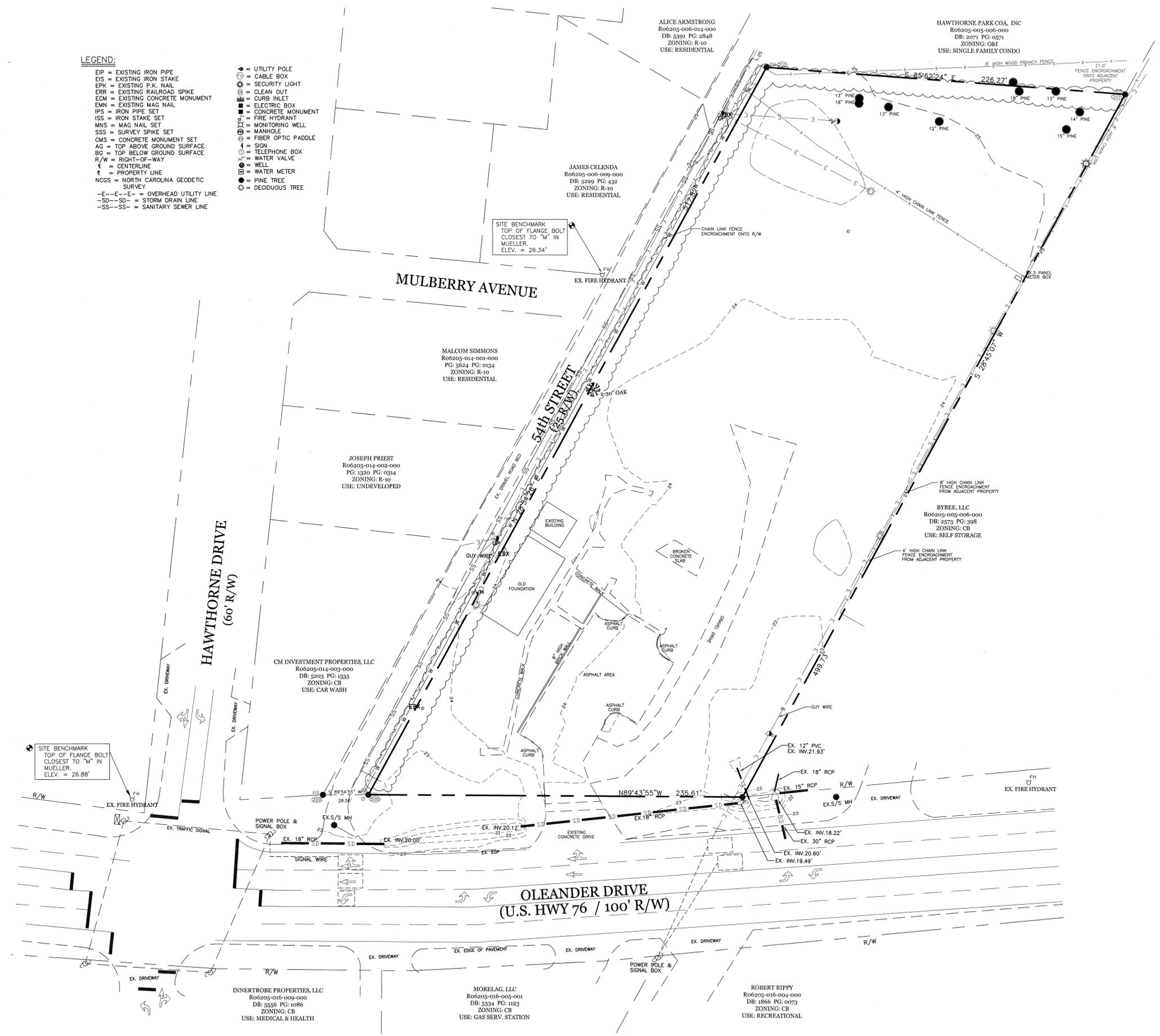


LEGEND:

- EIP = EXISTING IRON PIPE
- EIS = EXISTING IRON STAKE
- EPK = EXISTING P.K. NAIL
- ERR = EXISTING RAILROAD SPIKE
- ECM = EXISTING CONCRETE MONUMENT
- EMN = EXISTING MAG NAIL
- IPS = IRON PIPE SET
- ISS = IRON STAKE SET
- MNS = MAG NAIL SET
- SSS = SURVEY SPIKE SET
- CMS = CONCRETE MONUMENT SET
- AG = TOP ABOVE GROUND SURFACE
- BG = TOP BELOW GROUND SURFACE
- R/W = RIGHT-OF-WAY
- ± = CENTERLINE
- ± = PROPERTY LINE
- NCGS = NORTH CAROLINA GEODETIC SURVEY
- E--E--E-- = OVERHEAD UTILITY LINE
- SD--SD-- = STORM DRAIN LINE
- SS--SS-- = SANITARY SEWER LINE
- = UTILITY POLE
- = CABLE BOX
- = SECURITY LIGHT
- = CLEAN OUT
- = CURB INLET
- = ELECTRIC BOX
- = CONCRETE MONUMENT
- = FIRE HYDRANT
- = MONITORING WELL
- = MANHOLE
- = FIBER OPTIC PADDLE
- = SIGN
- = TELEPHONE BOX
- = WATER VALVE
- = WELL
- = WATER METER
- = PINE TREE
- = DECIDUOUS TREE



REFERENCES:

DEED BOOK 1449, PAGE 1619

GRID TIES AND COORDINATES:

ISS NO. 500 - NORTH = 168,715.647
 (CONTROL CORNER) EAST = 2,343,551.532

EIS NO. 1 - NORTH = 168,714.544
 (CONTROL CORNER) EAST = 2,343,767.139

NOTES:

- 1) THE PROPERTY SHOWN HEREON IS NOT LOCATED WITHIN A SPECIAL 100 YEAR FLOOD HAZARD AREA ACCORDING TO FLOOD INSURANCE RATE MAP NO. 3720314600J DATED APRIL 3, 2006.
- 2) ALL N.C. GRID DATA SHOWN HEREON IS BASED ON NAD 1983 2007 ADJUSTMENT USING THE NCGS RTK NETWORK SYSTEM.
- 3) ALL DISTANCES SHOWN HEREON ARE N.C. GRID DISTANCES UNLESS OTHERWISE NOTED.
- 4) COMBINED GRID FACTOR = 1.00003585
- 5) ALL ELEVATIONS SHOWN HEREON ARE BASED ON MEAN SEA LEVEL (NAVD 1988).
- 6) UNDERGROUND UTILITIES MAY EXIST THAT WE WERE NOT ABLE TO FIND ABOVE GROUND INDICATORS FOR. UTILITY MARKING COMPANIES WERE NOT CALLED TO LOCATE UNDERGROUND UTILITIES. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN.

Approved Construction Plan

Name _____ Date _____

Planning _____

Public Utilities _____

Traffic _____

Fire _____

STORMWATER MANAGEMENT PLAN

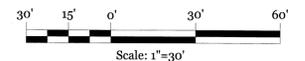
APPROVED

CITY OF WILMINGTON

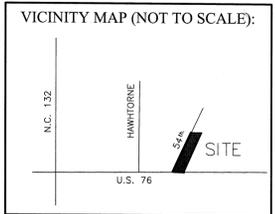
ENGINEERING DEPARTMENT

DATE _____ PERMIT # _____

SIGNED _____



SURVEY PROVIDED BY: JOHNNY J. WILLIAMS LAND SURVEYING, P.C.



