

KEY	NO.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	PLANTING REMARKS
BN	6	BETULA NIGRA 'HERITAGE'	RIVER BIRCH	8-10' / 2.5" CAL.	LG. SHADE TREE
GJ	12	GARDENIA JASMINOIDES 'RADICANS'	DWARF GARDENIA	12-15" HGT.	FOUNDATION SHRUB
IC	16	ILEX CRENATA 'GOLD TIP HELLER'	JAPANESE HOLLY	12-15' HGT.	SM. SHRUB
IV	45	ILEX VOMITORIA 'NANA'	YAUPOH HOLLY	12-15' HGT.	SM. SHRUB
LI	5	LAGERSTOEMIA INDICA 'CAROLINA BEAUTY'	CREPE-MYRTLE	6-8' / MULTI-STEM	SM. SHADE TREE
LJ	7	LIGUSTRUM JAPONICUM 'ROUNDIFOLIUM'	WAX-LEAF LIGUSTRUM	36" HGT.	MED. SHRUB

O.C. - "ON CENTER" CAL. - "CALIPER AT 6" ABOVE GRADE" GAL. - "GALLON CONTAINER"

Plant Key

-  - BN (River Birch)
-  - GJ (Dwarf Gardenia)
-  - IC (Japanese Holly)
-  - IV (Dwarf Yaupon Holly)
-  - LI (Crepe-Myrtle)
-  - LJ (Wax-leaf Ligustrum)

Landscape Calculations: (Site Improvement: 10-25% increase in gross floor area req's 1/2 Landscape Upgrade)

	Req'd.	Prov'd.
Market Street Primary Streetyard 200 l.f. frontage = 54' driveways = 146 l.f. X 25 (RB District factor) / 2	1825 s.f.	Existing
@ 1 Large shade trees / 600 s.f. / 2	3	3
@ 6 shrubs / 600 s.f. / 2	18	18
Parking Area Interior - 40,346 s.f. x 8% = 3227 s.f. / 2	1614 s.f.	1614 s.f.
Foundation Plantings - N/A Market St. facing wall - 51 l.f. X 15' facade hgt. X 12%	92 s.f.	92 s.f.
Bufferyard - N/A		
Overall Site - 0.7 ac.± development area x 15 trees/ac.	11	11
Mitigation - N/A		

Landscape Notes:

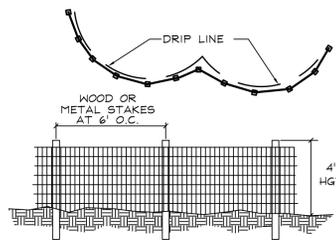
- Key letters refer to Plant List.
- All plants shall meet or exceed the minimum standards set forth in "The American Standard for Nursery Stock" by the American Association of Nurserymen.
- All planting beds shall receive a min. of 4" pine bark mulch.
- All areas disturbed and not specified as mulched planting beds will be grassed. Lawn areas may be seeded with grass.
- Contractor shall use whatever method of tree staking he deems fit. However, he will be held liable for any damages caused to trees by improper staking methods (or absence of staking) and is responsible for uprighting & replanting trees which are blown over.
- Contractor shall warranty all trees & shrubs for a period of one (1) year from the date of final acceptance of the work of the landscape plan.
- If discrepancy or lack of availability is found in the plant species and/or minimum sizes req'd., contractor shall notify Landscape Architect. Authorization will be made for substitutions, as long as the plants follow the original intended form & function.

Additional City requirements:

- All plantings shall be curbed or otherwise physically protected from vehicular traffic.
- All planted and retained living material, required to meet the provisions (landscaping) of this section, shall be perpetually protected and maintained to professionally accepted standards by joint and several responsibility of the owner, occupant, tenant, and/or respective agents of the property on which the material is located.

Tree Protection Notes:

- Tree Preservation / Removal Permit is required prior to clearing & land disturbance.
- Prior to any clearing, grading or construction activity, tree protection fencing will be installed around protected trees or groves of trees and no construction workers, tools, materials, or vehicles are permitted within the tree protection fencing.
- Protective fencing is to be maintained throughout the duration of the project. Land clearing and construction contractors shall receive adequate instruction on tree protection requirements and methods.
- Label protective fencing with signs to be placed every 50 linear feet, or at least two (2) per acre, in both English & Spanish "Tree Protection Area: Do Not Enter."



Tree Protection Fence Detail

Stormwater Management Notes:

** No permit is required. **

Development Notes:

- All development shall be in accordance with the City of Wilmington Land Development Code.
- Project shall comply with all Federal, State & New Hanover County regulations.

Development Data:

Impervious Surfaces -	
Total Existing -	37,461 s.f.±
Total Proposed -	1,884 s.f.± (for Drive-thru service)
Subtotal -	39,345 s.f.
Total Removed -	1,740 s.f.± (for landscaping)
Total After Construction -	37,605 s.f.
** Total Net Increase -	144 s.f.± **

n/f
Wilm Auto Group Properties, LLC
D.B. 3256-266
Zoning: RB
Land Use: Auto Sales

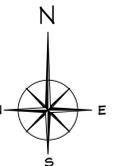
n/f
Gladys B. Ward
D.B. 1009-063
Zoning: RB
Land Use: Auto Sales Lot

n/f
Gladys B. Ward
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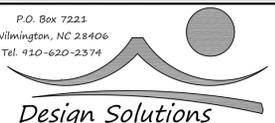
General Notes:

- New Hanover County Parcel Nos.: PIN 314815.54.8061 (PID 5010-001-020-0001)
- Total Tract Area: 2.91 ac.±
- Zoning District: RB
- CAMA Land Classification: Urban

Graphic Scale



P.O. Box 7223
Wilmington, NC 28406
Tel. 910-620-2374



Design Solutions



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
NORTH CAROLINA
Public Services - Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit #: _____
Signed: _____

Approved Construction Plan

Name: _____ Date: _____

Planning: _____
Traffic: _____
Fire: _____

Project No: 2014-31
Scale: 1" = 20'
Date: 10/12/14
Revised: 11/20/14 for review comments
11/20/14 for development data

Owner:
Wilmington Auto Group Properties, L.L.C.
5920 Market Street
Wilmington, NC 28405

Landscape Plan
for Building Renovation

Property Address: 5924 Market Street

Parkway Subaru

Wilmington Township / New Hanover County / North Carolina

Sheet No. 1 of 1

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