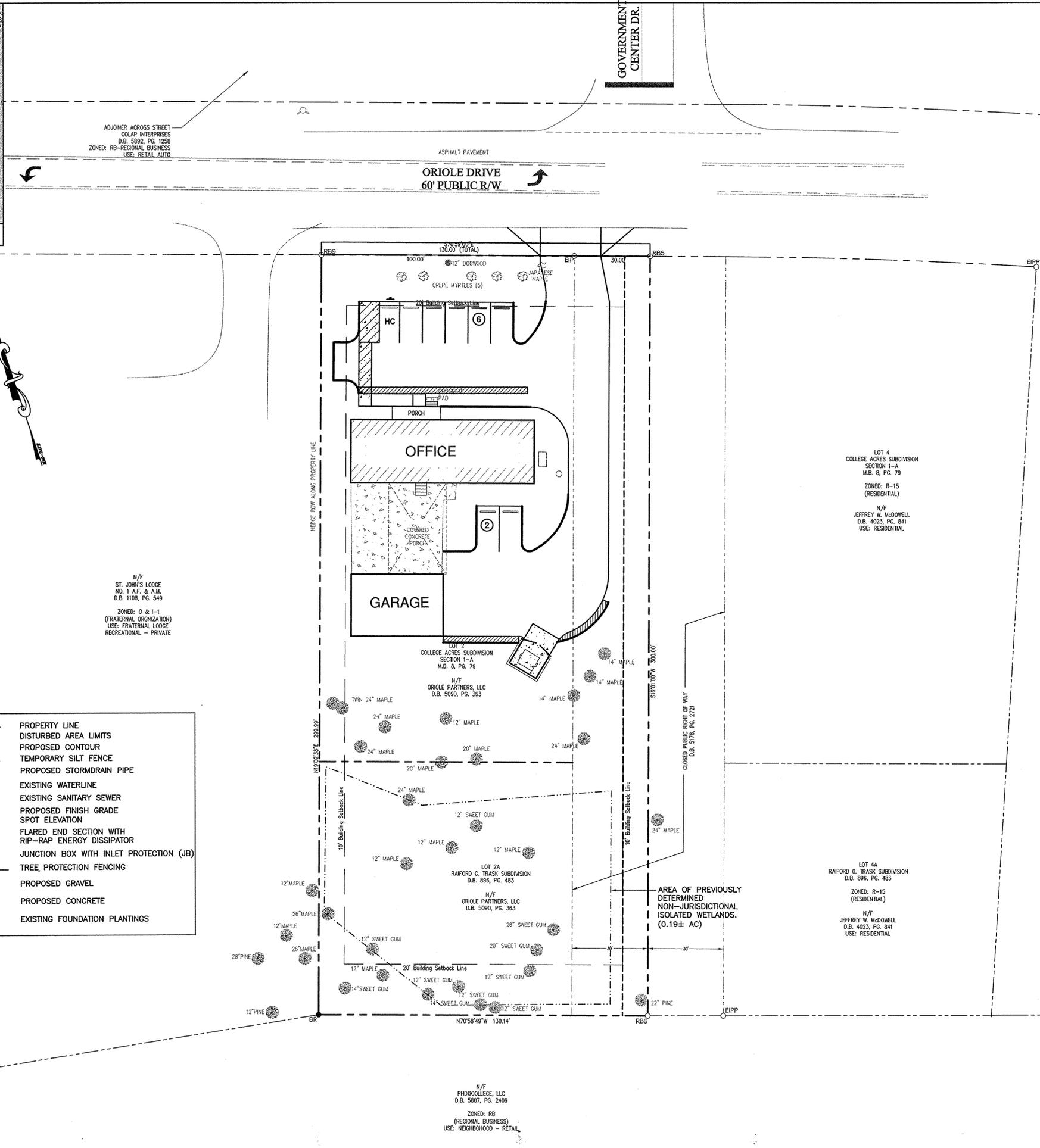


VICINITY MAP (N.T.S)



ORIOLE SITE DATA TABLE	
USE:	OFFICE
SITE ADDRESS:	4717 ORIOLE DRIVE
PARCEL ID#:	R04920-003-004-000
MAP ID#:	314705.19.6326.000
PARCEL AREA:	0.90 AC (39,204 SF)
ZONING:	O&I-1 OFFICE AND INSTITUTIONAL
CAMA LAND USE:	URBAN
BUILDING SETBACKS (REQUIRED):	FRONT SETBACK: 20' INTERIOR SIDE SETBACK: 10' REAR SETBACKS: 20'
BUILDING SETBACKS EXISTING:	SEE LAYOUT PLAN
EXISTING BUILDING HEIGHT:	10'± TO EAVES
EXISTING BUILDING AREA:	1,812 SF OFFICE/891 SF GARAGE
BUILDING LOT COVERAGE:	6.89%
EXISTING BUILDING STORIES:	1
BUILDING CONSTRUCTION TYPE:	XX
BUFFER YARD (EAST SIDE):	20' REQUIRED/10' PROPOSED. REDUCTION IN BUFFER YARD REQUESTED FOR SITE CONSTRAINTS ALONG ADJACENT PROPERTIES. 10' BUFFER TO BE COMBINED WITH 8' OPAQUE FENCE.
<b>PROPOSED PARKING REQUIREMENT</b>	
PARKING REQ'D: OFFICE	MAX: 1/200 SF MIN: 1/300 SF
TOTAL PARKING REQUIRED:	9 MAX., 6 MIN.
PARKING PROPOSED:	8 TOTAL
HC PARKING REQUIRED:	1
HC PARKING PROVIDED:	1
BICYCLE PARKING:	NOT REQUIRED FOR DEVELOPMENT REQUIRING LESS THAN 25 REGULAR PARKING SPACES.
<b>IMPERVIOUS AREA:</b>	
<b>EXISTING IMPERVIOUS AREA:</b>	
BUILDING:	1,812 SF
COVERED PORCH:	634 SF
GARAGE:	891 SF
CONCRETE:	800 SF
TOTAL:	4,137 SF
% SITE IMPERVIOUS AREA:	10.55%
<b>NEW IMPERVIOUS AREA ADDED:</b>	
CONCRETE:	1,311 SF
TOTAL ADDED:	1,311 SF
<b>PROPOSED IMPERVIOUS AREA:</b>	
BUILDING:	1,812 SF
COVERED PORCH:	634 SF
GARAGE:	891 SF
CONCRETE:	2,111 SF
TOTAL:	5,448 SF
% SITE IMPERVIOUS AREA:	13.89%
<b>PROPOSED PERVIOUS AREA ADDED:</b>	
GRAVEL:	6,660 SF
<b>OFF SITE IMPERVIOUS AREA ADDED:</b>	
SIDEWALK:	500 SF
INTERIOR LANDSCAPING O&I-1: 30% CANOPY COVER OF INTERIOR AREA OF PARKING FACILITY BASED ON AMOUNT OF PARKING AREA IMPERVIOUS SURFACE (6,465 SF).	
STREETYARD LANDSCAPING: 18 MULTIPLIER (130)-(24)(18) = 1,908 SF REQUIRED	
FOUNDATION PLANTINGS: 12% FACE OF BUILDING X LENGTH	
15 TREES PER ACRE DISTURBED: DISTURBED AREA=0.35 AC = 5 TREES	
NO EXISTING REGULATED OR SIGNIFICANT TREES ON SITE SHALL BE REMOVED.	
SOLID WASTE DISPOSAL IS HANDLED BY ON SITE DUMPSTER.	
PUBLIC WATER AND SEWER	
WATER - CURRENT USE:	350 GPD
WATER - PROPOSED USE:	250 GPD
SEWER - CURRENT USE:	350 GPD
SEWER - PROPOSED USE:	250 GPD

LEGEND

	PROPERTY LINE
	DISTURBED AREA LIMITS
	PROPOSED CONTOUR
	TEMPORARY SILT FENCE
	PROPOSED STORMDRAIN PIPE
	EXISTING WATERLINE
	EXISTING SANITARY SEWER
	PROPOSED FINISH GRADE
	SPOT ELEVATION
	FLARED END SECTION WITH RIP-RAP ENERGY DISSIPATOR
	JUNCTION BOX WITH INLET PROTECTION (JB)
	TREE, PROTECTION FENCING
	PROPOSED GRAVEL
	PROPOSED CONCRETE
	EXISTING FOUNDATION PLANTINGS