REVISIONS

NO.	DATE	DESCRIPTION

INTRACOASTAL ENGINEERING, PLLC

91 Pelican Point Road
 Wilmington, North Carolina 28409
 Phone: 910.409.3567
 Email: Charlie@intracoastalengineering.com
 License Number P-0662

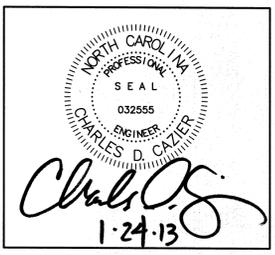
EXISTING CONDITIONS

FOR

OLEANDER DRIVE

SELF STORAGE

WILMINGTON, NC



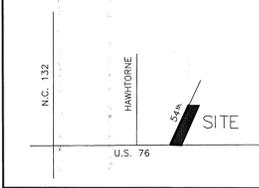
CLIENT INFORMATION:

PENTON DEVELOPMENT LLC
 6105 OLEANDER DRIVE SUITE 201
 WILMINGTON, NC 28403
 (910) 452-1410

DRAWN: CDC	SHEET SIZE: 24X36
CHECKED: CDC	DATE: 01-24-13
APPROVED: CDC	SCALE: 1:30
PROJECT NUMBER: 100-081	

DRAWING NUMBER: **C-1**

1 of 9



REVISIONS

NO.	DATE	DESCRIPTION

INTRACOASTAL ENGINEERING, PLLC
 91 Pelican Point Road
 Wilmington, North Carolina 28409
 Phone: 910.409.3567
 Email: charlie@intracoastalengineering.com
 License Number P-0662

SITE PLAN FOR OLEANDER DRIVE SELF STORAGE WILMINGTON, NC

CHARLES D. COOPER
 PROFESSIONAL ENGINEER
 032555
 1-24-13

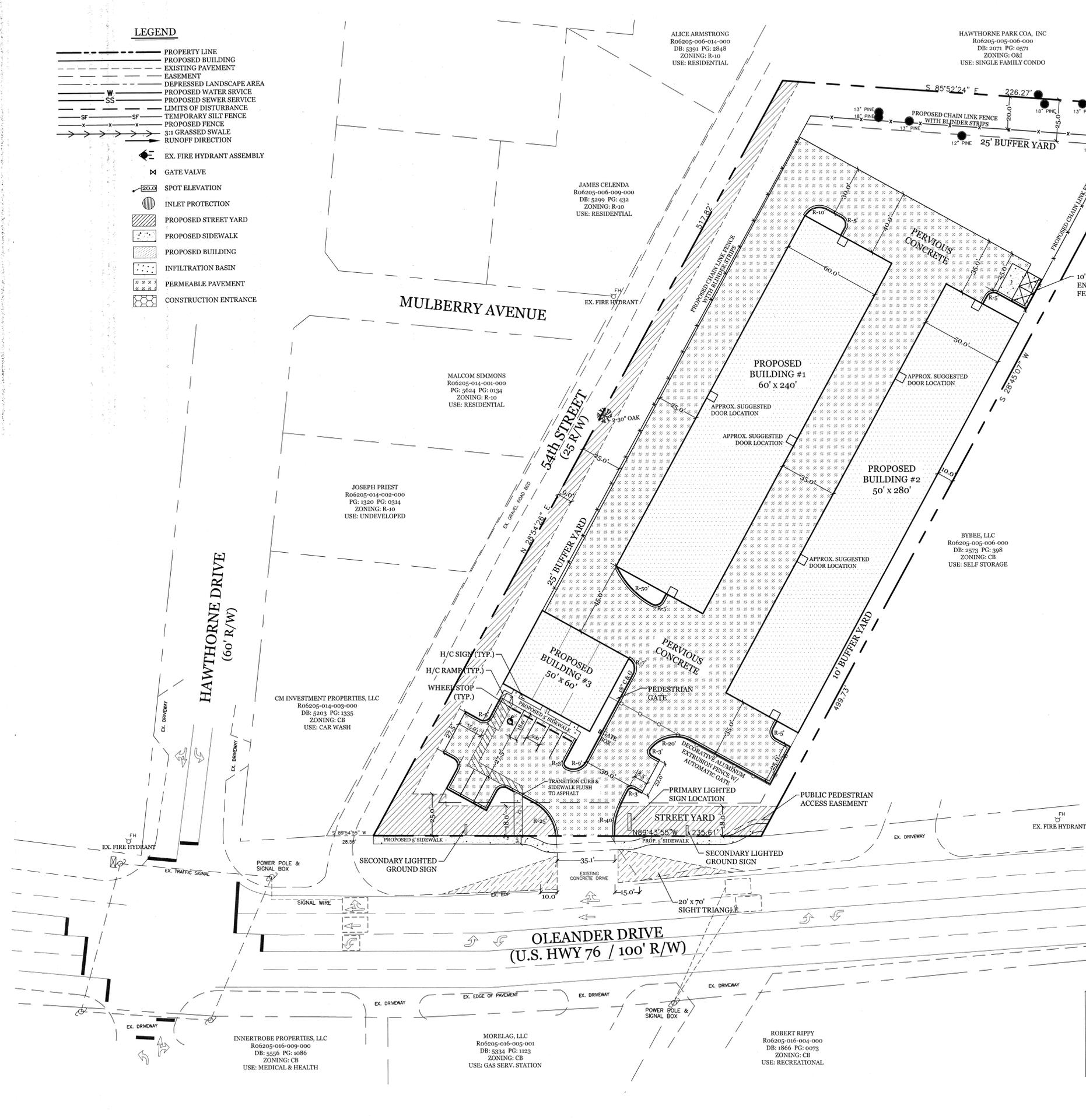
CLIENT INFORMATION:
 PENTON DEVELOPMENT LLC
 6105 OLEANDER DRIVE SUITE 201
 WILMINGTON, NC 28403
 (910) 452-1410

DRAWN: CDC	SHEET SIZE: 24X36
CHECKED: CDC	DATE: 01-24-13
APPROVED: CDC	SCALE: 1"=30'
PROJECT NUMBER: 100-081	

DRAWING NUMBER: **C-2**

LEGEND

- PROPERTY LINE
- - - PROPOSED BUILDING
- - - EXISTING PAVEMENT
- - - EASEMENT
- W DEPRESSED LANDSCAPE AREA
- SS PROPOSED WATER SERVICE
- PROPOSED SEWER SERVICE
- LIMITS OF DISTURBANCE
- SF TEMPORARY SILT FENCE
- X-X-X EXISTING FENCE
- 3" GRASSED SWALE
- RUNOFF DIRECTION
- EX. FIRE HYDRANT ASSEMBLY
- ⊗ GATE VALVE
- SPOT ELEVATION
- INLET PROTECTION
- ▨ PROPOSED STREET YARD
- ▨ PROPOSED SIDEWALK
- ▨ PROPOSED BUILDING
- ▨ INFILTRATION BASIN
- ▨ PERMEABLE PAVEMENT
- ▨ CONSTRUCTION ENTRANCE



SITE DATA TABLE:

ADDRESS:	5307 OLEANDER DRIVE
PARCEL ID:	R06205-005-005-001
TOTAL PROJECT AREA:	104,933 SF (2.409 AC.)
EXISTING ZONING:	CB - Community Business
OVERLAY ZONING:	N/A
PROPOSED ZONING:	CB - Community Business
CAMA LAND CLASSIFICATION:	Watershed Resource Protection
PROPOSED USE:	MINI-WAREHOUSING
NUMBER OF BUILDINGS:	3 (1-Story)
STORAGE UNITS PROPOSED:	31,400 SF
CONSTR. TYPE BLDG #1 & 2:	S1
CONSTR. TYPE BLDG #3:	B / S1
EXISTING IMPERVIOUS AREA:	13,288 SF (12.66%)

PROPOSED IMPERVIOUS AREA ON-SITE:

BUILDING	31,400 SF
PerVIOUS Pavement (34,502 * 0.25)	8,626 SF
Asphalt Parking	0 SF
SIDEWALK	385 SF
CURB & GUTTER	878 SF
TOTAL	41,289 SF (39.35%)

OFFSITE (Newly Constructed):

SIDEWALK	935 SF
TOTAL	935 SF
TOTAL:	42,224 SF

LIMITS OF DISTURBANCE: 2.51 Ac.

