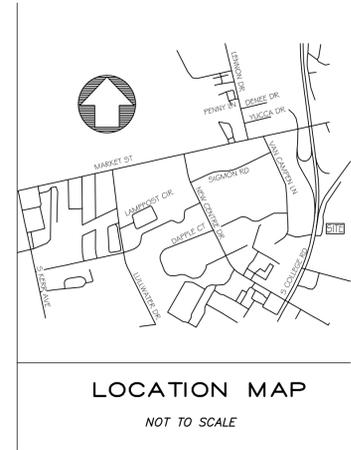
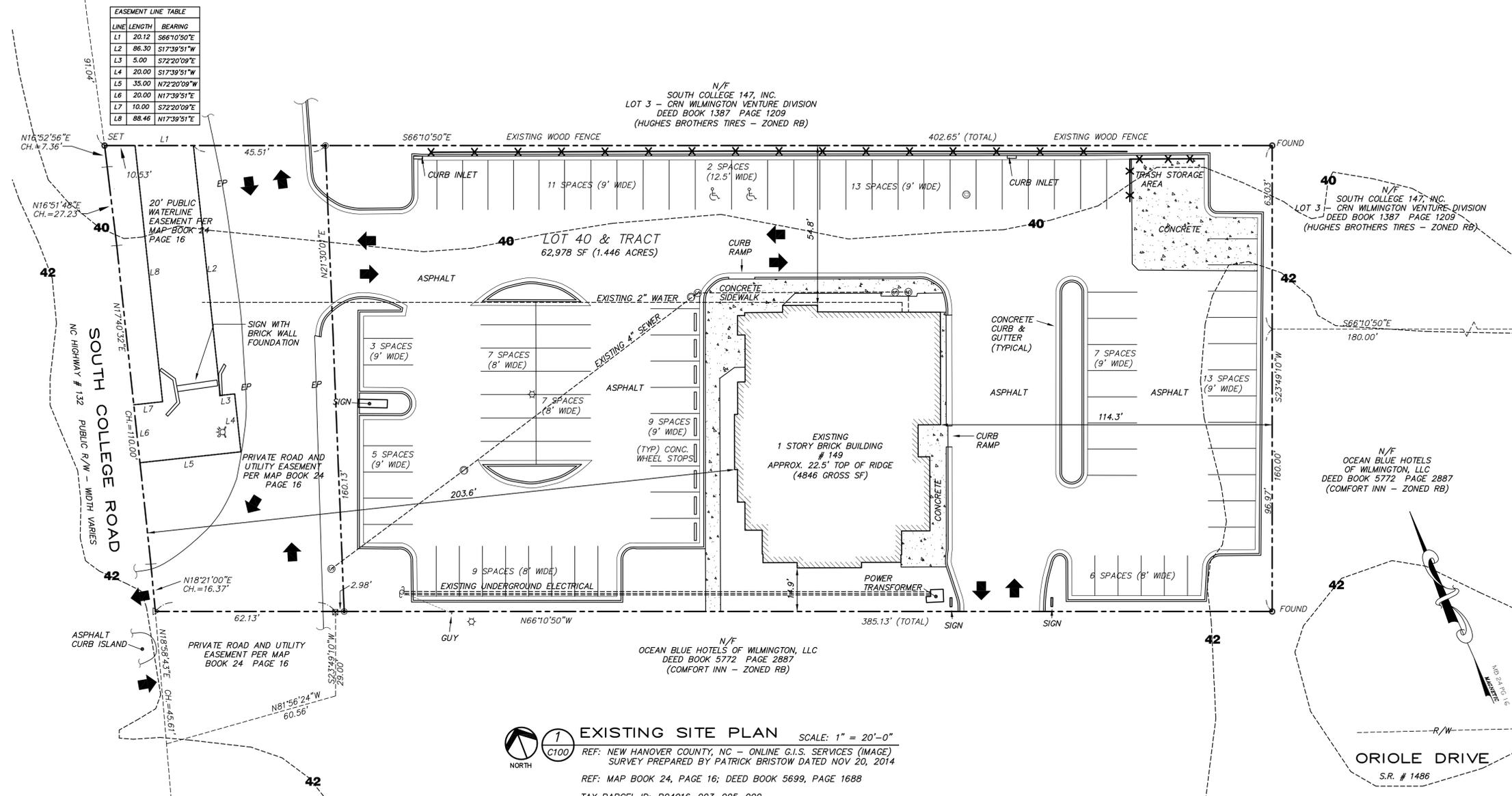


