

- SITE DATA**
- SITE BOUNDARY, STRUCTURES, TREES, ADJACENT PROPERTY LINES, EXISTING STREETS AND UTILITY INFORMATION TAKEN FROM SURVEY PROVIDED BY MICHAEL UNDERWOOD AND ASSOCIATES, PA DATED JANUARY 9, 2015.
  - ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO MEAN SEA LEVEL, NAVD 1988.
  - ALL DISTANCES ARE GROUND HORIZONTAL.
  - THIS LOT IS SUBJECT TO ALL UTILITY EASEMENTS, RESTRICTIONS OR COVENANTS OF RECORD.
  - SEWER AND WATER SERVICES FOR THIS LOT ARE IN PLACE AND PROVIDED BY THE CAPE FEAR PUBLIC UTILITY AUTHORITY.
  - PARCEL INFORMATION FROM NEW HANOVER COUNTY ONLINE TAX RECORD SEARCH.
  - ALL PROTECTED TREES WILL BE PRESERVED OR MITIGATED.
  - SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE.
  - SITE IS NOT LOCATED WITHIN A CONSERVATION OVERLAY DISTRICT.
  - GARBAGE TO BE STORED IN ROLL-OUT CONTAINERS WITHIN BUILDING.
  - ALL SIGNS WILL BE LOCATED AND APPROVED BY THE CITY OF WILMINGTON PLANNING DEPARTMENT.
  - TWO EXISTING DRIVEWAYS ARE TO BE CLOSED.
  - HEATING/AIR EQUIPMENT WILL BE LOCATED WITHIN THE BUILDING FOOTPRINT.
  - CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
  - NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
  - WATER AND SEWER SERVICE SHALL MEET CFPJA DETAILS AND SPECIFICATIONS.
  - LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS AND METHODS.
  - ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING AND GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.

- NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.
- REGULATED AND SIGNIFICANT TREES IN THE STREET YARD AND ANY TREES IN ANY REQUIRED BUFFERS ARE TO BE RETAINED.
- NO EXISTING EASEMENTS PERTAIN TO THE SITE.
- ALL SIGNS WILL BE LOCATED AND APPROVED BY THE CITY OF WILMINGTON PLANNING DEPARTMENT.
- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10" (SEC. 18-566).
- ALL FEDERAL, STATE AND LOCAL PERMITS AREA REQUIRED PRIOR TO FULL CONSTRUCTION RELEASE. THIS INCLUDES, BUT IS NOT LIMITED TO: STATE STORM WATER, STATE UTILITY EXTENSION PERMITS, WETLAND DISTURBANCE PERMITS, CITY STORM WATER, TREE PROTECTION PERMITS, ETC.
- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH A CLEAR VISUAL SIGHT LINES FROM 30'-10" (SEC. 18-566).
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS (DETAIL SD-13 COWF TECH STDS).
- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS (DETAIL SD 15-13 COWF TECH STDS).
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- NO ADDITIONAL EXISTING OR PROPOSED EASEMENTS OR PUBLIC RIGHTS-OF-WAY ARE IDENTIFIED.
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- TRASH WILL BE CONTAINED IN ROLL OUT CONTAINERS
- NO TREES WILL BE REMOVED AS A RESULT OF CONSTRUCTION
- THERE IS NO PROPOSED MONUMENT SIGN.