BULK REQUIREMENTS	REQUIRED	PROVIDED
MIN. LOT AREA	1/2 Ac.	104,933 SF (2.409 AC.)
MIN. LOT WIDTH	80'	235.61'
MIN. FRONT SETBACK	20'	30'
MIN. SIDE SETBACK	0'	10'
MIN. SIDE CORNER SETBACK	20'	25'
MIN. REAR SETBACK	10'	82.4'
MAX. BUILDING HEIGHT BLDG #1 & 2	12'	12' (Article 6 Sec 18-286)
MAX. BUILDING HEIGHT BLDG #3	45'	28'
MAX. LOT COVERAGE (BUILDINGS)	30%	31,400 SF (29.92%)

LANDSCAPE REQUIREMENTS

STREET YARD	REQUIRED	PROVIDED
OLEANDER (PRIMARY - 200.16' x 18') (18' Avg., Max. 27', Min. 9')	3,611 SF	3,739 SF
54th ST. (SECONDARY - 517.82' x 9') (1/2 Primary Street Yard)	4,660 SF	4,660 SF
PARKING LOT LANDSCAPING (20% CANOPY COVERAGE)	6,900 SF (34,502 x 0.2)	6,986 SF
BUFFER YARD (Article 6 - Section 18-286)		
REAR YARD	25'	25'
SIDE YARD	10'	10'

OFF-STREET PARKING REQUIREMENTS

	REQUIRED	PROVIDED
MINI-WAREHOUSING	3 Spaces (1 H/C) MIN. 1/1000 MAX. N/A	9 Spaces (1 H/C)
BICYCLE PARKING	N/A	N/A

WATER/SEWER USAGE

	CURRENT	PROPOSED
SEWER (125 GAL./Plumbing Fixture)	250 GPD	+/- 375 GPD
WATER (125 GAL./Plumbing Fixture)	250 GPD	+/- 375 GPD

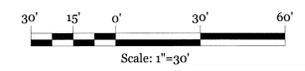
- SITE NOTES:**
- MINI-WAREHOUSE UNITS SHALL BE USED FOR "DEAD" STORAGE ONLY (NO COMMERCIAL ENTERPRISE CAN BE CONDUCTED FROM AN INDIVIDUAL UNIT OR UNITS).
 - THERE SHALL BE NO OUTSIDE STORAGE OF MATERIALS.
 - THERE SHALL BE NO STORAGE OF HAZARDOUS OR FLAMMABLE MATERIALS.
 - TACTILE WARNING MATS TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
 - ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'. SIGNS SHALL NOT BE WITHIN THE SIGHT DISTANCE TRIANGLE.
 - AUTOMATIC GATE SHALL PROVIDE SIREN ACTIVATED FEATURE FOR AFTER HOUR RESPONSE.

- GENERAL NOTES:**
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY ARE TO BE THERMOPLASTIC & MEET CITY AND/OR NCDOT STANDARDS.
 - ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
 - ANY BROKEN OR MISSING SIDEWALK PANELS AND CURBING WILL BE REPLACED.
 - A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
 - CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.

Approved Construction Plan

Name	Date
Planning	
Public Utilities	
Traffic	
Fire	

STORMWATER MANAGEMENT PLAN APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____ PERMIT # _____
 SIGNED _____



INNERTROBE PROPERTIES, LLC
 R06205-016-009-000
 DB: 5556 PG: 1086
 ZONING: CB
 USE: MEDICAL & HEALTH

MORELAG, LLC
 R06205-016-005-001
 DB: 5334 PG: 1123
 ZONING: CB
 USE: GAS SERV. STATION

ROBERT RIPPY
 R06205-016-004-000
 DB: 1866 PG: 0073
 ZONING: CB
 USE: RECREATIONAL

CM INVESTMENT PROPERTIES, LLC
 R06205-014-003-000
 DB: 5203 PG: 1335
 ZONING: CB
 USE: CAR WASH

JOSEPH PRIEST
 R06205-014-002-000
 PG: 1320 PG: 0314
 ZONING: R-10
 USE: UNDEVELOPED

MALCOM SIMMONS
 R06205-014-001-000
 PG: 5024 PG: 0134
 ZONING: R-10
 USE: RESIDENTIAL

JAMES CELENDIA
 R06205-006-009-000
 DB: 5299 PG: 432
 ZONING: R-10
 USE: RESIDENTIAL

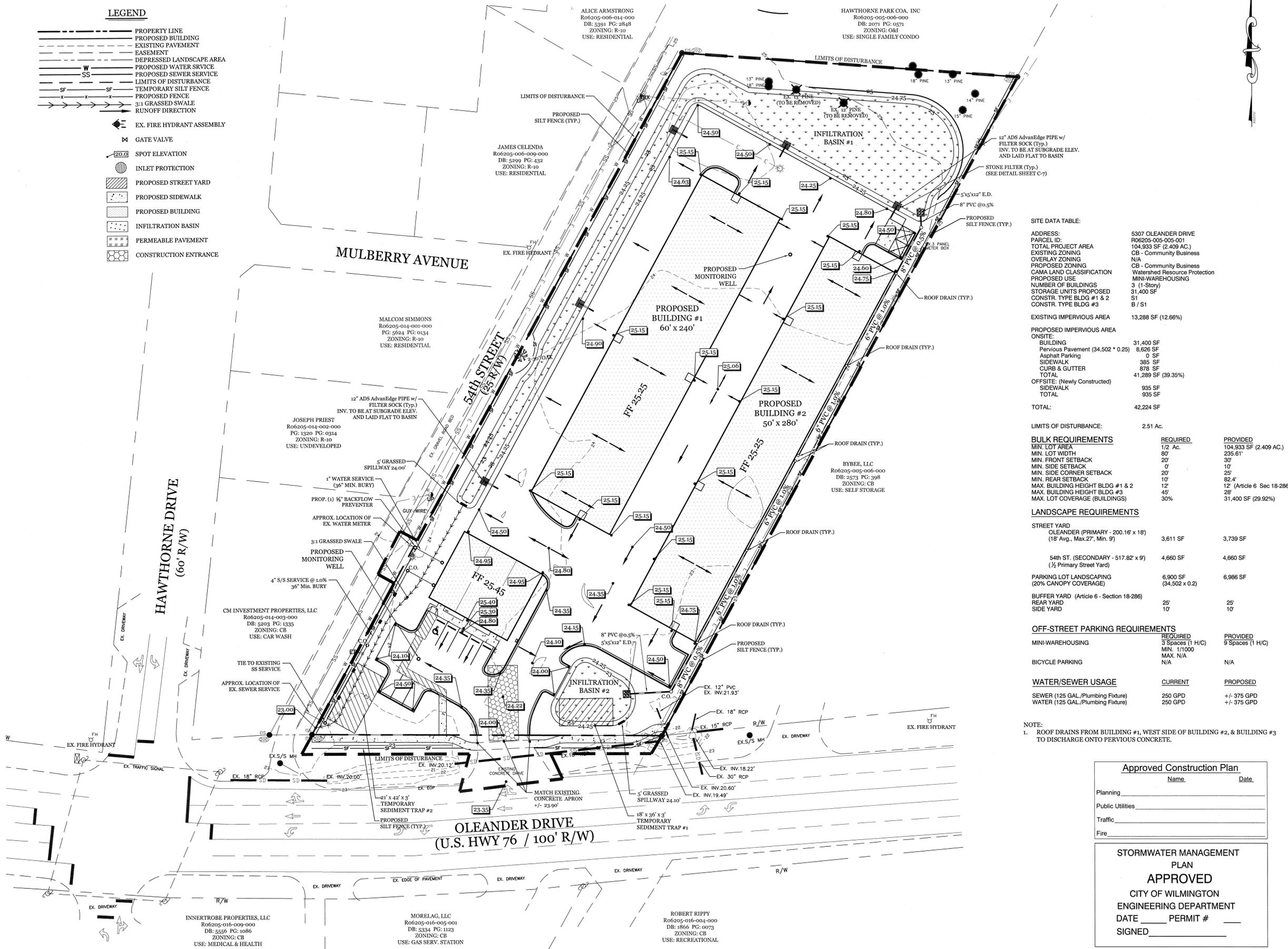
ALICE ARMSTRONG
 R06205-006-014-000
 DB: 5291 PG: 2848
 ZONING: R-10
 USE: RESIDENTIAL

HAWTHORNE PARK COA, INC
 R06205-005-006-000
 DB: 2071 PG: 0571
 ZONING: O&I
 USE: SINGLE FAMILY CONDO

BYBEE, LLC
 R06205-005-006-000
 DB: 2273 PG: 398
 ZONING: CB
 USE: SELF STORAGE

LEGEND

	PROPERTY LINE
	PROPOSED BUILDING
	EXISTING PAVEMENT
	EASEMENT
	DEPRESSED LANDSCAPE AREA
	PROPOSED WATER SERVICE
	PROPOSED SEWER SERVICE
	LIMITS OF DISTURBANCE
	TEMPORARY SILT FENCE
	PROPOSED FENCE
	3:1 GRASSED SWALE
	RUNOFF DIRECTION
	EX. FIRE HYDRANT ASSEMBLY
	GATE VALVE
	SPOT ELEVATION
	INLET PROTECTION
	PROPOSED STREET YARD
	PROPOSED SIDEWALK
	PROPOSED BUILDING
	INFILTRATION BASIN
	PERMEABLE PAVEMENT
	CONSTRUCTION ENTRANCE