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Public Services • Engineering Division  
APPROVED PLAN - NO PERMIT REQUIRED

Signed: \_\_\_\_\_  
Name Date

Approved Construction Plan  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

NCDENR PWSS WATER PERMIT #: \_\_\_\_\_  
WATER CAPACITY: \_\_\_\_\_ GPD  
DWQ SEWER PERMIT #: \_\_\_\_\_  
SEWER CAPACITY: \_\_\_\_\_ GPD  
SEWER SHED # AND PLANT: \_\_\_\_\_  
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

SCALE: 1" = 20'  
0 20 40 60

**NORRIS & TUNSTALL**  
CONSULTING ENGINEERS, P.C.  
1429 MARKET STREET  
WILMINGTON, NC 28401  
PHONE (910) 343-9653

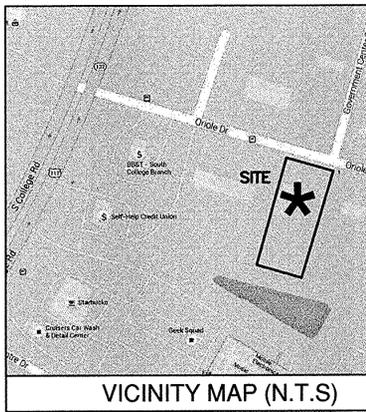
OWNER/DEVELOPER  
ORIOLE PARTNERS OFFICE  
DON HARLEY, MEMBER/MANAGER  
ORIOLE PARTNERS, LLC  
1430 COMMONWEALTH DR., SUITE 102  
WILMINGTON, NC 28403  
910-950-1200

OVERALL SITE PLAN  
ORIOLE PARTNERS OFFICE  
4717 ORIOLE DRIVE  
WILMINGTON, N. C. 28403

16012  
DES. JST  
CHK. JPN  
DRWN. NKS  
DATE 3/28/16

SEAL  
19651  
J. TUNSTALL  
ENGINEER

C1

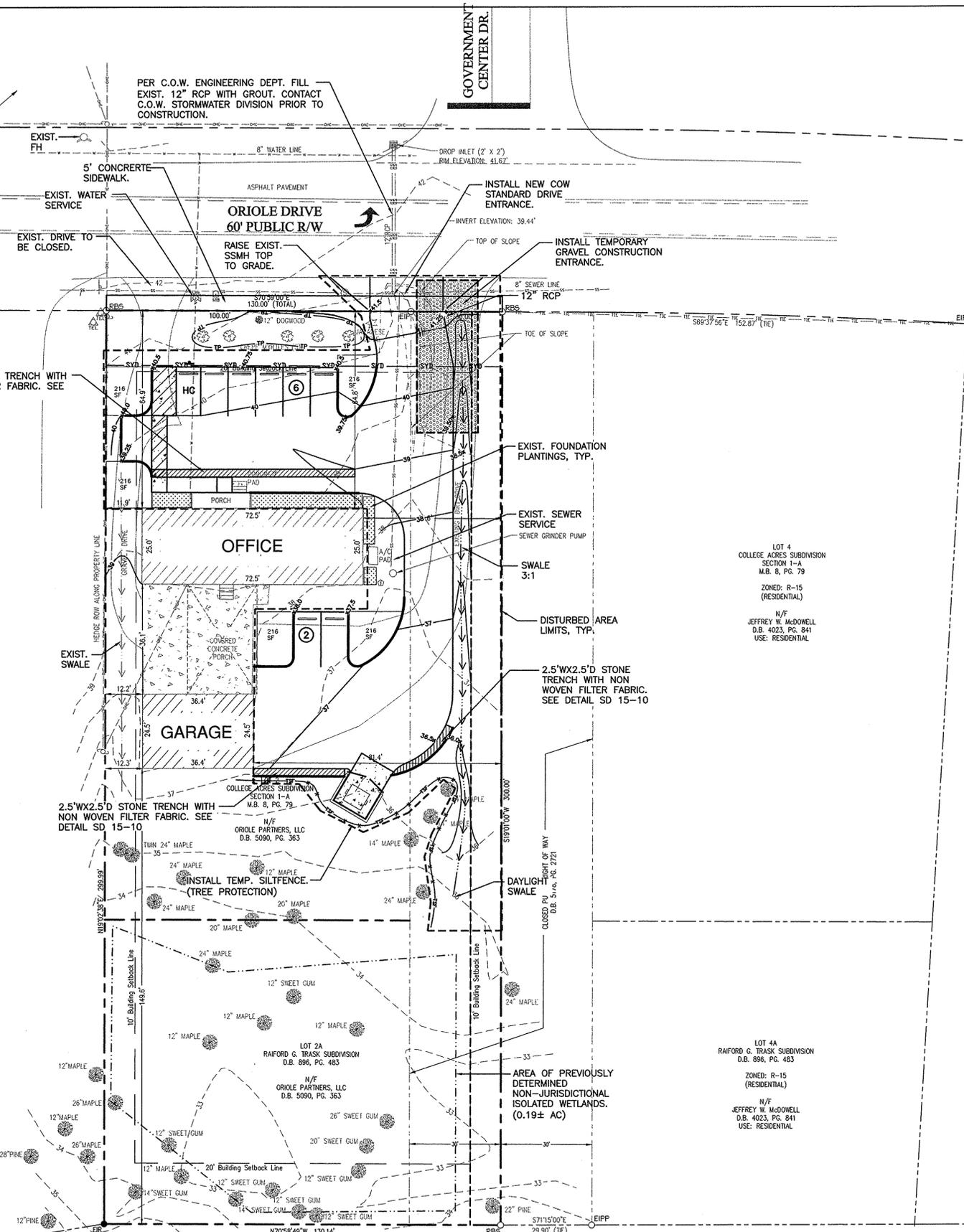


VICINITY MAP (N.T.S)



N/F  
ST. JOHN'S LODGE  
NO. 1 A.F. & A.M.  
D.B. 1108, PG. 549  
ZONED: O & I-1  
(FRATERNAL ORGANIZATION)  
USE: FRATERNAL LODGE  
RECREATIONAL - PRIVATE

2.5'WX2.5'D STONE TRENCH WITH  
NON WOVEN FILTER FABRIC. SEE  
DETAIL SD 15-10



PER C.O.W. ENGINEERING DEPT. FILL  
EXIST. 12" RCP WITH GROUT. CONTACT  
C.O.W. STORMWATER DIVISION PRIOR TO  
CONSTRUCTION.

ADJOINER ACROSS STREET  
COLAP INTERPRISES  
D.B. 5892, PG. 1258  
ZONED: RB-REGIONAL BUSINESS  
USE: RETAIL, AUTO

5' CONCRETE  
SIDEWALK.

ORIOLE DRIVE  
60' PUBLIC R/W

INSTALL NEW COW  
STANDARD DRIVE  
ENTRANCE.

INSTALL TEMPORARY  
GRAVEL CONSTRUCTION  
ENTRANCE.

OFFICE

GARAGE

2.5'WX2.5'D STONE TRENCH WITH  
NON WOVEN FILTER FABRIC. SEE  
DETAIL SD 15-10

INSTALL TEMP. SILTFENCE.  
(TREE PROTECTION)

AREA OF PREVIOUSLY  
DETERMINED  
NON-JURISDICTIONAL  
ISOLATED WETLANDS.  
(0.19± AC)

LOT 4  
COLLEGE ACRES SUBDIVISION  
SECTION 1-A  
M.B. 8, PG. 79  
ZONED: R-15  
(RESIDENTIAL)

N/F  
JEFFREY W. McDOWELL  
D.B. 4023, PG. 841  
USE: RESIDENTIAL

LOT 4A  
RAIFORD G. TRASK SUBDIVISION  
D.B. 896, PG. 483  
ZONED: R-15  
(RESIDENTIAL)

N/F  
JEFFREY W. McDOWELL  
D.B. 4023, PG. 841  
USE: RESIDENTIAL

N/F  
PHIDCOLLEGE, LLC  
D.B. 5807, PG. 2409  
ZONED: RB  
(REGIONAL BUSINESS)  
USE: NEIGHBORHOOD - RETAIL

For each open utility cut of  
City streets, a \$325 permit  
shall be required from the  
City prior to occupancy and/or  
project acceptance.