no.	date	revision
A	2/23/14	ISSUED FOR OWNER REVIEW
B	2/27/15	ISSUED FOR OWNER REVIEW
0	3/17/15	ISSUE FOR SITE (TRC) PLANNING APPROVAL
1	4/27/15	REVISED PER (TRC) REVIEW COMMENTS
2	4/30/15	REVISED PER (TRC) REVIEW COMMENTS



EXISTING SITE PLAN SCALE: 1" = 20'-0"
 REF: NEW HANOVER COUNTY, NC - ONLINE G.I.S. SERVICES (IMAGE) SURVEY PREPARED BY PATRICK BRISTOW DATED NOV 20, 2014
 REF: MAP BOOK 24, PAGE 16; DEED BOOK 5699, PAGE 1688
 TAX PARCEL ID: R04916-003-005-000
 EXISTING BUILDING (4846 GROSS SF) APPROX. 22.5' TOP OF RIDGE
 PROPOSED COVERED BAR (600 GROSS SF) 12' MEAN ROOF HEIGHT
 CAMA LAND USE CLASSIFICATION : DEVELOPED
WATER AND SEWER CAPACITY NEEDS
 WATER: 1920 GPD (CURRENT USE) EXISTING 2" LINE
 WATER: 2462 GPD (PROPOSED USE)
 SEWER: 1920 GPD (CURRENT USE) EXISTING 4" LINE
 SEWER: 2462 GPD (PROPOSED USE)

PARKING CALCULATIONS	
EXISTING PARKING	EXISTING ACCESSIBLE PARKING
2621 GROSS SF / 80 SF = 33 (MINIMUM)	2 SPACES PROVIDED
2621 GROSS SF / 65 SF = 40 (MAXIMUM)	
33 PARKING SPACES REQUIRED	PROPOSED ACCESSIBLE PARKING
92 (EXISTING) PARKING SPACES PROVIDED	3 SPACES REQUIRED/PROVIDED
PROPOSED BAR - 600 SF	
PROPOSED OPEN AIR DINING (SLATTED DECK) - 3958 SF	
3958 SF ALTERATION GROSS (EXCLUDING KITCHEN/BAR)	
ALTERATION PARKING	
3958 GROSS SF / 80 SF = 49 (MINIMUM)	
3958 GROSS SF / 65 SF = 61 (MAXIMUM)	
49 ADDITIONAL PARKING SPACES REQUIRED	
TOTAL PARKING REQUIRED = 82 SPACES (49 + 33)	
REMOVING 22 PARKING SPACES	
70 (EXISTING) PARKING SPACES REMAINING	
ADDITIONAL 12 SPACES PROVIDED IN ADJACENT PARKING LOT OF WILMINGTON MARKETPLACE CENTER	
Chapter 18 - Land Development Code	
Article 9 - Off-street parking and loading	
Section 18-256 - Off-street parking standards	
(d) Location on other property. If the required automobile parking space cannot reasonably be provided on the same lot as the principal use, it may be provided on a lot within two (2) city blocks or six hundred fifty (650) feet, (whichever is greater) of the principal use structure. This parking area shall be held in fee simple by the owner of the use served, or in another manner that assures continued availability for required parking, provided the form of tenure shall be approved by the city attorney before such use is issued a certificate of occupancy.	