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PROPOSED IMPERVIOUS AREA	
ONSITE:	
BUILDING:	31,400 SF
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Asphalt Parking:	0 SF
SIDEWALK:	385 SF
CURB & GUTTER:	878 SF
TOTAL:	41,289 SF (39.35%)
OFFSITE: (Newly Constructed):	
SIDEWALK:	935 SF
TOTAL:	935 SF
TOTAL:	42,224 SF

LIMITS OF DISTURBANCE:	
EXISTING:	2.51 Ac.
PROPOSED:	

BULK REQUIREMENTS

	REQUIRED	PROVIDED
MIN. LOT AREA	1/2 Ac.	104,933 SF (2.409 AC.)
MIN. LOT WIDTH	80'	235.61'
MIN. FRONT SETBACK	20'	30'
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MAX. BUILDING HEIGHT BLDG #3	45'	28'
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LANDSCAPE REQUIREMENTS

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BUFFER YARD (Article 6 - Section 18-286)	25'	25'
REAR YARD	10'	10'
SIDE YARD	10'	10'

OFF-STREET PARKING REQUIREMENTS

	REQUIRED	PROVIDED
MINI-WAREHOUSING	3 Spaces (1 H/C) MIN. 1/1000 MAX. N/A	9 Spaces (1 H/C)
BICYCLE PARKING	N/A	N/A

WATER/SEWER USAGE

	CURRENT	PROPOSED
SEWER (125 GAL./Plumbing Fixture)	250 GPD	+/- 375 GPD
WATER (125 GAL./Plumbing Fixture)	250 GPD	+/- 375 GPD

NOTE:
1. ROOF DRAINS FROM BUILDING #1, WEST SIDE OF BUILDING #2, & BUILDING #3 TO DISCHARGE ONTO PERVIOUS CONCRETE.

Approved Construction Plan

Name _____ Date _____

Planning _____

Public Utilities _____

Traffic _____

Fire _____

STORMWATER MANAGEMENT PLAN

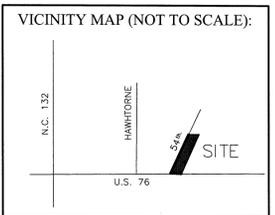
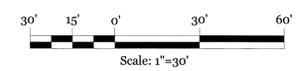
APPROVED

CITY OF WILMINGTON

ENGINEERING DEPARTMENT

DATE _____ PERMIT # _____

SIGNED _____



REVISIONS

NO.	DESCRIPTION

INTRACOASTAL ENGINEERING, PLLC

91 Pelican Point Road
Wilmington, North Carolina 28409
Phone: 910.409.3567
Email: charlie@intracoastalengineering.com
License Number P-0662

GRADING, UTILITY, EROSION CONTROL, & STORMWATER PLAN FOR OLEANDER DRIVE SELF STORAGE WILMINGTON, NC

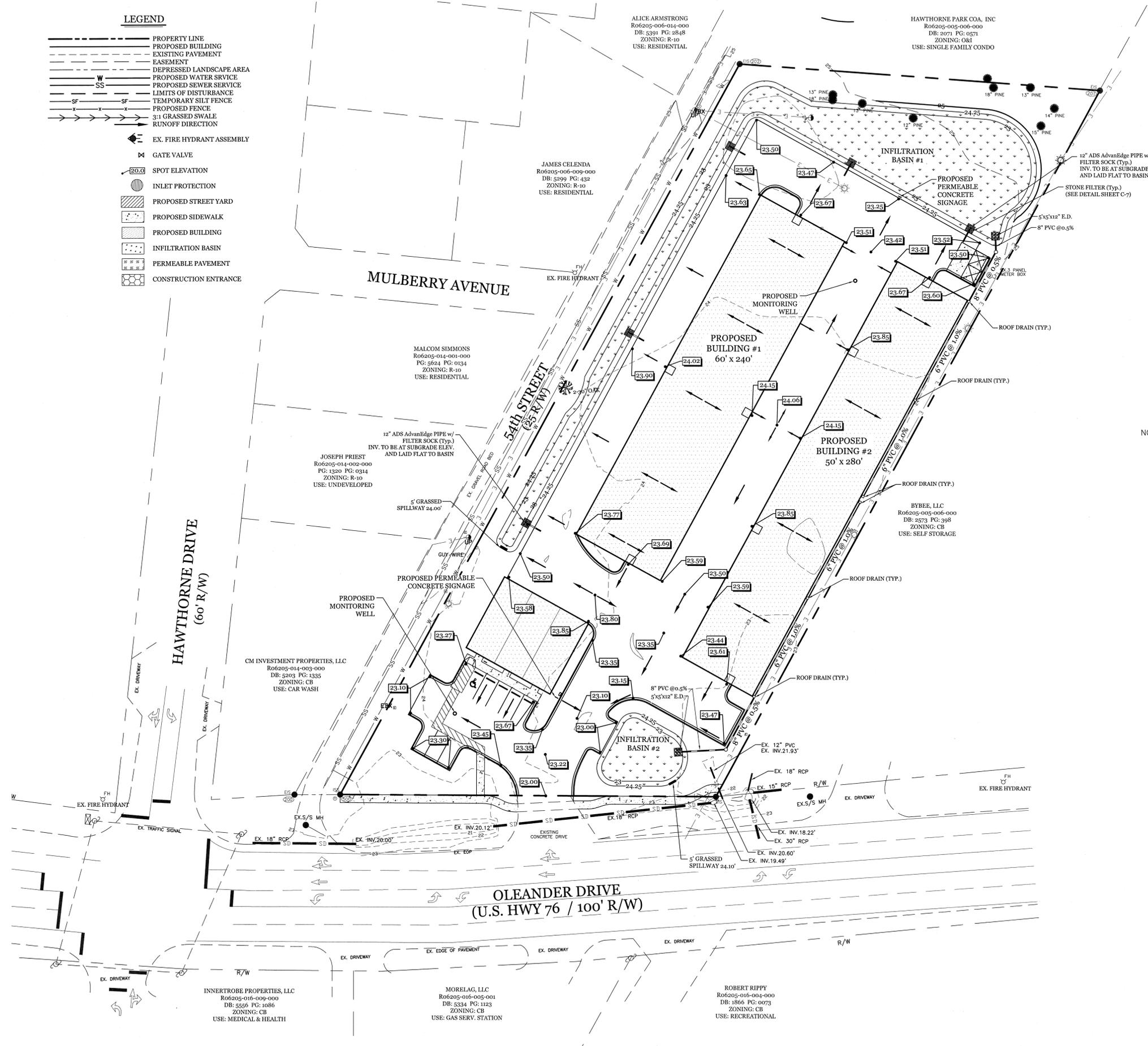
CLIENT INFORMATION:

PENTON DEVELOPMENT LLC
6105 OLEANDER DRIVE SUITE 201
WILMINGTON, NC 28403
(910) 452-1410

DRAWN:	CDC	SHEET SIZE:	24X36
CHECKED:	CDC	DATE:	01-24-13
APPROVED:	CDC	SCALE:	1:30
PROJECT NUMBER:	100-081		

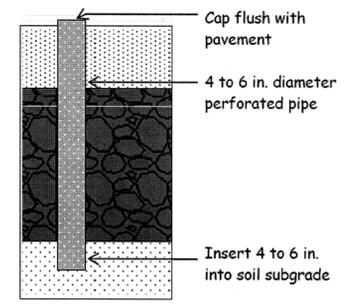
DRAWING NUMBER: **C-3** 3 of 9

- LEGEND**
- PROPERTY LINE
 - - - - PROPOSED BUILDING
 - - - - EXISTING PAVEMENT
 - - - - EASEMENT
 - W DEPRESSED LANDSCAPE AREA
 - SS PROPOSED WATER SERVICE
 - - - - PROPOSED SEWER SERVICE
 - - - - LIMITS OF DISTURBANCE
 - SF TEMPORARY SILT FENCE
 - X - - - - PROPOSED FENCE
 - 3:1 GRASSED SWALE
 - > RUNOFF DIRECTION
 - EX. FIRE HYDRANT ASSEMBLY
 - GATE VALVE
 - 20.0 SPOT ELEVATION
 - INLET PROTECTION
 - PROPOSED STREET YARD
 - PROPOSED SIDEWALK
 - PROPOSED BUILDING
 - INFILTRATION BASIN
 - PERMEABLE PAVEMENT
 - CONSTRUCTION ENTRANCE



NOTE: 1. SIGN SIZE SHALL BE 24" X 18".
 2. DWQ CAN PROVIDE THIS IMAGE IN A HIGH-RESOLUTION FILE FOR OWNERS WHO WOULD LIKE TO USE IT FOR THEIR SIGNS.