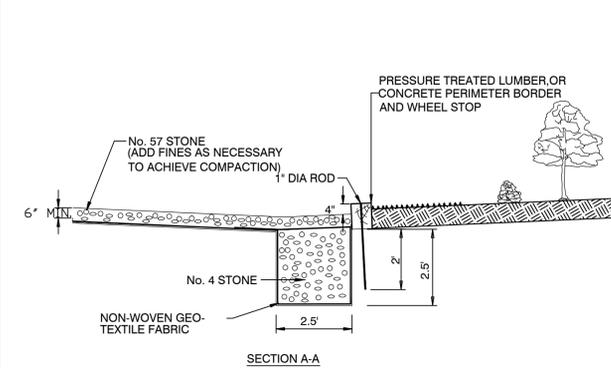
**GENERAL NOTES**

ADDRESS:	4718 OLEANDER DRIVE	
PARCEL ID:	R06107-010-009-000	
CURRENT OWNER:	Mckoy Marilyn Watson	
TOTAL PROJECT AREA	.62 AC. 27,007 sf	
EXISTING ZONING	Regional Business (RB)	
CAMA LAND CLASSIFICATION	URBAN	
EXISTING USE	RETAIL	
PROPOSED USE	BAR/NIGHTCLUB	
NUMBER OF BUILDINGS	1	
RETAIL SPACE	1,652 SF (EXISTING)	
EXISTING IMPERVIOUS AREA	1,652 SF	
BUILDING PAVING	4,513 SF	
TOTAL	6,165 SF	
EXISTING IMPERVIOUS TO REMAIN	1,652 SF	
BUILDING PAVING	3,289 SF	
PROPOSED NEW IMPERVIOUS AREA	6,946 SF	
GRAVEL PARKING		
WATER/SEWER USAGE	CURRENT PROPOSED	
SEWER	(210 GAL./DAY)	(210 GAL./DAY)
WATER	(210 GAL./DAY)	(210 GAL./DAY)
<b>BULK REQUIREMENTS</b>	REQUIRED	PROVIDED*
MIN. LOT AREA	1 ACRE	27,007 SF, .62
MIN. LOT WIDTH	100'	148'
MIN. FRONT SETBACK	25'	26.2'
MIN. SIDE SETBACK	10'	32.7'
MIN. CORNER SIDE SETBACK	25'	53.1'
MIN. INTERIOR SIDE SETBACK	0'	N/A
MIN. REAR SETBACK	15'	62.6'
MAX. BUILDING HEIGHT	35'	22'
MAX. LOT COVERAGE (BUILDINGS)	40%	1,652 SF (6.12%)

REMAIN		
<b>OFF-STREET PARKING REQUIREMENTS</b>	REQUIRED	PROVIDED
BAR/NIGHTCLUB:		
MIN: 1/80 SFGFA	18 MIN.	18
MAX: 1/65 SFGFA		
MAX: 1,500 SF/65 = 23		
HANDICAP PARKING: 1/25 SPACES	1	2
NOTE: THE 6 EXISTING PARKING SPOTS ARE TO BE REMOVED		
<b>LANDSCAPE REQUIREMENTS</b>	REQUIRED	PROVIDED
<b>STREET YARD*</b>		
PRIMARY STREET YARD (12.5' RB)	1,487 SF	1,487 SF
(OLEANDER DRIVE)	(119 LF X 12.5)	3
TREES: (1,487 SF/600)	3	18
SHRUBS: (1,487/600)*6	18	18
SECONDARY STREET YARD (6.25' RB)	1,287 SF	1,287 SF
(PARKWAY DRIVE)	(206 LF X 6.25)	2
TREES: (1,287 SF/600)	2	12
SHRUBS: (1,287 SF/600)*6	12	12
*NOTE: A 50% REDUCTION IN STREET YARD REQUIREMENTS IS REQUESTED DUE TO THE CONSTRAINTS ALONG OLEANDER DRIVE.		
<b>FOUNDATION PLANTINGS</b>	REQUIRED	PROVIDED
(86 LF*22")*12	227 SF	255 SF
<b>PARKING LOT SHADE REQUIREMENTS</b>	REQUIRED	PROVIDED
(9,456 SF)*.20 =	1,891 SF	2,121 SF = (7 TREES * 353.5 SF)