CITY OF WILMINGTON - ZONED RB (REGIONAL BUSINESS)

MINIMUM LOT AREA	= 1 ACRE
MINIMUM LOT WIDTH	= 100 FT
MAX LOT COVERAGE	= 40%
FRONT SETBACK	= 25 FT
REAR SETBACK	= 15 FT
INTERIOR SIDE SETBACK	= 0 FT
CORNER LOT SIDE SETBACK	= 25 FT
MAXIMUM HEIGHT	= 35 FT



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Proposed Existing Facility Alteration for Pantana Bob's
 149 SOUTH COLLEGE ROAD
 WILMINGTON, NORTH CAROLINA
SITE DEVELOPMENT PLAN
 Contract Documents - Issued as "Record Survey Document"

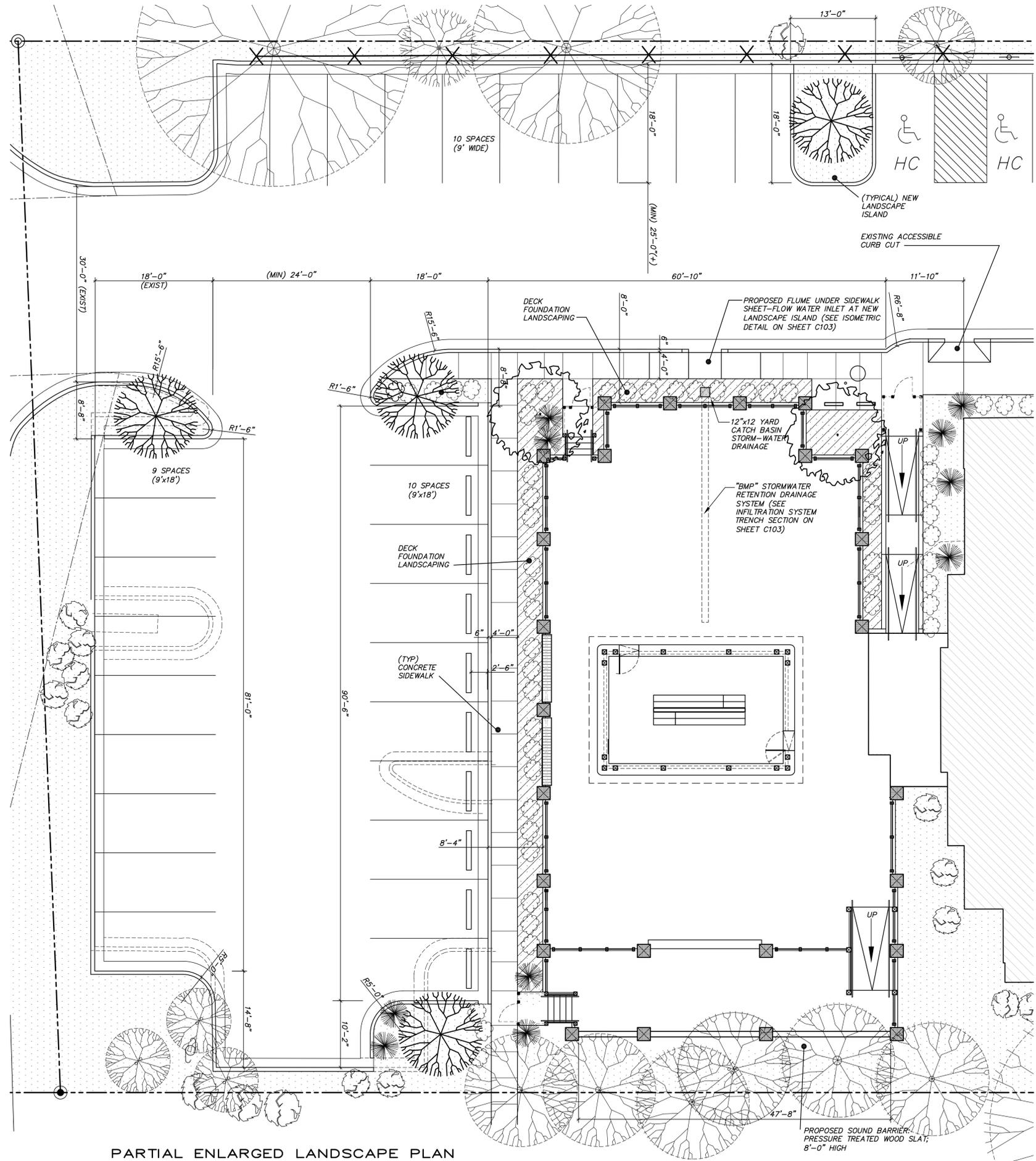
Date: 02 FEB 2015
 Title: PB/15
 Drawn by: SGH
 Checked by: MSA/IED
 Drawing no.:
 Revision no.: 2