PERMEABLE CONCRETE SIGN



PERMEABLE CONCRETE MONITORING WELL

Approved Construction Plan

Name _____ Date _____

Planning _____

Public Utilities _____

Traffic _____

Fire _____

STORMWATER MANAGEMENT PLAN

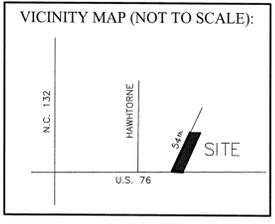
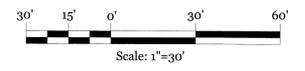
APPROVED

CITY OF WILMINGTON

ENGINEERING DEPARTMENT

DATE _____ PERMIT # _____

SIGNED _____



REVISIONS

INTRACOASTAL ENGINEERING, PLLC

91 Pelican Point Road
 Wilmington, North Carolina 28409
 Phone: 910.409.3567
 Email: Charlie@intracoastalengineering.com
 License Number P-0662

SUBGRADE PLAN
 FOR
**OLEANDER DRIVE
 SELF STORAGE**
 WILMINGTON, NC

CLIENT INFORMATION:

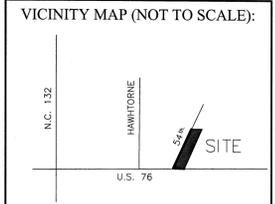
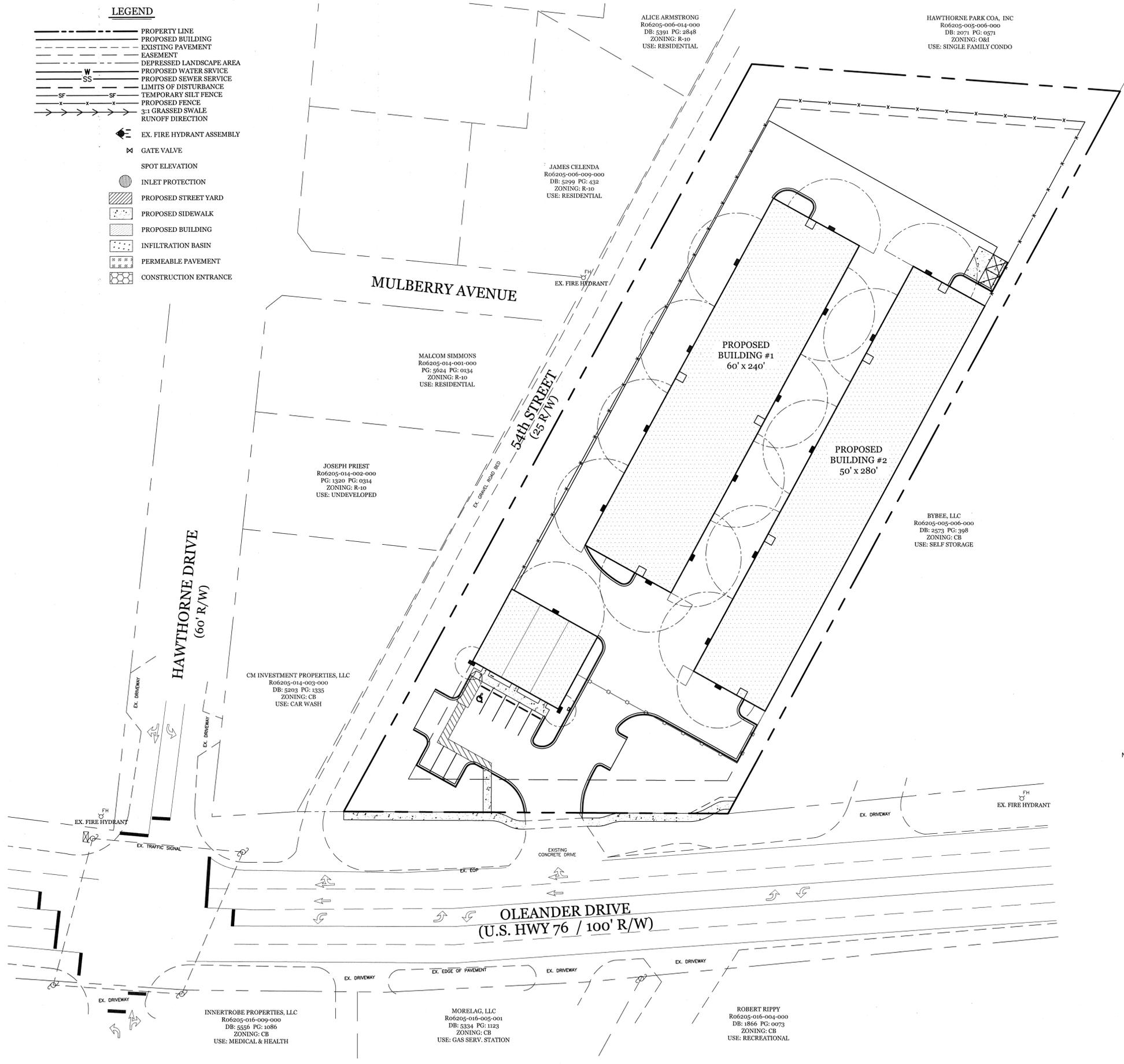
PENTON DEVELOPMENT LLC
 6105 OLEANDER DRIVE SUITE 201
 WILMINGTON, NC 28403
 (910) 452-1410

DRAWN: CDC	SHEET SIZE: 24X36
CHECKED: CDC	DATE: 01-24-13
APPROVED: CDC	SCALE: 1:30
PROJECT NUMBER: 100-081	

DRAWING NUMBER: **C-4**

LEGEND

- PROPERTY LINE
- PROPOSED BUILDING
- EXISTING PAVEMENT
- EASEMENT
- DEPRESSED LANDSCAPE AREA
- PROPOSED WATER SERVICE
- PROPOSED SEWER SERVICE
- LIMITS OF DISTURBANCE
- TEMPORARY SILT FENCE
- PROPOSED FENCE
- 3:1 GRASSED SWALE
- RUNOFF DIRECTION
- EX. FIRE HYDRANT ASSEMBLY
- GATE VALVE
- SPOT ELEVATION
- INLET PROTECTION
- PROPOSED STREET YARD
- PROPOSED SIDEWALK
- PROPOSED BUILDING
- INFILTRATION BASIN
- PERMEABLE PAVEMENT
- CONSTRUCTION ENTRANCE



REVISIONS

INTRACOASTAL ENGINEERING, PLLC
91 Pelican Point Road
Wilmington, North Carolina 28409
Phone: 910.409.3567
Email: charlie@intracoastalengineering.com
License Number P-0662

LIGHTING PLAN
FOR
**OLEANDER DRIVE
SELF STORAGE**
WILMINGTON, NC

NOTE:
1. ALL OUTDOOR LIGHTING SHALL BE INSTALLED SO AS NOT TO EXCEED TEN (10) FEET IN HEIGHT AND NOT TO SHINE OR REFLECT DIRECTLY ON SURROUNDING PROPERTIES.
2. LIGHTING SPECIFICATIONS, SIZES, & LOCATIONS PROVIDED BY OWNER. INTRACOASTAL ENGINEERING PROVIDED DRAFTING SERVICES ONLY.

Approved Construction Plan

Name _____ Date _____

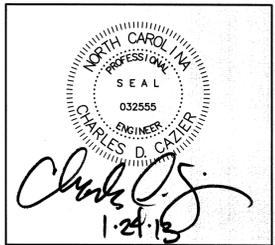
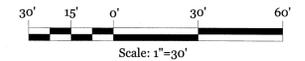
Planning _____

Public Utilities _____

Traffic _____

Fire _____

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
SIGNED _____



CLIENT INFORMATION:
PENTON DEVELOPMENT LLC
6105 OLEANDER DRIVE SUITE 201
WILMINGTON, NC 28403
(910) 452-1410

DRAWN:	CDC	SHEET SIZE:	24X36
CHECKED:	CDC	DATE:	01-24-13
APPROVED:	CDC	SCALE:	1 : 30
PROJECT NUMBER:	100-081		

DRAWING NUMBER: **C-6**

**LATE WINTER & EARLY SPRING
TEMPORARY GRASSING DETAIL**

SEEDING MIXTURE

SPECIES

For Grass
Annual Impoidea (Kobe in Piedmont and Coastal Plain, Kona in Mountains)
Omit annual Impoidea when duration of temporary cover is not to extend beyond June.