Public Services • Engineering Division  
APPROVED PLAN - NO PERMIT REQUIRED

Signed: \_\_\_\_\_

Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

NCDENR PWSS WATER PERMIT #: \_\_\_\_\_  
WATER CAPACITY: \_\_\_\_\_ GPD  
DWQ SEWER PERMIT #: \_\_\_\_\_  
SEWER CAPACITY: \_\_\_\_\_ GPD  
SEWER SHED # AND PLANT: \_\_\_\_\_  
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

SCALE: 1" = 20'  
0 20 40 60

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

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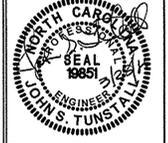
GRADING, DRAINAGE AND EROSION  
CONTROL PLAN  
ORIOLE PARTNERS OFFICE  
4717 ORIOLE DRIVE  
WILMINGTON, N. C. 28403

OWNER/DEVELOPER  
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NORRIS & TUNSTALL  
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1429 ASH-LITTLE RIVER RD. NW  
ASH, NC 28420  
PHONE (910) 343-9653  
PHONE (910) 287-5900  
license #C-3641

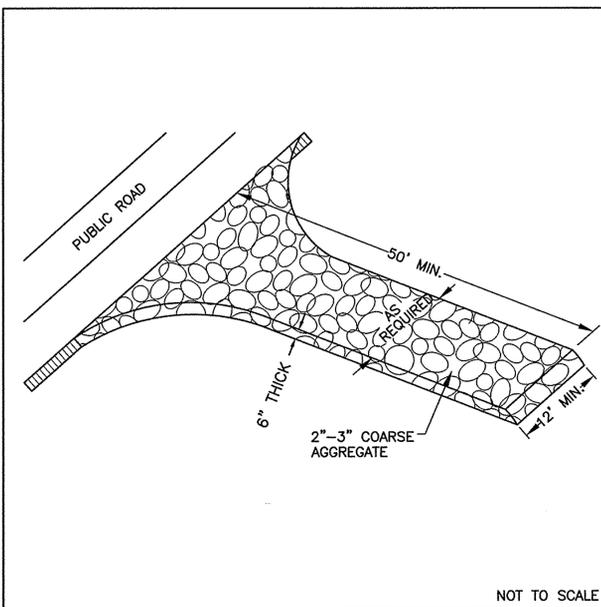
16012  
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CHK. JPN  
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DATE 3/28/16

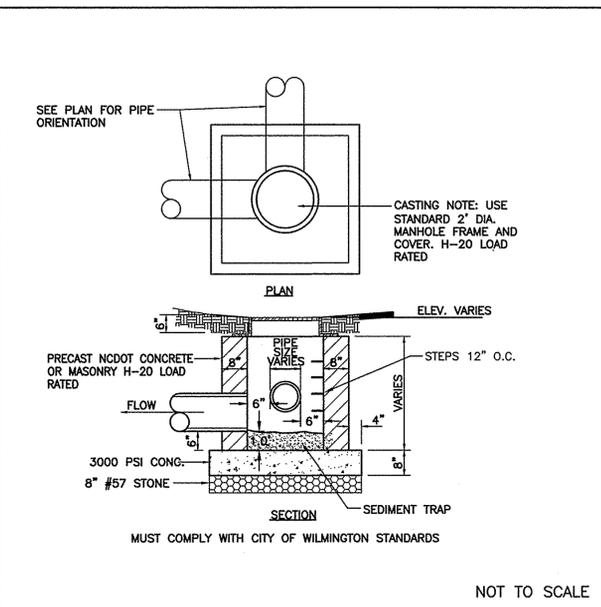


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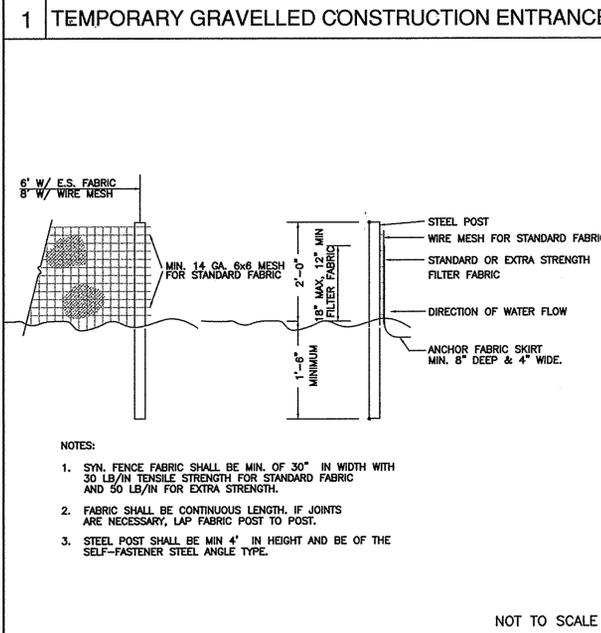