Design Elements
 Michael L. Saeed, Jr., AIA, LEED-AP
 Architect
 1218 Calhoun Drive, Suite 142
 Wilmington, North Carolina 28403
 910.569.3131
 3/30/2015

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED PLAN - NO PERMIT REQUIRED
 Signed: _____

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**PARTIAL ENLARGED LANDSCAPE PLAN
FRONT DINING AND COVERED BAR**

SCALE: 1/8" = 1'-0"



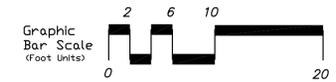
3
C102

NOTES

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING REGARDING THE INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 919-343-3910 FOR INFORMATION.
- ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCCHR OR ASSE.
- CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING, OR GRADING.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE AND BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS, LINES, OR INDIVIDUAL SERVICES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AND AT NO EXPENSE TO THE OWNER.
- GUTTERS AND PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL LOCAL, STATE & FEDERAL CONSTRUCTION SAFETY REGULATIONS ARE FOLLOWED DURING THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- ANY DEMOLITION DEBRIS SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN EPA APPROVED LANDFILL.
- SITE SIGNAGE WILL BE REVIEWED AND PERMITTED SEPARATELY.
- UNLESS OTHERWISE SHOWN, CURB RADII ARE DIMENSIONED TO FACE OF CURB.
- REFER TO C102 FOR DETAILS.

Symbol	Plant Type	Quantity	Scientific Name	Common Name	Planting Size	Height	Width
	Shrub	55	Nandina domestica 'Firepower'	Firepower Dwarf Nandina	3g	12"	12"
	Shrub	10	Rhododendron indicum	Indica Azalea	3g	21"	21"
	Tree	7	Lagerstroemia indica	Crape Myrtle	2" Cal.	8'	5'
	Tree	3	Queous Phellos	Willow Oak	2" Cal.	8'	5'
	Perennial	783sf	Liriope muscari 'Majestic' 15" O.C.	Majestic Lily Turf	#1	10"	8"

NOTE 1: CONTRACTOR TO VERIFY QUANTITIES AND PROVIDE AS SHOWN ON PLAN



THIS SHEET SHOWS BASIC DRAFTING STANDARDS

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APPROVED PLAN - NO PERMIT REQUIRED

Public Services • Engineering Division

City of WILMINGTON NORTH CAROLINA

Architect: Michael L. Saied, Jr., AIA, LEED-AP

1213 Calhoun Drive, Suite 142
Wilmington, North Carolina 28405
910.343.3910

Design Elements

30/2015

4/

LEESAIRED JR. ON JOB

MICHAEL L. SAIED, JR. ARCHITECT

1873

PROPOSED

SCALE

DATE

2/23/14

149 SOUTH COLLEGE ROAD
WILMINGTON, NORTH CAROLINA

Proposed Existing Facility Alteration for
Pantana Bob's
PARTIAL ENLARGED LANDSCAPE PLAN & DETAILS
Contract Documents - Issued for Construction