SEEDING DATES:
Mountains - Above 2500 ft. Feb. 15-May 15
Below 2500 ft. Feb. 1-May 1
Piedmont - Jan. 1-May 1
Coastal Plain - Dec. 1-Apr. 15

SOIL AMENDMENTS
Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

SEEDING NOTES

- WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICIA.
- USE COMMON BERMUDAGRASS ONLY ON ISOLATED PLOTS WHERE IT CANNOT BECOME A PEST. BERMUDAGRASS MAY BE REPLACED WITH 5 lb/acre CENTIPEDAGRASS.

SOIL AMENDMENTS

Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

MULCH

APPLY 4,000 LB/ACRE STRAW ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE

Refer to 21 growth is not fully adequate. Reseed, refer to 21 and mulch immediately following erosion or other damage.

**SPRING-SUMMER
PERMANENT GRASSING DETAIL**

SEEDING MIXTURE

SPECIES

PENSACOLA BAHUAGRASS
SERICIA LESPERDIA
COMMON BERMUDAGRASS
GERMAN MILLET
TALL FESCUE

RATE (lb/acre)

50
30
10
10
10

SEEDING NOTES

- WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICIA.
- USE COMMON BERMUDAGRASS ONLY ON ISOLATED PLOTS WHERE IT CANNOT BECOME A PEST. BERMUDAGRASS MAY BE REPLACED WITH 5 lb/acre CENTIPEDAGRASS.

SEEDING DATES

APRIL - JULY 15

SOIL AMENDMENTS

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 3,000 lb/acre GROUND AGRICULTURAL LIMESTONE AND 500 lb/acre 10-10-10 FERTILIZER.

MULCH

APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH ANCHOR BY TACKING WITH ASPHALT, ROVING, OR NETTING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE

REFERFERTILIZE THE FOLLOWING APRIL WITH 50 lb/acre NITROGEN. REPEAT AS GROWTH REQUIRES. MAY BE MOVED ONLY ONCE A YEAR, WHERE A NEAT APPEARANCE IS DESIRED. OMIT SERICIA AND MOW AS OTHERS AS NEEDED.

SEEDING NOTES

- WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICIA.
- USE COMMON BERMUDAGRASS ONLY ON ISOLATED PLOTS WHERE IT CANNOT BECOME A PEST. BERMUDAGRASS MAY BE REPLACED WITH 5 lb/acre CENTIPEDAGRASS.

SEEDING DATES

APRIL - JULY 15

SOIL AMENDMENTS

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 3,000 lb/acre GROUND AGRICULTURAL LIMESTONE AND 500 lb/acre 10-10-10 FERTILIZER.

MULCH

APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH ANCHOR BY TACKING WITH ASPHALT, ROVING, OR NETTING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE

REFERFERTILIZE THE FOLLOWING APRIL WITH 50 lb/acre NITROGEN. REPEAT AS GROWTH REQUIRES. MAY BE MOVED ONLY ONCE A YEAR, WHERE A NEAT APPEARANCE IS DESIRED. OMIT SERICIA AND MOW AS OTHERS AS NEEDED.

**FALL-WINTER
PERMANENT GRASSING DETAIL**

SEEDING MIXTURE

SPECIES

TALL FESCUE (BLEND OF TWO OR THREE IMPROVED VARIETIES)
RYE (GRAIN)

RATE (lb/acre)

300
25

SEEDING NOTES

IN THE PIEDMONT AND MOUNTAINS, A SMALL-STEMMED SUNDAGRASS MAY BE SUBSTITUTED AT A RATE OF 90 LB/ACRE.

SEEDING DATES

JANUARY - APRIL
AUGUST - DECEMBER

SOIL AMENDMENTS

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 3,000-5,000 lb/acre GROUND AGRICULTURAL LIMESTONE (USE THE LOWER RATE ON SANDY SOILS) AND 1,000 lb/acre 10-10-10 FERTILIZER.

MULCH

APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH ANCHOR BY TACKING WITH ASPHALT, ROVING, OR NETTING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE

FERTILIZE ACCORDING TO SOIL TESTS OR APPLY 40 lb/acre NITROGEN IN JANUARY OR FEBRUARY, 40 lb IN SEPTEMBER AND 40 lb IN NOVEMBER, FROM A 12-4-8, 10-6-8 OR SIMILAR TYPE FERTILIZER. AVOID FERTILIZER APPLICATIONS DURING WARM WEATHER, AS THIS INCREASES STANO LOSSES TO DISEASE. RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY. MOW TO A HEIGHT OF 2-3.5 INCHES.

SEEDING DATES

JANUARY - APRIL
AUGUST - DECEMBER

SOIL AMENDMENTS

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 3,000-5,000 lb/acre GROUND AGRICULTURAL LIMESTONE (USE THE LOWER RATE ON SANDY SOILS) AND 1,000 lb/acre 10-10-10 FERTILIZER.

MULCH

APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH ANCHOR BY TACKING WITH ASPHALT, ROVING, OR NETTING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE

FERTILIZE ACCORDING TO SOIL TESTS OR APPLY 40 lb/acre NITROGEN IN JANUARY OR FEBRUARY, 40 lb IN SEPTEMBER AND 40 lb IN NOVEMBER, FROM A 12-4-8, 10-6-8 OR SIMILAR TYPE FERTILIZER. AVOID FERTILIZER APPLICATIONS DURING WARM WEATHER, AS THIS INCREASES STANO LOSSES TO DISEASE. RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY. MOW TO A HEIGHT OF 2-3.5 INCHES.

TEMPORARY SUMMER GRASSING DETAIL

SEEDING MIXTURE

SPECIES

GERMAN MILLET

RATE (lb/acre)

40

SEEDING NOTES

IN THE PIEDMONT AND MOUNTAINS, A SMALL-STEMMED SUNDAGRASS MAY BE SUBSTITUTED AT A RATE OF 90 LB/ACRE.

SEEDING DATES

MOUNTAINS - MAY 15-AUG. 15
PIEDMONT - MAY 15-AUG. 15
COASTAL PLAN - APR. 15-AUG. 15

SOIL AMENDMENTS

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

MULCH

APPLY 4,000 LB/ACRE STRAW ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE

REFERFERTILIZE TO GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

SEEDING NOTES

- WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICIA.
- USE COMMON BERMUDAGRASS ONLY ON ISOLATED PLOTS WHERE IT CANNOT BECOME A PEST. BERMUDAGRASS MAY BE REPLACED WITH 5 lb/acre CENTIPEDAGRASS.

SEEDING DATES

MOUNTAINS - MAY 15-AUG. 15
PIEDMONT - MAY 15-AUG. 15
COASTAL PLAN - APR. 15-AUG. 15

SOIL AMENDMENTS

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

MULCH

APPLY 4,000 LB/ACRE STRAW ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE

REFERFERTILIZE TO GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

TEMPORARY FALL GRASSING DETAIL

SEEDING MIXTURE

SPECIES

Rye (grass)

RATE (lb/acre)

120

SEEDING NOTES

MOUNTAINS - AUG. 15-DEC. 15
PIEDMONT - AUG. 15-DEC. 30

SOIL AMENDMENTS

FOLLOW SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

MULCH

APPLY 4,000 LB/ACRE STRAW ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE

Repair and referfertilize damaged areas immediately. Topdress with 30 lb/acre of nitrogen in March if it is necessary to extend temporary cover beyond June 15, covered with 50 lb/acre Kobe (Piedmont and Coastal Plain) or Kona (Mountains) Impoidea in late February or early March.