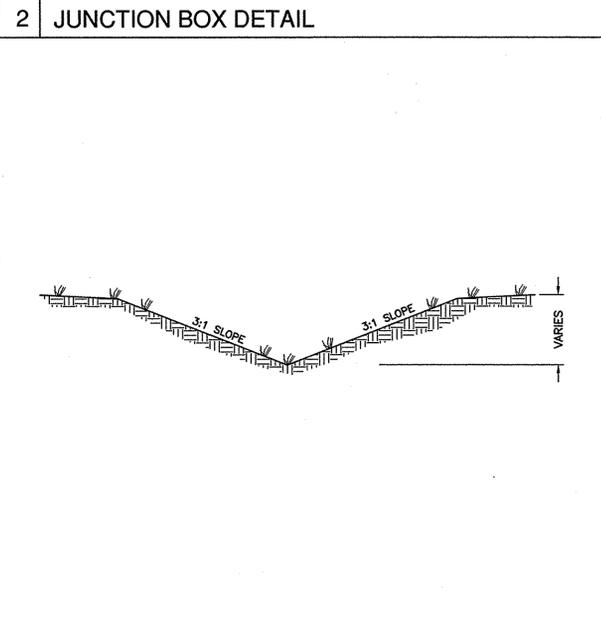
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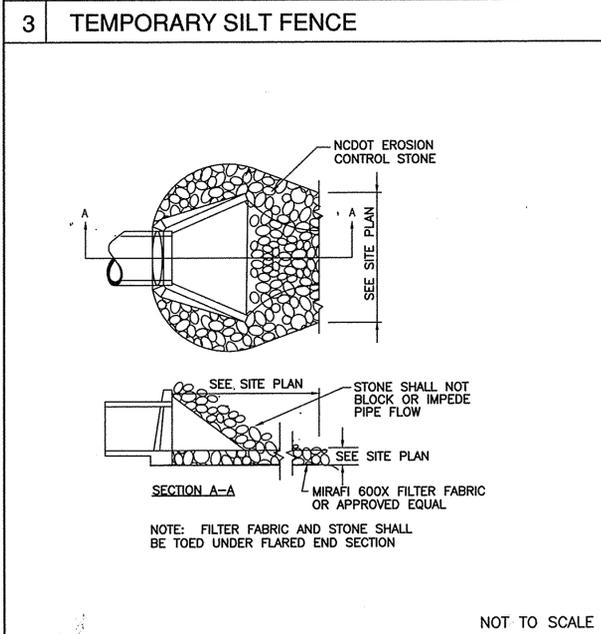
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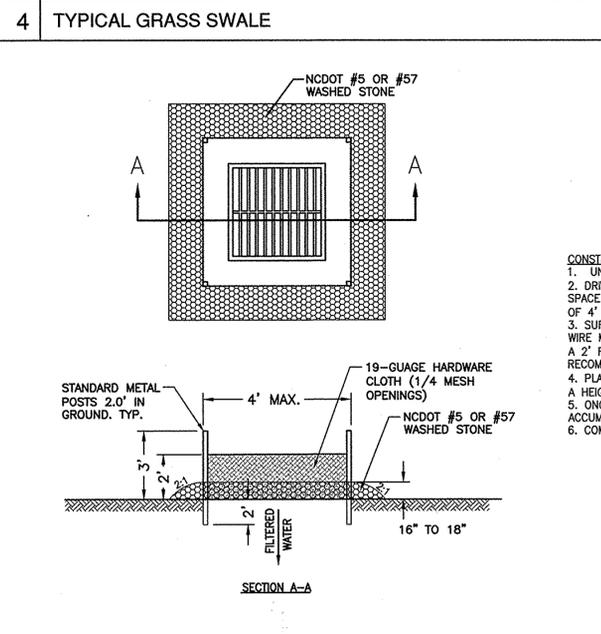
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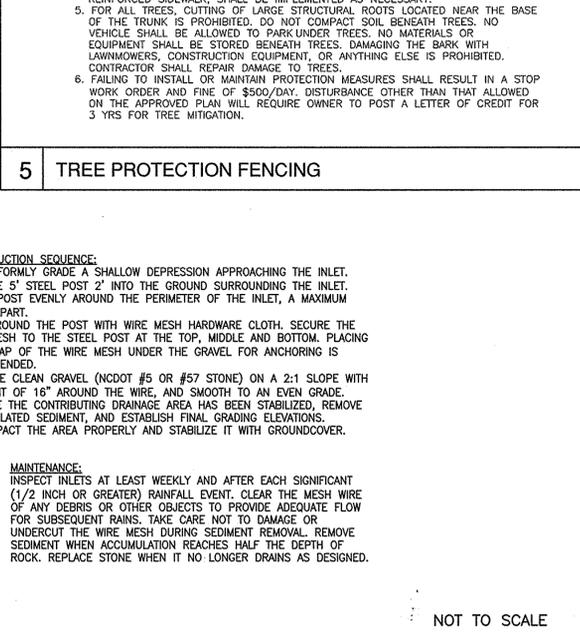
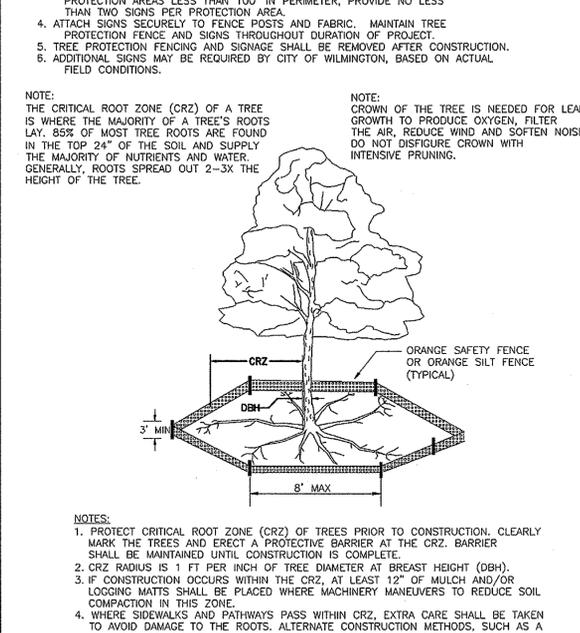
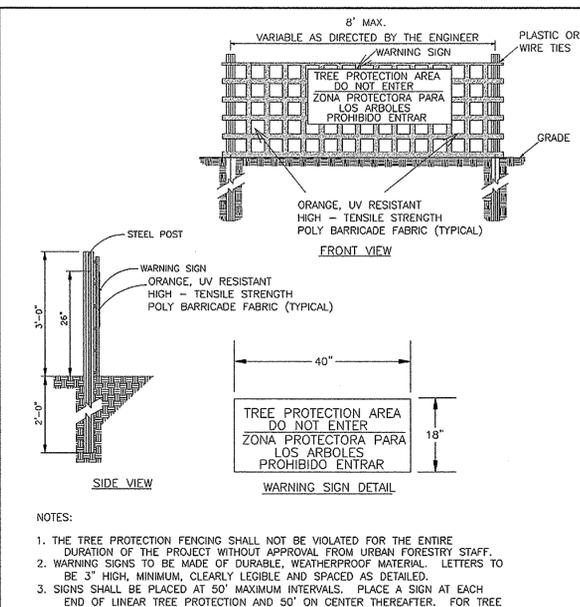
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NOT TO SCALE



NOT TO SCALE



### EROSION CONTROL NOTES AND MAINTENANCE PLAN:

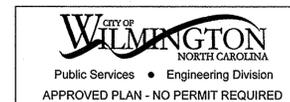
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF-INCH RAINFALL.
- ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
- SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK AND GRAVEL INLET PROTECTION, ROCK DOUGANUT INLET PROTECTION AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND WATTLES, BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
- DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWALES MUST BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE, THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF-FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.
- LAND QUALITY REQUIRES: ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED, ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN, TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED WITHIN 21 CALENDAR DAYS. ALL OTHER AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS. WATER QUALITY REQUIRES: ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, ALL SLOPES STEEPER THAN 3:1 HORIZONTAL TO 1' VERTICAL (3:1) AND ALL HIGH QUALITY WATER (HOW) ZONES SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN SEVEN (7) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN FOURTEEN (14) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

### SITE WORK NOTES:

- THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH FIELD CONSTRUCTION CONDITIONS.
- CONTRACTOR SHALL COORDINATE WORK WITHIN NCDOT AND LOCAL RIGHT OF WAYS WITH PROPER AUTHORITIES AND SHALL MEET ANY REQUIREMENTS AS TO TRAFFIC CONTROL AND CONNECTION TO EXISTING STREETS.
- CLEARING AND GRUBBING: REMOVE ALL TREES AS REQUIRED UNLESS OTHERWISE NOTED TO REMAIN, STUMPS, ROOTS, SHRUBBERY, ASPHALT, CONCRETE, STRUCTURES, BURIED UTILITIES, STORAGE TANKS, ETC. WITHIN LIMITS OF CONSTRUCTION.
- STRIPPING: BEFORE EXCAVATING OR FILLING, REMOVE ALL TOPSOIL, WOOD, LEAVES, AND ANY OTHER UNSUITABLE MATERIAL.
- MUCKING: REMOVE ANY SOFT, ORGANIC SILT MATERIALS AND EXISTING BURIED CONSTRUCTION DEBRIS AS REQUIRED AND FILL TO SUBGRADE ELEVATIONS WITH A CLEAN SELECT-FILL COMPACTED AS SPECIFIED.
- DISPOSAL: CLEARED, GRUBBED, STRIPPED OR EXCAVATED SPOIL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES.
- BORROW MATERIAL: THE CONTRACTOR SHALL FURNISH BORROW MATERIAL REQUIRED FROM OFF SITE AND OBTAIN ALL REQUIRED PERMITS ASSOCIATED WITH BORROW OPERATIONS.
- FILL AND COMPACTION: AFTER STRIPPING THOSE AREAS DESIGNATED TO RECEIVE FILL SHOULD BE PROOFGRADED, THE TOP 8" OF SUBGRADE SHALL BE COMPACTED TO AT LEAST 98% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. ANY AREA WHICH PUMPS OR RUTS EXCESSIVELY SHOULD BE UNDERCUT AND REPLACED WITH A CLEAN, SILTY OR CLAYEY SAND HAVING A UNIFIED SOIL CLASSIFICATION OF SP, SM, OR SC. FILL MATERIAL 5" OUTSIDE OF BUILDING AREAS SHALL THEN BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) WITH THE UPPER 12 INCHES OF SUBGRADE BEING COMPACTED TO 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. FILL MATERIALS WITHIN BUILDING AREAS TO A LINE OUTSIDE THE BUILDING AREAS SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) WITH THE UPPER 12 INCHES OF SUBGRADE BEING COMPACTED IN 6 INCH LAYERS TO 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. IN AREAS WHERE NO STRUCTURAL FILL IS TO BE PLACED THE UPPER 12 INCHES OF IN-PLACE SUBGRADE SHOULD BE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. IF THE MATERIAL IS TOO DRY TO COMPACT TO THE REQUIRED DENSITY EACH LAYER SHALL BE WETTED IN ACCORDANCE WITH COMPACTION REQUIREMENTS. IF THE MATERIAL IS TOO WET TO SECURE PROPER COMPACTION, IT SHALL BE HARROWED REPEATEDLY OR OTHERWISE AERATED WITH SUITABLE EQUIPMENT UNTIL OPTIMUM MOISTURE CONTENT IS OBTAINED. FILL SHALL BE PLACED IN SUCH A MANNER THAT THE SURFACE WILL DRAIN READILY AT ALL TIMES. SEE STRUCTURAL NOTES AND SOILS REPORT FOR ADDITIONAL REQUIREMENTS.
- LAYOUT: THE CONTRACTOR SHALL PROVIDE ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION.
- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION FROM SURVEY BY ATLANTIC COAST SURVEY, PLLC AND PROVIDED BY OWNER.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS AT JOBSITE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF RELOCATION OR DISCONNECTION OF ALL EXISTING UTILITIES WITH APPLICABLE AGENCIES AND AUTHORITIES.
- ALL PAVEMENT AND BASE MATERIALS AND WORKMANSHIP SHALL CONFORM TO NCDOT STANDARDS.
- WATER AND SEWER SERVICES SHALL BE INSTALLED TO MEET LOCAL AND STATE PLUMBING CODES. METER AND TAPS SHALL MEET ALL LOCAL REQUIREMENTS.
- ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE.
- SEE SOILS REPORT FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR SHALL NOTE THAT EARTHWORK QUANTITIES ARE HIS RESPONSIBILITY. PLANS DO NOT REPRESENT A BALANCED EARTHWORK CONDITION.
- REINF. CONC. PIPE SHALL BE CLASS III W/RUBBER GASKETED JOINT OR "RAM NECK". INSTALL PER MANUFACTURER'S REQUIREMENTS.
- USE WHITE LANE MARKING PAINT FOR ALL PAVEMENT MARKINGS. PAINT SHALL BE A CHLORINATED RUBBER ALKYL, FS TT-P-115, TYPE III, FACTORY MIXED, QUICK DRYING, NON-BLEEDING.