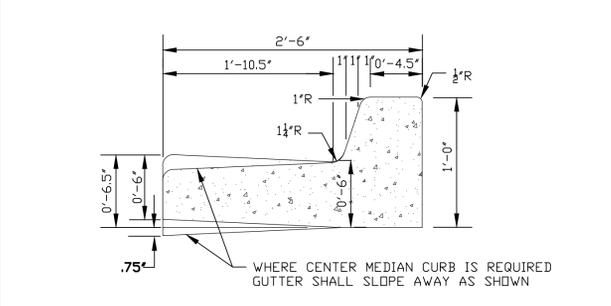
\*ALL PROVIDED BULK REQUIREMENTS SHOWN BASED ON EXISTING BUILDING TO

**SD- 15-10. STANDARD UNPAVED PARKING FACILITY, UNDER 25 STALLS**



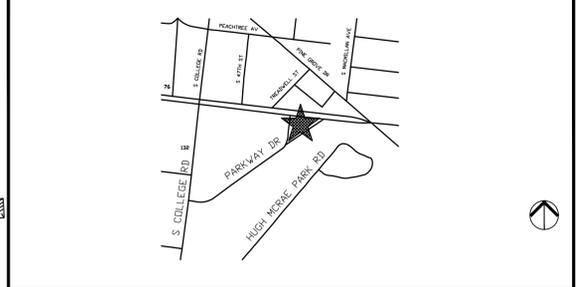
**TYPICAL UNPAVED PARKING FACILITY UNDER 25 STALLS**  
SD 15-10  
NOT TO SCALE

**SD-7-01. STANDARD CURB SECTION TYPE "A"**

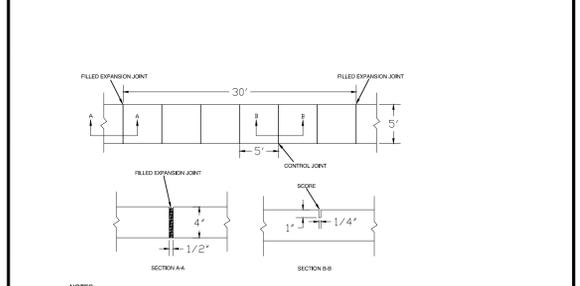


**STANDARD CURB SECTION TYPE "A"**  
SD 7-01  
NOT TO SCALE

**SITE MAP**

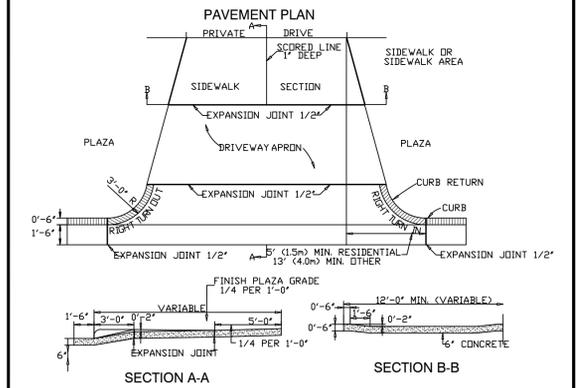


**SD 3-10. STANDARD SIDEWALK DETAIL**



- NOTES:**
1. JURY MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
  2. SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
  3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
  4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY)
  5. MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL
  6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS
  7. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
  8. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
  9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

**SD 8-02. STANDARD DRIVEWAY DETAIL**



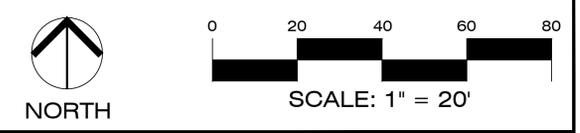
**SYMBOL LEGEND**

	STREET YARD		EXISTING WATER METER
	PROPOSED GRAVEL PARKING LOT: # 57 STONE		EXISTING OVERHEAD POWER LINES
	EXISTING ASPHALT TO BE REMOVED		EXISTING POWER POLES
	EXISTING ASPHALT TO REMAIN		EXISTING FENCE TO REMAIN
	EXISTING CONCRETE TO REMAIN		EXISTING WATER LINE
			EXISTING SEWER LINE

**Approved Construction Plan**

Name	Date
Planning	
Public Utilities	
Traffic	
Fire	

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services Engineering Division  
APPROVED DRAINAGE PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_



**MIHALY LAND DESIGN**  
PLANNING + LANDSCAPE ARCHITECTURE  
330 Military Cutoff Rd., Suite A3  
Wilmington, NC 28403 910.392.4355