SEEDING NOTES

MOUNTAINS - AUG. 15-DEC. 15
PIEDMONT - AUG. 15-DEC. 30

SOIL AMENDMENTS

FOLLOW SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

MULCH

APPLY 4,000 LB/ACRE STRAW ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

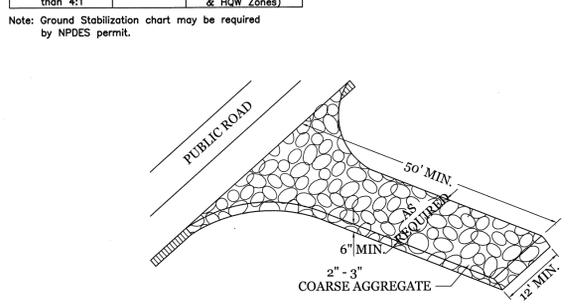
MAINTENANCE

Repair and referfertilize damaged areas immediately. Topdress with 30 lb/acre of nitrogen in March if it is necessary to extend temporary cover beyond June 15, covered with 50 lb/acre Kobe (Piedmont and Coastal Plain) or Kona (Mountains) Impoidea in late February or early March.

GROUND STABILIZATION CRITERIA

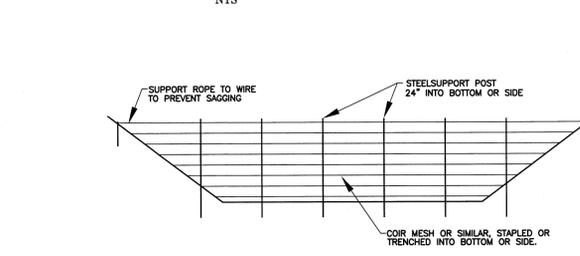
SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
* Perimeter ditches, swales, ditches and slopes	7 Days	None
* High Quality Water (HQW) Zones	7 Days	None
* Slopes Steeper than 3:1	7 Days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
* Slopes 3:1 or flatter	14 Days	7-days for slopes greater than 50 ft. in length
* All other areas with slopes flatter than 4:1	14 Days	None (except for perimeters & HQW Zones)

Note: Ground Stabilization chart may be required by NPDES permit.



**TEMPORARY GRAVEL
CONSTRUCTION ENTRANCE**

NTS



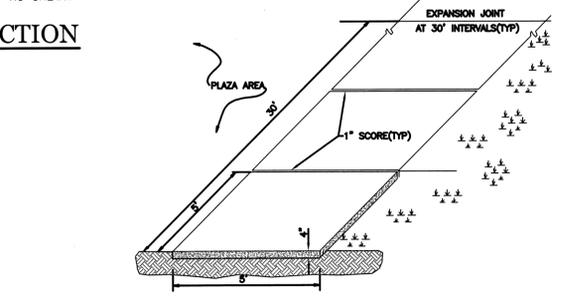
POROUS BAFFLE CROSS SECTION

NTS



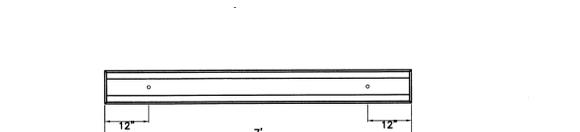
**STANDARD 6" CURB SECTION
TYPE "A" SD 7-01**

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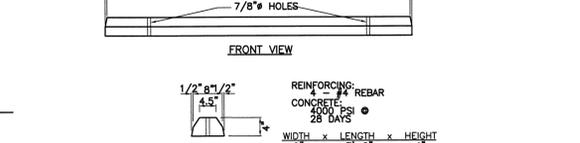
STANDARD SIDEWALK DETAIL SD 8-15

NTS



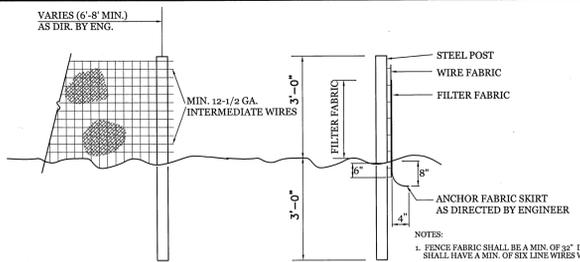
WHEEL STOP DETAIL

NTS



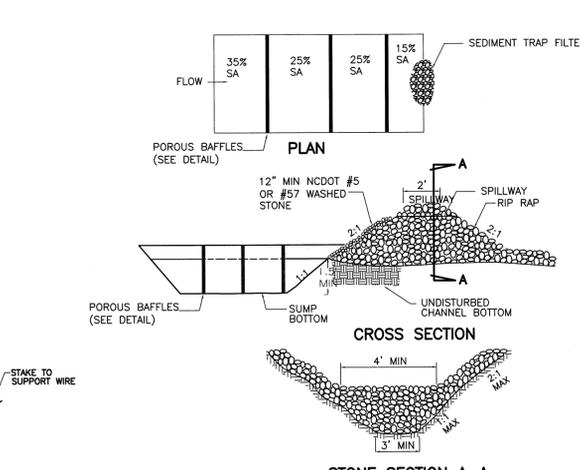
DUMPSTER PAD & ENCLOSURE DETAIL

NTS



TEMPORARY SILT FENCE

NTS



TEMPORARY SEDIMENT TRAP DETAIL

NTS

TEMPORARY SEDIMENT TRAP TABLE

NO.	AREA (ACRES)	REQ'D	PROVIDED	L	W	D
1	0.49	540	648	36'	18'	3'
2	0.71	783	882	42'	21'	3'

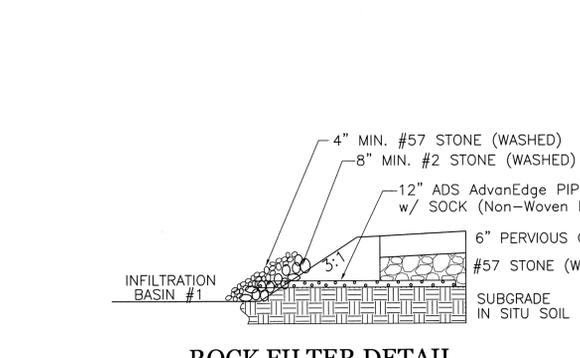
SEE PLAN SHEET FOR LOCATION

NOTES:

- SEDIMENT TRAP WILL BE CONSTRUCTED FIRST.
- SEDIMENT TRAP HEIGHT TO BOTTOM OF SPILLWAY WILL BE NO LESS THAN TWO FEET.
- SPILLWAY DEPTH SHALL BE ONE FOOT.
- STONE FACE SHOULD BE NO LESS THAN 6 INCHES OF THE LARGE STONE.
- SUMP DIMENSIONS SHOULD ALLOW FOR A MINIMUM OF 3600 GALLONS OF SEDIMENT STORAGE.
- DEPTH OF SEDIMENT IN SUMP WILL BE CHECKED AFTER EACH STORM AND CLEANED AS NECESSARY (MIN. ONCE EACH 6 MO.).
- REMOVAL OF SEDIMENT TRAP WILL BE DONE IN SUCH A WAY AS TO LIMIT SILTATION.

