.I.R. EXISTING IRON REBAR
I.P.S. IRON PIPE SET
E.C.M. EXISTING CONCRETE MONUMENT
N.T.S. NOT TO SCALE
WM WATER METER
CO CLEANOUT



MAP OF SURVEY (BOUNDARY/AS BUILT LOCATION)
MONTGOMERY PLACE SUBDIVISION
A PORTION OF HUGHES TRACT
MAP BOOK 2 PAGE 80 AND
ALL OF LOTS 8 AND 9
MAP BOOK 2 PAGE 80
0.50 ACRES +/-
CITY OF WILMINGTON NEW HANOVER COUNTY
NORTH CAROLINA

CLIENT: MHA WORKS
408 EVANS STREET, SUITE 102
GREENVILLE, NC 27858

MICHAEL UNDERWOOD and ASSOCIATES, P.A.
102 CINEMA DRIVE, SUITE A
WILMINGTON, NC 28403
PHONE: 910-815-0650
FAX: 910-815-0393
E-MAIL: mu@biznet.com Firm License #C-0615

SURVEYED BY: MR	APPROVED BY: MINU
DRAWN BY: TBM	DATE: MARCH, 2013
CHECKED BY: MINU	SCALE: 1"=20'

UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES.

CERTIFICATE:
THIS SURVEY IS OF AN EXISTING PARCEL OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.
Michael N. Underwood
MICHAEL N. UNDERWOOD, P.L.S. L-2962



NORTH CAROLINA
NEW HANOVER COUNTY
I, MICHAEL N. UNDERWOOD, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION DESCRIPTION AS SHOWN ON THE FACE OF THIS PLAT RATIO OF PRECISION AS CALCULATED BY COMPUTER IS 1/10,000 + THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN BY BROKEN LINES PLOTTED FROM INFORMATION REFERENCED THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH "THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA" WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 14TH DAY OF MARCH A.D., 2013.
Michael N. Underwood
MICHAEL N. UNDERWOOD, P.L.S.
LICENSE NUMBER L-2962
SEAL OR STAMP ©2013 MICHAEL UNDERWOOD and ASSOCIATES, PA

NOTE: AS BUILT AND LOCATION SURVEY OF SITE ONLY. ADJOINING MARKET STREET, EVANS STREET AND MONTGOMERY STREET NOT SURVEYED AS REQUESTED BY THE CLIENT.