DATE: 02 FEB 2015

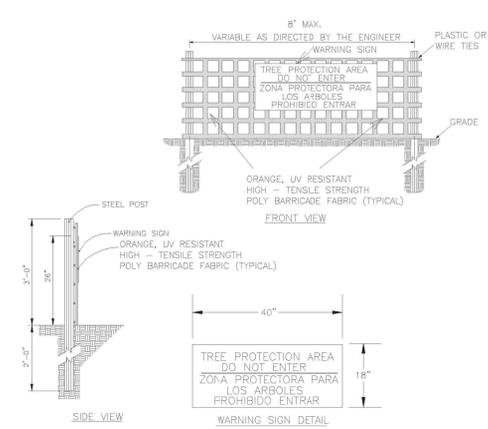
DRAWN BY: PB/15

CHECKED BY: SGH

DRAWING NO.: C102

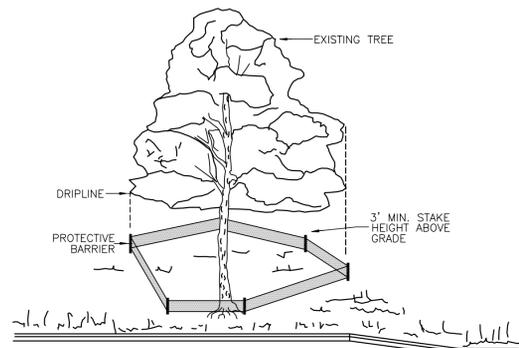
REVISION NO.: 2

no.	date	revision	ISSUE FOR SITE (TRC) PLANNING APPROVAL
0	3/7/15	1	ISSUE FOR SITE (TRC) PLANNING APPROVAL
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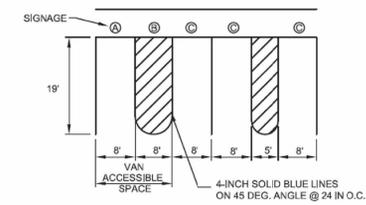
- NOTES:
1. THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
 2. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 3. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
 4. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
 5. TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
 6. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

METHOD OF TREE PROTECTION DURING CONSTRUCTION
SD 15-09-2
NOT TO SCALE

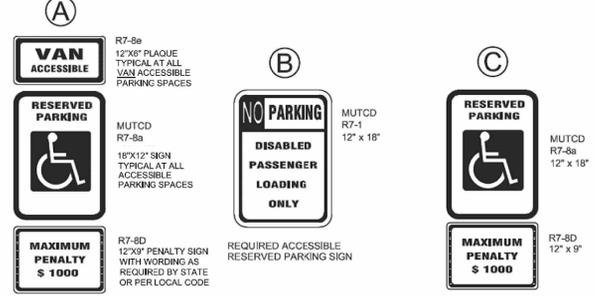


NOTE: TREES TO BE SAVED WILL BE CLEARLY MARKED PRIOR TO CONSTRUCTION AND A PROTECTIVE BARRIER IS TO BE INSTALLED AT THE DRIPLINE.
DRIP LINE - THE AREA OF SOIL DIRECTLY BENEATH THE TREE EXTENDING OUT TO THE TIPS OF THE OUTERMOST BRANCHES.

METHOD OF TREE PROTECTION DURING CONSTRUCTION
SD 15-08
NOT TO SCALE

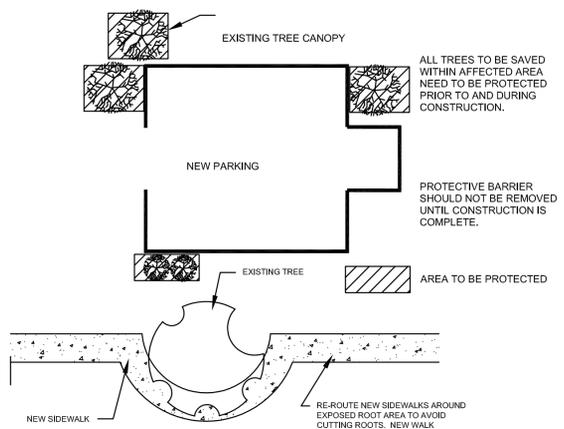


PARKING SPACE PAVEMENT MARKINGS
N.T.S.