CALL 811 (3) WORKING DAYS BEFORE YOU DIG.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Approved Construction Plan

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning: \_\_\_\_\_

Traffic: \_\_\_\_\_

Fire: \_\_\_\_\_

SYMBOL	DATE	DESCRIPTION	BY
REVISIONS			
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**NOTES AND DETAILS**

**ORIOLE PARTNERS OFFICE**  
4717 ORIOLE DRIVE  
WILMINGTON, N. C. 28403

**OWNER/DEVELOPER**  
ORIOLE PARTNERS OFFICE  
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licencc #C-3641

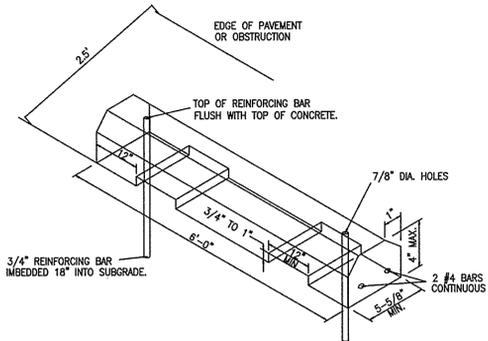
16012

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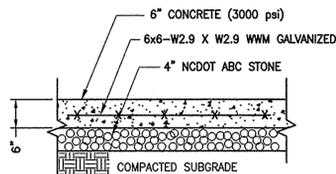
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BEAL 18651

**C4**

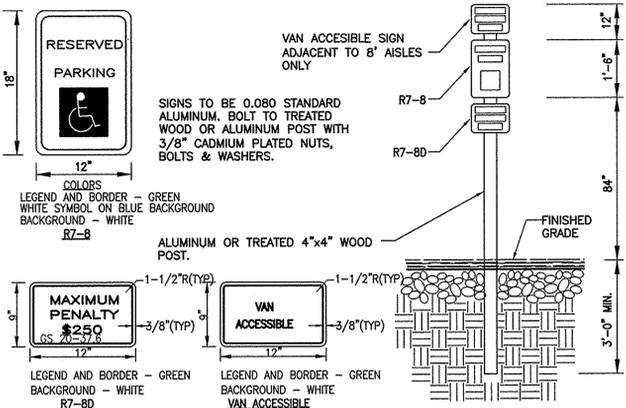


NOT TO SCALE



NOTES:  
 1. CONTROL JOINTS SHALL BE EVERY 15 FT. (MAX) AND EXPANSION JOINTS SHALL BE EVERY 50 FT. (MAX).  
 2. PAVEMENT SECTION MAY VARY DEPENDING UPON FIELD CONDITIONS. THE PAVING CONTRACTOR SHALL COORDINATE WITH OWNER REPRESENTATIVE AND GEOTECHNICAL ENGINEER TO DETERMINE ACTUAL PAVEMENT SECTION.

NOT TO SCALE



NOT TO SCALE

1 CONCRETE WHEEL STOP DETAIL

2 HEAVY DUTY CONCRETE PAVEMENT SECTION

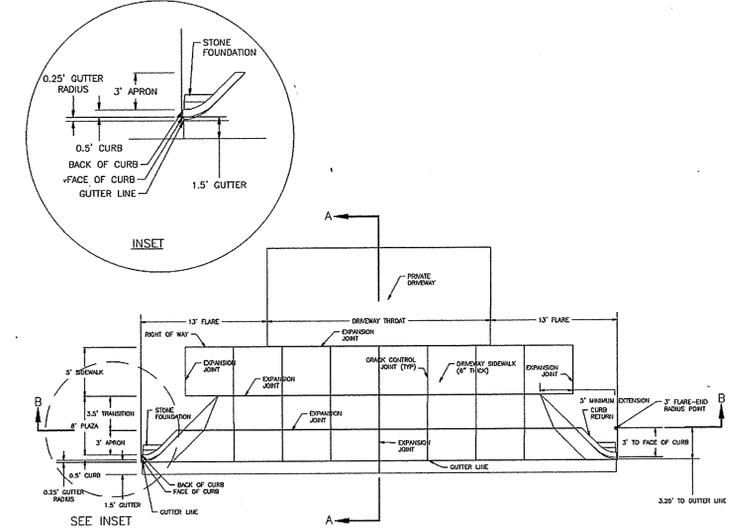
3 TYPICAL HANDICAPPED SIGN DETAIL

CITY OF WILMINGTON STANDARD NOTES:

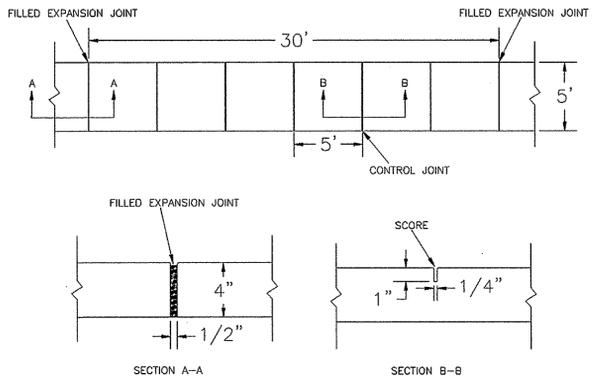
- CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING AT 1-800-632-4949.
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION. IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL, THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. POSTED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5898 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND CURBING WILL BE REPLACED.
- CONTACT KAREN DIXON AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA WATER SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REGULATIONS. CALL 332-6558 FOR INFORMATION.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCCOHR OR ASSE.
- WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED SINGLE STRAND COPPER WIRE INSTALLED THE ENTIRE LENGTH AND SECURED TO ALL VALVES. THIS WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
- THE NUMBER AND SPACING OF DRIVEWAYS FOR ALL INTERCONNECTED SITES WILL BE DETERMINED BY THE COMBINED FRONTAGE OF THE INTERCONNECTED PROPERTIES.
- UNDERGROUND FIRE LINE MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC ROW TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0896 FOR ADDITIONAL INFORMATION.
- A LANDSCAPE PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEER DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
- IF AND IRRIGATION SYSTEM IS PLANNED FOR THE SITE, UTILIZE MOISTURE SENSORS.
- ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.