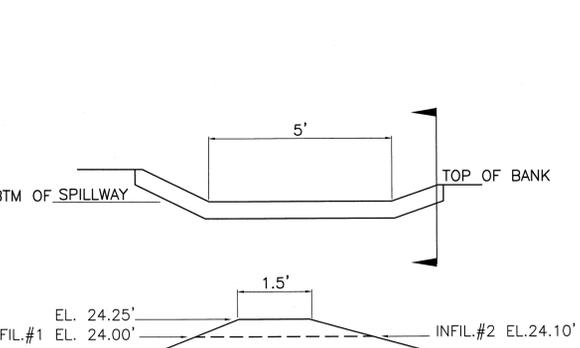
TEMPORARY SEDIMENT TRAP DETAIL

NTS



ROCK FILTER DETAIL

NTS



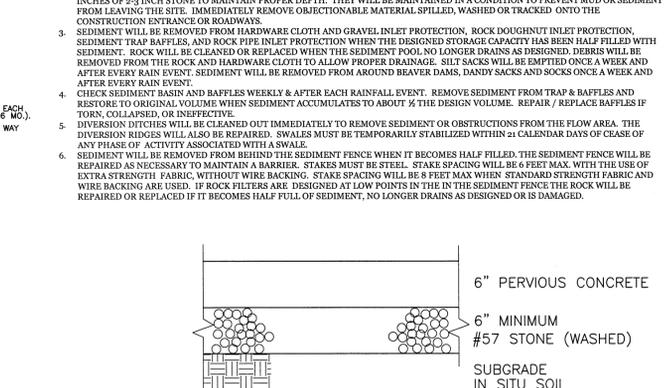
SPILLWAY DETAIL

NTS

- SITE WORK NOTES:**
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BOTH ON AND ADJACENT TO THE SITE.
 - CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION IF DESIGNATED TO BE REMOVED.
 - GRUBBING AND STRIPPING: CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL, OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION.
 - MUCKING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.
 - DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
 - FILL AND COMPACTION SHOULD COMPLY WITH GEOTECHNICAL RECOMMENDATIONS.
 - THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT AND FILL QUANTITIES AND COMPLETE INSTALLATION TO SPECIFIED GRADES.
 - THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE PROPERLY PERMITTED FACILITY AS REQUIRED.
 - FORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONSTRUCTION DISCOVERY OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
 - NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. BEFORE COMMENCING ANY EXCAVATIONS IN OR ALONG ROADWAYS OR RIGHT-OF-WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PERSONNEL OF THEIR INTENT TO EXCAVATE, IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO COMMENCING.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/ RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE PERSONNEL.
 - CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE & CURB BOXES TO FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
 - EXISTING SURVEYING PERFORMED BY JOHN J. WILLIAMS LAND SURVEYING, P.A.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE ENGINEER PRIOR TO INSTALLATION.
 - THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.
 - ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO MEET ALL LOCAL, STATE, AND FEDERAL CODES. METERS, TAPS, MATERIALS, WORKMANSHIP AND ALL SHALL COMPLY WITH ALL REQUIREMENTS.
 - ALL BACKFILL FROM UTILITY INSTALLATION MUST BE COMPACTED OR AMENDED TO PROVIDE TRAFFIC BEARING CAPACITY. GEOTECHNICAL ENGINEER TO BE CONSULTED AT CONTRACTOR'S COST AS NECESSARY.
 - ALL AREAS SHALL BE SLOPED TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES.
 - CONCRETE FOR WALKS, CURBS AND DRIVES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS - AIR ENTRAINED.
 - FIELD TESTING SHALL BE DONE BY AN INDEPENDENT TESTING LABORATORY PAID FOR BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID FOR BY THE CONTRACTOR.
 - ALL SIDEWALKS SHALL BE FREE OF CRACKS, BREAKS, OR ANY OTHER DEFECT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.
- CONSTRUCTION SEQUENCE:**
- CONSTRUCTION OF SITE TO START WITH INSTALLATION OF CONSTRUCTION ENTRANCE, SEDIMENT TRAP, AND SILT FENCE ALONG ALL LOCATIONS PER PLANS. UPON INSTALLATION OF SILT FENCE, TREES SHOULD BE REMOVED AT LOCATIONS AS NECESSARY. ALL SLOPED AREAS SHOULD BE SEDED IN ACCORDANCE TO SPECIFICATIONS. SLOPE STABILIZATION IS WITHIN 21 CALENDAR DAYS OF ANY PHASE OF CONSTRUCTION. ALL OTHER AREAS MUST BE STABILIZED WITHIN 15 WORKING DAYS.
 - GENERAL CLEARING AND GRADING OF THIS SITE WILL NOT BE DONE UNTIL THE TEMPORARY SILT FENCE, SEDIMENT TRAP, AND CONSTRUCTION ENTRANCES HAVE BEEN INSTALLED.
 - NO CUT SLOPE OR FILL SLOPE SHALL EXCEED A RISE OR FALL OF ONE FOOT FOR EVERY RUN OF 3 FEET (1 VERTICAL TO 3 HORIZONTAL).
 - NO SEDIMENT WILL BE ALLOWED TO EXIT THE SITE. ALL EROSION SHALL BE CONTROLLED INCLUDING SIDE SLOPES DURING AND AFTER CONSTRUCTION.
 - INSTALL PRIMARY EROSION CONTROL MEASURES BEFORE BEGINNING CONSTRUCTION INCLUDING BUT NOT LIMITED TO GRAVELED CONSTRUCTION ENTRANCE, SILT FENCE, CHECK DAMS, & INLET PROTECTION. INSTALL ALL SECONDARY EROSION CONTROL MEASURES AS SOON AS POSSIBLE AFTER BEGINNING CONSTRUCTION.
 - CONTRACTOR TO BRING SITE TO GRADE WHILE PREVENTING SUBGRADE COMPACTION WHERE PVIOUS CONCRETE IS TO BE INSTALLED.
 - UTILITY SERVICES, STORMWATER, & INFILTRATION BASINS TO BE INSTALLED AT THIS TIME. CONCRETE BUILDING FOUNDATIONS AND SIDEWALKS TO BE POURED.
 - CONTRACTOR TO FOLLOW CONSTRUCTION SPECIFICATIONS FOR POROUS CONCRETE PROVIDED BY THE ENGINEER & REQUIRED IN STORMWATER PERMIT. CONTRACTOR MUST CONTACT ENGINEER FOR SPECIFICATIONS FOR CONSTRUCTION TO PREVENT SUBGRADE COMPACTION AND CLOGGING OF THE PAVEMENT SURFACE AS WELL AS THE OTHER UNIQUE CONSTRUCTION CONSIDERATIONS FOR PVIOUS CONCRETE.
 - ALL EROSION CONTROL MEASURES TO BE INSPECTED AFTER EACH RAIN. SILT FENCE AND INLET PROTECTION TO BE CLEANED WHEN HALF FULL.
 - A 4" LAYER OF TOPSOIL SHALL BE APPLIED TO ALL NEW AREAS TO BE GRADED.
 - ALL DISTURBED AREAS SHALL BE SEDED IN ACCORDANCE WITH SEEDING SCHEDULE.
 - MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PROJECT IS COMPLETE.
 - MORE STRINGENT MEASURES MAY BE REQUIRED TO HALT EROSION IF THOSE ON THIS PLAN PROVE TO BE LESS EFFECTIVE.
 - REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION. ALL PERMANENT MEASURES SHALL BE WELL ESTABLISHED PRIOR TO PROJECT COMPLETION.
- MAINTENANCE PLAN:**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL.
 - ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF 2-3 INCH STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED, WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
 - SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION, SEDIMENT TRAP BAFFLES, AND ROCK PIPE INLET PROTECTION WHEN THE DESIGN STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPHIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DARRY SACKS AND ROCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
 - CHECK SEDIMENT BASIN AND BAFFLES WEEKLY & AFTER EACH RAINFALL EVENT. REMOVE SEDIMENT FROM TRAP & BAFFLES AND RESTORE TO ORIGINAL VOLUME WHEN SEDIMENT ACCUMULATES TO ABOUT 1/2 THE DESIGN VOLUME. REPAIR/REPLACE BAFFLES IF TORN, COLLAPSED, OR INEFFECTIVE.
 - DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
 - SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNATED AT LOW POINTS IN THE SEDIMENT FENCE THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.

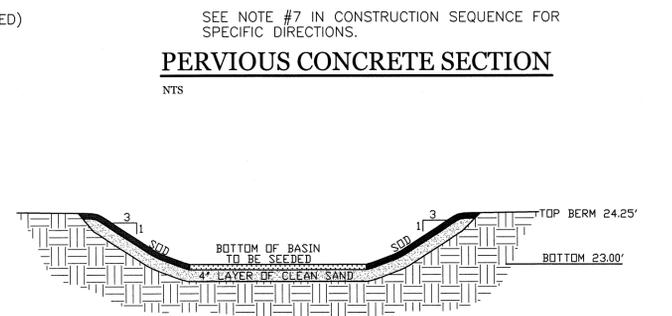
PERVIOUS CONCRETE SECTION

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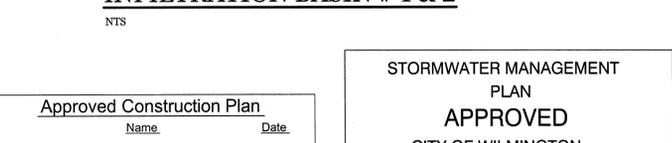
PERVIOUS CONCRETE SECTION

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INFILTRATION BASIN # 1 & 2

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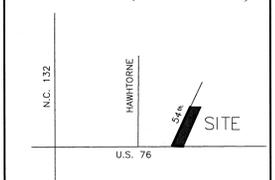


STORMWATER MANAGEMENT PLAN

NTS

Approved Construction Plan
Name _____ Date _____
Planning _____
Public Utilities _____
Traffic _____
Fire _____

VICINITY MAP (NOT TO SCALE):



REVISIONS

NO.	DATE	DESCRIPTION

INTRACOASTAL ENGINEERING, PLLC