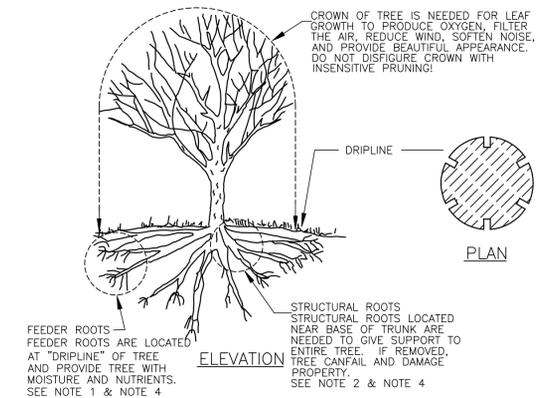


ACCESSIBLE PARKING SIGN
N.T.S.

- NOTES:
1. ALL 12"x18" ACCESSIBLE SIGNS (R7-8a & R7-1) SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE (MUTCD).
 2. MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
 3. REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD)
 3. PARKING SPACE DIMENSIONS SHOWN ARE MINIMUM.

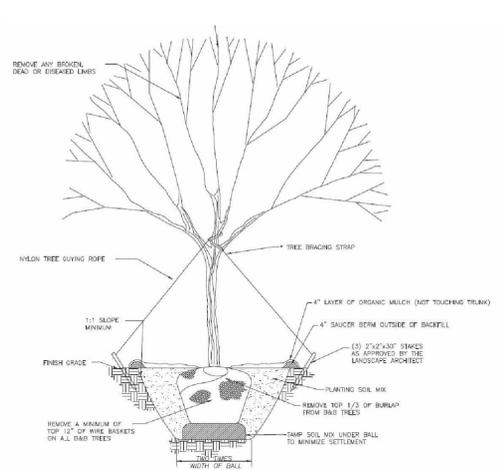


EXISTING TREE PROTECTIVE BARRIERS
SD 15-15



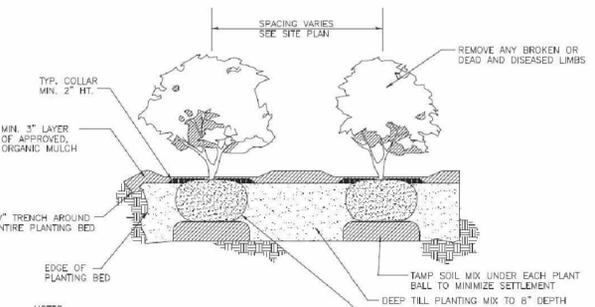
TREE GUYING DETAIL

* TREE STAKING/BRACING MUST BE REMOVED AFTER 1 GROWING CYCLE BY LANDSCAPE CONTRACTOR.