UTILITY NOTES FOR FIRE HYDRANTS:

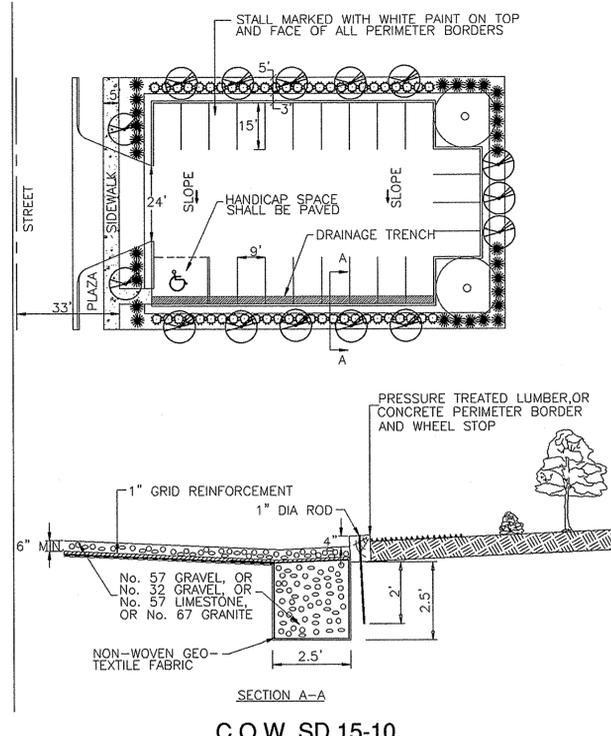
- FIRE HYDRANTS MUST BE WITHIN 150' OF THE FIRE DEPARTMENT CONNECTION.
- THE FIRE DEPARTMENT CONNECTION MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- LANDSCAPING AND PARKING CANNOT BLOCK OR IMPEDE THE FIRE DEPARTMENT CONNECTIONS OR FIRE HYDRANTS. A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE FIRE HYDRANT CONNECTION AND THE FIRE HYDRANT.
- FIRE HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
- THE CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.
- UNDERGROUND FIRE LINE AND PRIVATE WATER MAINS MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0896 FOR ADDITIONAL INFORMATION.
- A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF THE STRUCTURE.
- BUILDING CONSTRUCTION TYPE:



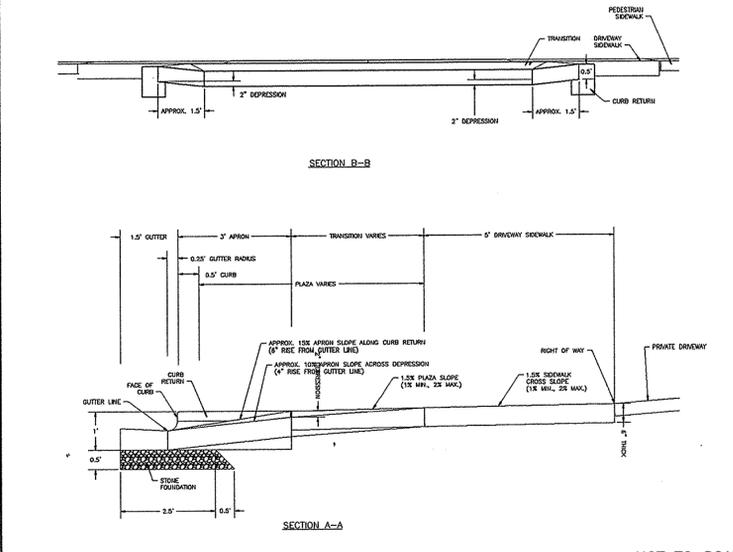
NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

- NOTES:
- JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
  - SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
  - MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
  - CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
  - MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
  - 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
  - MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
  - MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
  - MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

5 STANDARD SIDEWALK DETAIL

7 TYPICAL UNPAVED PARKING FACILITY UNDER 25 STALLS

4 STANDARD CITY OF WILMINGTON DRIVE WAY DETAIL

6 SIDEWALK ALONG ORIOLE DRIVE

7 TYPICAL UNPAVED PARKING FACILITY UNDER 25 STALLS

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED PLAN - NO PERMIT REQUIRED

Approved Construction Plan			
Name		Date	
Planning			
Traffic			
Fire			
SYMBOL	DATE	DESCRIPTION	BY
REVISIONS			
© 2015 NORRIS & TUNSTALL			

NOTES AND DETAILS  
 ORIOLE PARTNERS OFFICE  
 4717 ORIOLE DRIVE  
 WILMINGTON, N. C. 28403

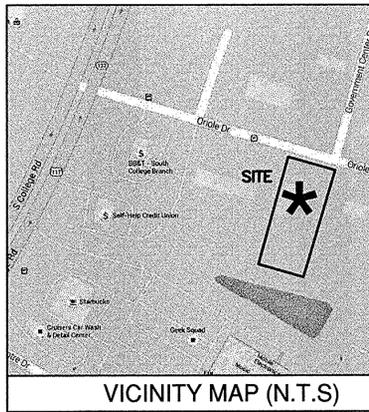
OWNER/DEVELOPER  
 ORIOLE PARTNERS OFFICE  
 DON HARLEY, MEMBER/MANAGER  
 ORIOLE PARTNERS, LLC  
 1430 COMMONWEALTH DR., SUITE 102  
 WILMINGTON, NC 28403  
 910-350-1200

NORRIS & TUNSTALL  
 CONSULTING ENGINEERS, P.C.  
 1429 ASH-LITTLE RIVER RD. NW  
 WILMINGTON, NC 28401  
 PHONE (910) 343-9653  
 LICENSE #C-3641

16012  
 DES. JST  
 CDD. JPN  
 DRWN. NKS  
 DATE 3/28/16



C5



VICINITY MAP (N.T.S)

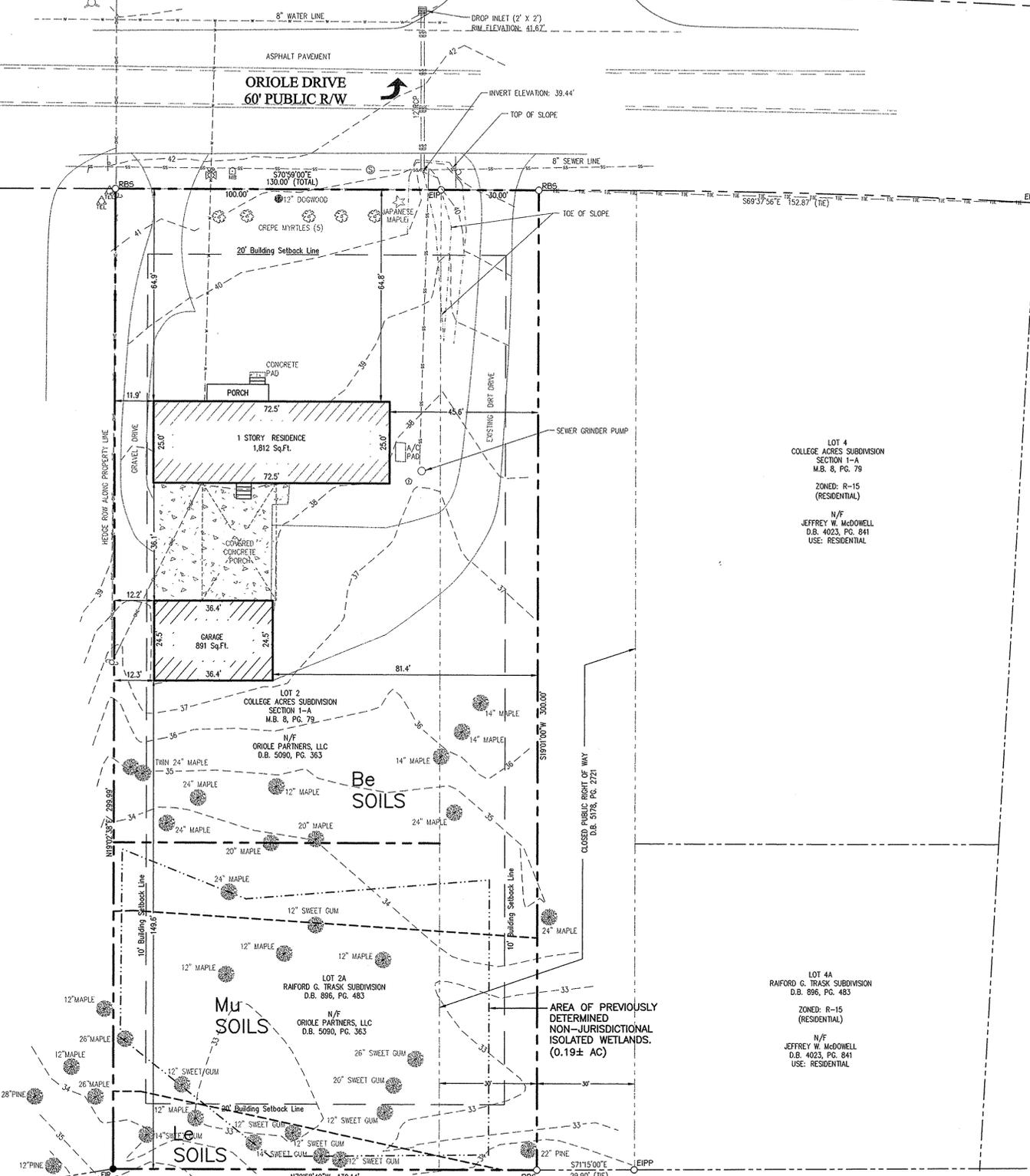
N 287.99' (TIE)