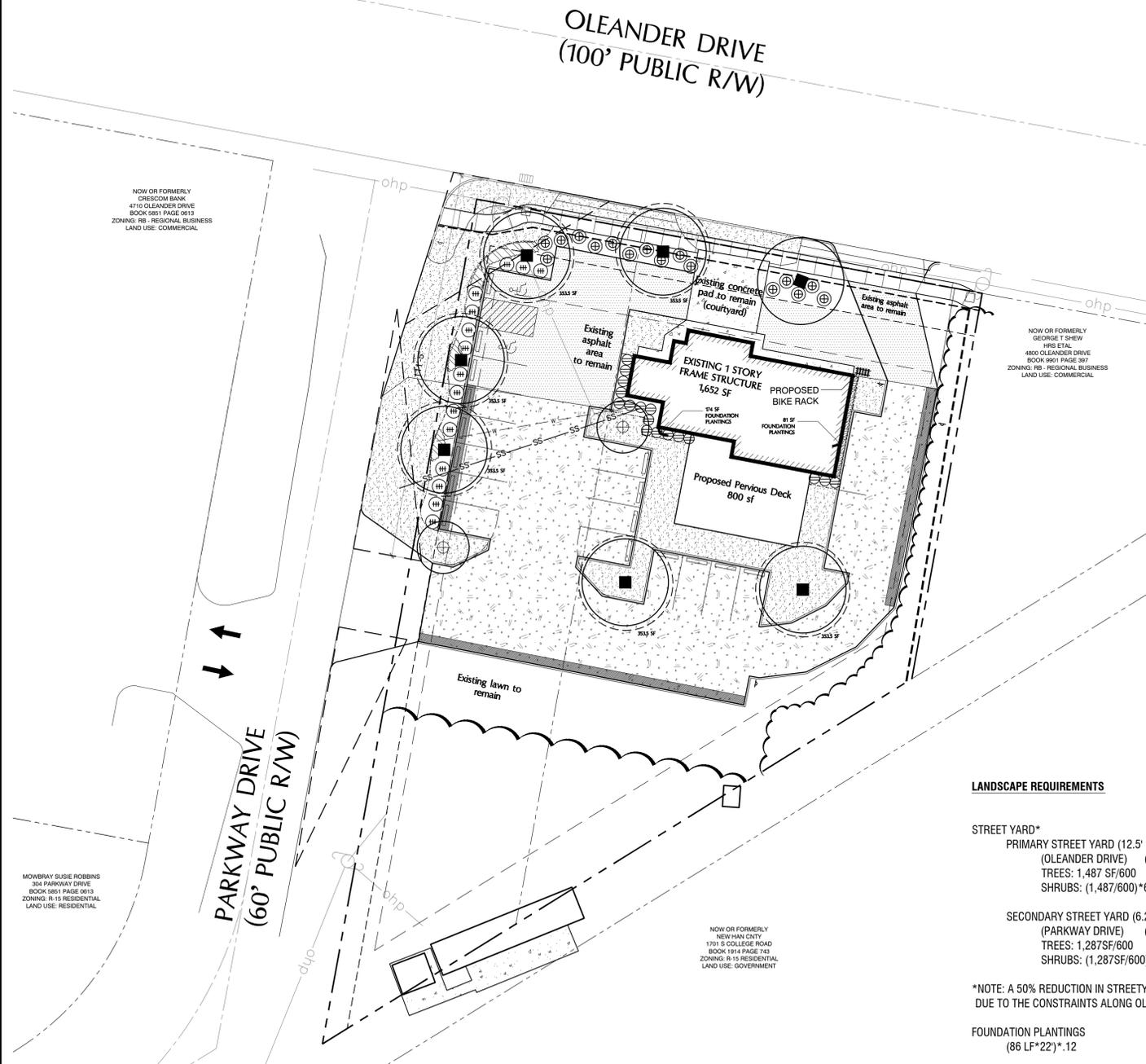


- Revisions**
1. 2-17-2015: REVISED PER CITY TRC COMMENTS
  2. 03-06-2015: REVISED PER CITY COMMENTS: SHIFTED PARKING SPOTS, ADDED BIKE RACK AND PARKING LOT TREES
  3. 03-09-2015: ADDED TREES IN LANDSCAPE ISLANDS