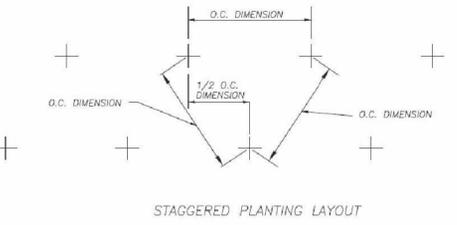


TREE PLANTING DETAIL

1. ALL TREES TO BE GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH RECOMMENDATION AND REQUIREMENTS OF ANSI Z60.1 STANDARD FOR NURSERY STOCK.
2. REMOVE ALL TREATED OR PLASTIC-COATED BURLAP STRAPPING WIRE OR NYLON TWINE FROM ROOT BALL - AFTER SETTING IN HOLE, CUT AWAY TOP 12" OF WIRE BASKET, IF ANY.
3. INSTALL TOP OF PLANT BALL EVEN WITH OR 1" ABOVE EXISTING GRADE.
4. SOAK PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION. PLACE 4-8" OF SEASONED MULCH OR PINE NEEDLES AROUND BASE OF TREE, 3" DIAMETER MINIMUM.
5. TREE BRACING STRAPS ARE OPTIONAL. USE POLYPROPYLENE WEBBING ONLY. NO WIRE OR ROPE TO BE IN DIRECT CONTACT WITH TRUNK. REMOVE ALL TREE STRAPS AND TRUNK WRAP AFTER ONE GROWING SEASON.
6. NO BACKFILL ALLOWED ON TOP OF ROOT BALL.
7. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING BURIED UTILITIES PRIOR TO INSTALLATION.
8. MINIMUM TREE SIZE AT PLANTING IS 2-INCH CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
9. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
10. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL, OR TILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SF PER TREE).
11. ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (SEWER, STORM DRAINAGE, GAS, WATER, PHONE, AND ELECTRICAL LINES).



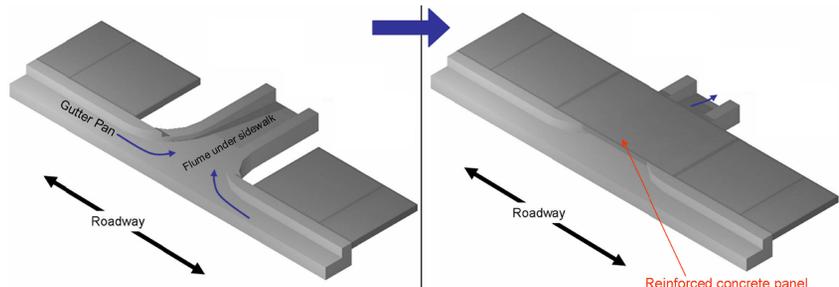
SHRUB DETAIL



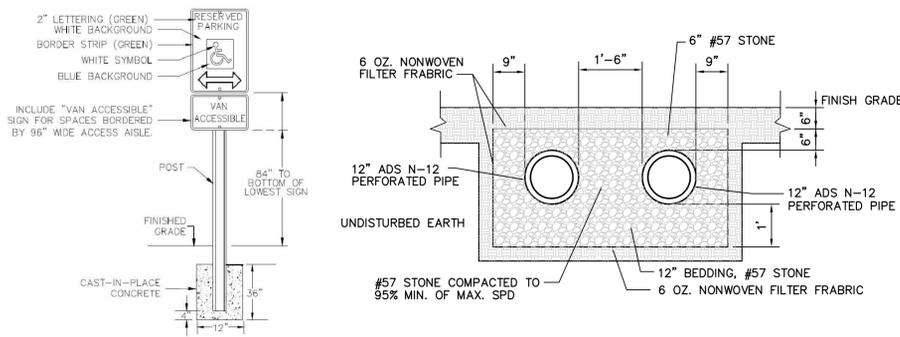
STAGGERED PLANTING LAYOUT

- TREE PROTECTION DURING CONSTRUCTION
1. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO HEAVY MATERIALS SHALL BE STORED BENEATH TREES. RESULTS OF COMPACTION CAUSE WATER AND AIR NOT TO REACH THE ROOTS AND THE TREE WILL DIE. THESE FEEDER ROOTS OCCUR WELL AWAY FROM THE BASE OF THE TREE TO THE EDGE OF THE OVERHEAD BRANCH CANOPY. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. PROTECTIVE BARRIER SHOULD PREVENT DAMAGE FROM OCCURRING DURING CONSTRUCTION.
 2. NO CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK. THESE ARE ESSENTIAL IN SUPPORTING THE TREE AND HOLDING IT UPRIGHT IN HIGH WINDS. REMOVAL OF THESE ROOTS ALONG ONE SIDE IS OFTEN DONE BECAUSE OF A WALK, PAVING OR BUILDING WHICH IS BEING CONSTRUCTED.
 3. AVOID CUT AND FILL WITHIN DIAMETER OF TREE CROWN DURING EXCAVATION.