ADJOINER ACROSS STREET  
COLAP INTERPRISES  
D.B. 5892, PG. 1258  
ZONED: RB-REGIONAL BUSINESS  
USE: RETAIL AUTO

ORIOLE DRIVE  
60' PUBLIC R/W

GOVERNMENT  
CENTER DR.



N/F  
ST. JOHN'S LODGE  
NO. 1 A.F. & A.M.  
D.B. 1108, PG. 549  
ZONED: O & I-1  
(FRATERNAL ORGANIZATION)  
USE: FRATERNAL LODGE  
RECREATIONAL - PRIVATE

LOT 4  
COLLEGE ACRES SUBDIVISION  
SECTION 1-A  
M.B. 8, PG. 79  
ZONED: R-15  
(RESIDENTIAL)  
N/F  
JEFFREY W. McDOWELL  
D.B. 4023, PG. 841  
USE: RESIDENTIAL

LOT 2  
COLLEGE ACRES SUBDIVISION  
SECTION 1-A  
M.B. 8, PG. 79  
N/F  
ORIOLE PARTNERS, LLC  
D.B. 5090, PG. 363

LOT 2A  
RAIFORD G. TRASK SUBDIVISION  
D.B. 896, PG. 483  
N/F  
ORIOLE PARTNERS, LLC  
D.B. 5090, PG. 363

LOT 4A  
RAIFORD G. TRASK SUBDIVISION  
D.B. 896, PG. 483  
ZONED: R-15  
(RESIDENTIAL)

N/F  
JEFFREY W. McDOWELL  
D.B. 4023, PG. 841  
USE: RESIDENTIAL

N/F  
PHD@COLLEGE, LLC  
D.B. 5807, PG. 2409  
ZONED: RB  
(REGIONAL BUSINESS)  
USE: NEIGHBORHOOD - RETAIL

INVENTORY SITE DATA

USE:	OFFICE
SITE ADDRESS:	4718 ORIOLE DRIVE
PARCEL ID#:	R04920-003-004-000
MAP ID#:	314705.19.6326.000
PARCEL AREA:	0.90 AC (39,204 SF)
ZONING:	O&I-1 OFFICE AND INSTITUTIONAL
CAMA LAND USE:	URBAN
SOIL TYPES:	Be, Mu, Le
CAMA LAND USE: URBAN	
SITE DOES NOT LIE WITHIN 100 YEAR FLOOD PLAIN	
NO CAMA AEC OR SETBACKS	
HISTORICAL SITE:	NONE
CEMETERY:	NONE
FORESTED AREA:	SEE PLAN FOR TREE SURVEY
WETLANDS:	AREA OF PREVIOUSLY DETERMINED NON-JURISDICTIONAL ISOLATED WETLANDS. (0.19± AC)
ENDANGERED SPECIES/HABITAT:	NONE REPORTED

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Public Services • Engineering Division  
APPROVED PLAN - NO PERMIT REQUIRED

Signed: \_\_\_\_\_

Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

NCDENR PWSS WATER PERMIT #: \_\_\_\_\_  
WATER CAPACITY: \_\_\_\_\_ GPD  
DWQ SEWER PERMIT #: \_\_\_\_\_  
SEWER CAPACITY: \_\_\_\_\_ GPD  
SEWER SHED # AND PLANT: \_\_\_\_\_  
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

SCALE: 1" = 20'  
0 20 40 80

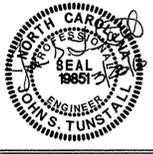
SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

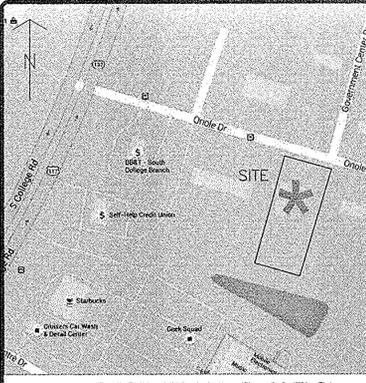
OWNER/DEVELOPER  
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DON HARLEY, MEMBER/MANAGER  
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WILMINGTON, NC 28403  
910-350-1200

INVENTORY SITE  
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WILMINGTON, N. C. 28403

NORRIS & TUNSTALL  
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902 MARKET STREET  
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PHONE (910) 343-9653  
1429 ASH-LITTLE RIVER RD. NW  
ASHI, NC 28420  
PHONE (910) 287-5900  
licence #C-3641