**CLIENT**  
**STEPHEN HENSON**  
4718 OLEANDER DRIVE  
WILMINGTON, NC 28403  
PHONE: (336) 847-8300

**PROJECT**  
**OLEANDER BEER AND WINE**  
4718 OLEANDER DRIVE  
WILMINGTON, NC 28403  
SITE PLAN

Date: 01/28/2015  
Phase: 000  
Job Number: 100-870  
Designed by: MLD  
Drawn by: ALM  
Checked by: JWM  
Sheet Title: SITE PLAN  
Sheet Number  
**L1.1**  
of 2 sheets



**LANDSCAPE REQUIREMENTS**

	REQUIRED	PROVIDED
<b>STREET YARD*</b>		
PRIMARY STREET YARD (12.5' RB) (OLEANDER DRIVE) (119 LF X 12.5)	1,487 SF	1,487 SF
TREES: 1,487 SF/600	3	3
SHRUBS: (1,487/600)*6	18	18
SECONDARY STREET YARD (6.25' RB) (PARKWAY DRIVE) (206 LF X 6.25)	1,287 SF	1,287 SF
TREES: 1,287 SF/600	2	2
SHRUBS: (1,287 SF/600)*6	12	12

\*NOTE: A 50% REDUCTION IN STREETYARD REQUIREMENTS IS REQUESTED DUE TO THE CONSTRAINTS ALONG OLEANDER DRIVE

	REQUIRED	PROVIDED
<b>FOUNDATION PLANTINGS</b> (86 LF*22")*12	227 SF	255 SF
<b>PARKING LOT SHADE REQUIREMENTS</b> (9,456 SF)*.20 =	1,891 SF	2,121 SF (7 TREES * 353.5 SF)

**GENERAL PLANTING NOTES**

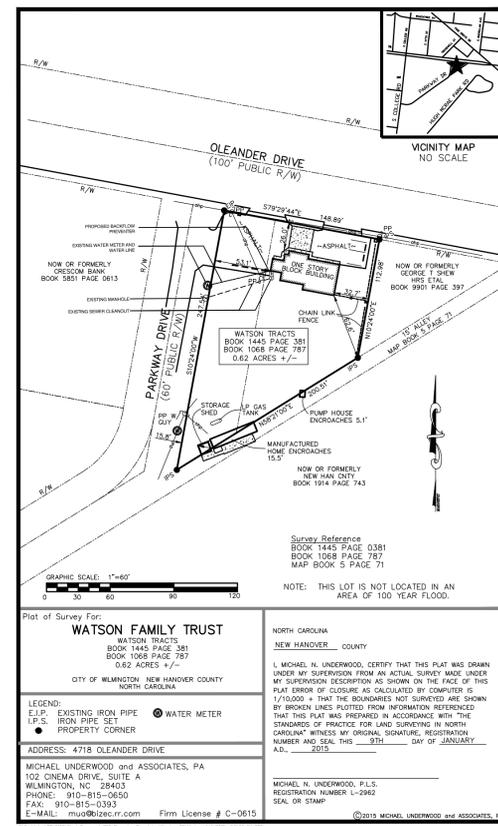
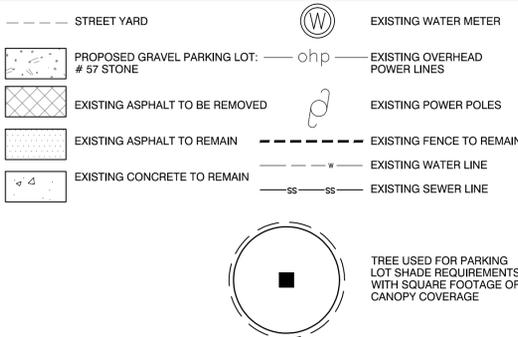
- THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, ETC., AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION.
- QUANTITIES SHOWN IN PLANT LISTS ARE FOR CONVENIENCE ONLY. PLANS SHALL GOVERN.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANT LOCATIONS OR INSUFFICIENT PLANT QUANTITIES DUE TO DIFFERENCES IN PLAN AND ACTUAL FIELD CONDITIONS.
- ALL TREE AND SHRUB MATERIAL SPECIFIED MUST MEET STANDARD INDUSTRY SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED. DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT WILL NOT BE ALLOWED.
- ALL LANDSCAPE AREAS SHALL BE GRADED TO A SMOOTH EVEN SURFACE PRIOR TO ANY PLANT INSTALLATION. ALL PLANT MATERIALS SHALL BE INSTALLED USING GOOD HORTICULTURAL PRACTICES IN ACCORDANCE WITH THE PLANS AND DETAILS.
- TREES SHALL NOT BE PLANTED CLOSER THAN FOUR (4) FEET FROM ANY WALKWAY OR PUBLIC SIDEWALK EXCEPT WHERE TREE WELLS OR PARKWAYS ARE PROVIDED IN THE SIDEWALK AREA. ALL TREE PLANTED WITHIN FIVE (5) FEET OF WALKS OR PUBLIC UTILITIES SHALL RECEIVE DEEP ROOT BARRIERS.
- TREE LOCATIONS SHOWN ON PLAN MAY REQUIRE ADJUSTMENT IN THE FIELD. WHENEVER FEASIBLE, TREES SHOULD BE PLANTED A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES, STREETLIGHTS, HYDRANTS, AND OUT OF DRAINAGE FLOW LINES. SHOULD THIS NOT BE POSSIBLE, CONTACT THE LANDSCAPE ARCHITECT FOR DECISION ON PLACEMENT.
- ALL TREES IN TURF AREAS SHALL HAVE 12" MIN. CLR. CIRCUMFERENCE AROUND THE TRUNK BASE. PROVIDE 2" MIN. THK. MULCH AT BASE OF TRUNK.
- GROUND COVER TYPE SHOWN SHALL BE PLANTED IN ALL SHRUB AREAS AS SPECIFIED ON PLANS. GROUND COVER SHALL BE PLANTED AT 8" ON-CENTER UNIFORM TRIANGULAR SPACING, AND SHALL BE CONTINUOUS UNDER ALL TREE AND SHRUB MASSES AS SHOWN ON PLAN.
- MATURE PLANTINGS SHALL NOT INTERFERE WITH UTILITIES AND TRAFFIC SIGHT LINES.
- ALL AREAS PLANTED WITH GROUND COVER SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH. ALL REMAINING AREAS SHALL BE MULCHED WITH PINE STRAW.