METHOD OF TREE PROTECTION DURING CONSTRUCTION
SD 15-09
NOT TO SCALE



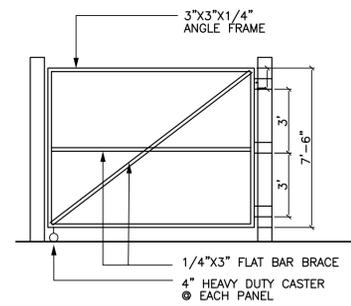
FLUME UNDER SIDEWALK ISOMETRIC DETAIL
NOT TO SCALE



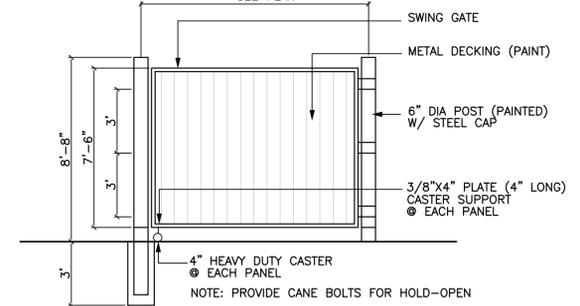
INFILTRATION SYSTEM TRENCH SECTION
1/2" = 1'-0"



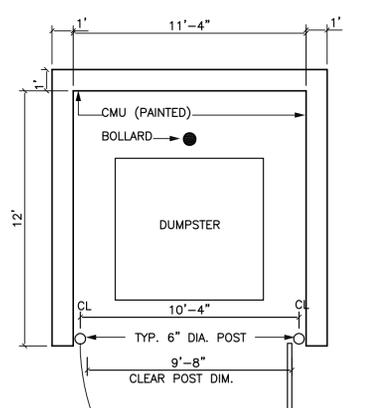
SIGN MOUNTING DETAIL
NOT TO SCALE



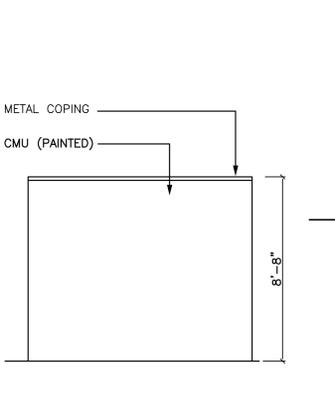
DUMPSTER GATE FRAME DETAIL
1/4" = 1'-0"



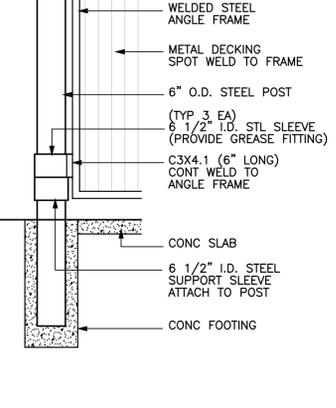
DUMPSTER GATE DETAIL
1/4" = 1'-0"



DUMPSTER PLAN
1/4" = 1'-0"



DUMPSTER SIDE ELEVATION
1/4" = 1'-0"



ENLARGED HINGE DETAIL
NOT TO SCALE

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Wilmington, NC 28403
910.569.3131

Proposed Existing Facility Alteration for Pantana Bob's
149 SOUTH COLLEGE ROAD
WILMINGTON, NORTH CAROLINA

SITE DETAILS
Contract Documents - Issued for Construction

DATE: 02 FEB 2015
DRAWN BY: SGH
CHECKED BY: MSAIED
PROJECT NO.: C103
SHEET NO.: 2