16012  
DES. JST  
CHKD. JPN  
DRWN. NKS  
DATE 3/23/16





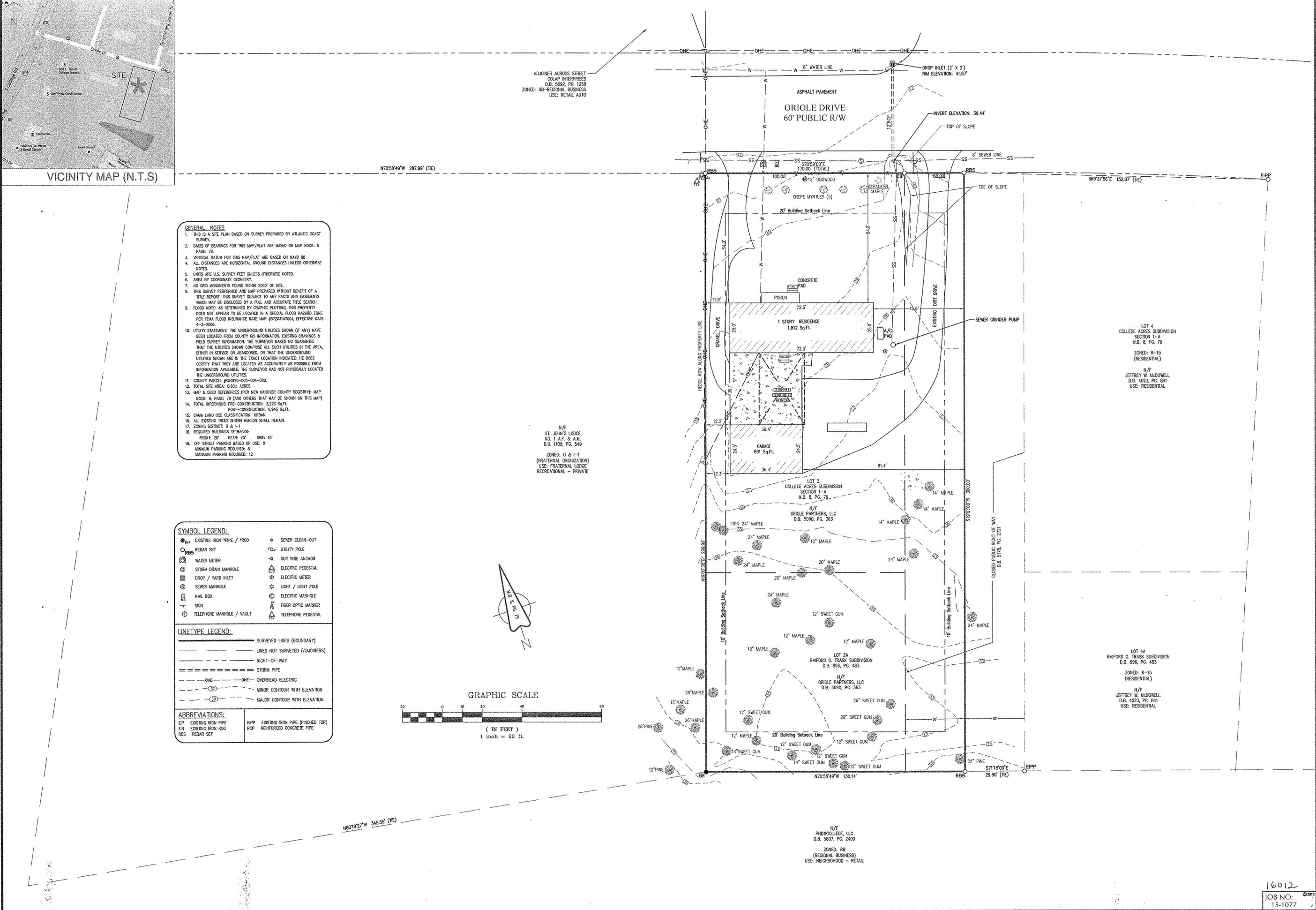
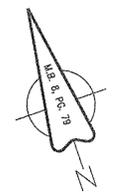
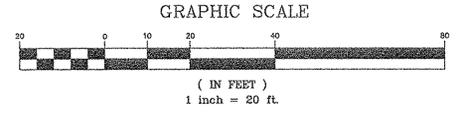
VICINITY MAP (N.T.S)

- GENERAL NOTES**
- THIS IS A SITE PLAN BASED ON SURVEY PREPARED BY ATLANTIC COAST SURVEY.
  - BASIS OF BEARINGS FOR THIS MAP/PLAN ARE BASED ON MAP BOOK: B PAGE: 79.
  - VERTICAL DATUM FOR THIS MAP/PLAN ARE BASED ON MVD 88
  - ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
  - UNITS ARE U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
  - AREA BY COORDINATE GEOMETRY.
  - NO GRID MONUMENTS FOUND WITHIN 2000' OF SITE.
  - THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
  - FLOOD NOTE: AS DETERMINED BY GRAPHIC PLOTTING, THIS PROPERTY DOES NOT APPEAR TO BE LOCATED IN A SPECIAL FLOOD HAZARD ZONE PER FEMA FLOOD INSURANCE RATE MAP #3720314700, EFFECTIVE DATE 4-3-2006.
  - UTILITY STATEMENTS: THE UNDERGROUND UTILITIES SHOWN (IF ANY) HAVE BEEN LOCATED FROM COUNTY GIS INFORMATION, EXISTING DRAWINGS & FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED, OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
  - COUNTY PARCEL #094920-003-004-000.
  - TOTAL SITE AREA: 0.804 ACRES
  - MAP & DEED REFERENCES (PER NEW HANOVER COUNTY REGISTRY): MAP BOOK: B, PAGE: 79 (AND OTHERS THAT MAY BE SHOWN ON THIS MAP)
  - TOTAL IMPERVIOUS: PRE-CONSTRUCTION: 3,223 Sq.Ft. POST-CONSTRUCTION: 6,945 Sq.Ft.
  - CAMA LAND USE CLASSIFICATION: URBAN
  - ALL EXISTING TREES SHOWN HEREON SHALL REMAIN.
  - ZONING DISTRICT: O & 1-1
  - REQUIRED BUILDING SETBACKS:  
FRONT: 20' REAR: 20' SIDE: 10'
  - OFF STREET PARKING BASED ON USE: 8
  - MINIMUM PARKING REQUIRED: 8
  - MAXIMUM PARKING REQUIRED: 12

- SYMBOL LEGEND:**
- |       |                           |   |                    |
|-------|---------------------------|---|--------------------|
| ● EX  | EXISTING IRON PIPE / *ROD | ○ | SEWER CLEAN-OUT    |
| ○ RBS | REBAR SET                 | ○ | UTILITY POLE       |
| ○     | WATER METER               | ○ | GUY WIRE ANCHOR    |
| ○     | STORM DRAIN MANHOLE       | ○ | ELECTRIC PEDESTAL  |
| ○     | DROP / YARD INLET         | ○ | ELECTRIC METER     |
| ○     | SEWER MANHOLE             | ○ | LIGHT / LIGHT POLE |
| ○     | MAIL BOX                  | ○ | ELECTRIC MANHOLE   |
| ○     | SIGN                      | ○ | FIBER OPTIC MARKER |
| ○     | TELEPHONE MANHOLE / VAULT | ○ | TELEPHONE PEDESTAL |

- LINETYPE LEGEND:**
- SURVEYED LINES (BOUNDARY)
  - LINES NOT SURVEYED (ADJOINERS)
  - RIGHT-OF-WAY
  - STORM PIPE
  - OHE OVERHEAD ELECTRIC
  - MINOR CONTOUR WITH ELEVATION
  - MAJOR CONTOUR WITH ELEVATION

- ABBREVIATIONS:**
- |     |                                  |
|-----|----------------------------------|
| EIP | EXISTING IRON PIPE (PINCHED TOP) |
| ER  | EXISTING IRON ROD                |
| RBS | REBAR SET                        |
| EIP | EXISTING IRON PIPE (PINCHED TOP) |
| RCP | REINFORCED CONCRETE PIPE         |



ATLANTIC COAST SURVEY, PLLC  
 P.0822  
 P.O. Box 13588 Wilmington, NC 28405  
 (910) 292-4889 www.atlanticcoastsurvey.com

PREPARED FOR:  
 ORIOLE PARTNERS, LLC  
 400 CARL STREET, SUITE 202  
 WILMINGTON, NC 28403

4718 ORIOLE DRIVE  
 Harrell Township  
 New Hanover County  
 North Carolina

LOT 4A  
 RAIFORD G. TRASK SUBDIVISION  
 D.B. 896, PG. 483  
 ZONED: R-15 (RESIDENTIAL)  
 N/F  
 JEFFREY W. MCDOWELL  
 D.B. 4023, PG. 841  
 USE: RESIDENTIAL

LOT 2  
 COLLEGE ACRES SUBDIVISION  
 SECTION 1-A  
 M.B. 8, PG. 79  
 N/F  
 ORIOLE PARTNERS, LLC  
 D.B. 5090, PG. 363

LOT 2A  
 RAIFORD G. TRASK SUBDIVISION  
 D.B. 896, PG. 483  
 N/F  
 ORIOLE PARTNERS, LLC  
 D.B. 5080, PG. 363

N/F  
 ST. JOHN'S LODGE  
 NO. 1 A.F. & A.M.  
 D.B. 1108, PG. 549  
 ZONED: O & 1-1 (FRATERNAL ORGANIZATION)  
 USE: FRATERNAL LODGE RECREATIONAL - PRIVATE

ADJOINER ACROSS STREET COLAP INTERPRISES  
 D.B. 5892, PG. 1258  
 ZONED: RB-REGIONAL BUSINESS  
 USE: RETAIL AUTO

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 JEFFREY W. MCDOWELL  
 D.B. 4023, PG. 841  
 USE: RESIDENTIAL

DATE: 12-3-15  
 DRAWN BY: EB3/WPD  
 CHECKED BY: ACS

REVISION:  
 1 REVISED PER REVIEW  
 2 REVISED PER REVIEW

Scale: AS NOTED  
 Date: 11.1.2015  
 Job No.: 15-1077

Sheet No: 1 of 1

16012  
 JOB NO:  
 15-1077