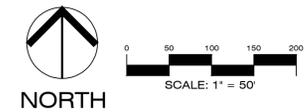
**PLANT SCHEDULE**

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	RANGE	QTY
LAG MUL		Lagerstroemia x 'Muskegee' / Lavender Crape Myrtle Multi-Trunk	B & B	3" CAL	8-10' HT	2
OV		Quercus virginiana / Southern Live Oak	B & B	3" CAL	10-12' HT	7
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	RANGE	QTY	
CLE JAP		Cleyera japonica / Sakaki	7 gal	36" HT MIN.	15	
MIS SIZ		Miscanthus s. 'Adagio' / Adagio Eulalia Grass	3 gal	18-24" HT	17	
PIT T.		Pittosporum l. 'Variegata' / Variegated Mock Orange	3 gal	18-24" HT	16	
GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	RANGE	SPACING	QTY
LG		Liriope gigantea / Giant Liriope	1 GAL	12-18" HT	24" o.c.	11
LM		Liriope muscari / Lily Turf	1 gal	12-15" HT	18" o.c.	56

**SYMBOL LEGEND**

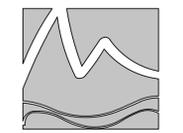


SURVEY SHOWN HERE PROVIDED BY MICHAEL UNDERWOOD AND ASSOCIATES, PA DATED JANUARY 9, 2015.



**Approved Construction Plan**

Name	Date
Planning	
Public Utilities	
Traffic	
Fire	



**MIHALY LAND DESIGN**  
 PLANNING + LANDSCAPE ARCHITECTURE  
 330 Military Cutoff Rd., Suite A3  
 Wilmington, NC 28403 910.392.4355



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Date: 01/28/2015  
 Phase: 000  
 Job Number: 100-870  
 Designed by: MLD  
 Drawn by: ALM  
 Checked by: JWM  
 Sheet Title: LANDSCAPE PLAN & EXISTING CONDITIONS SURVEY

Sheet Number  
**L1.2**  
 of 2 sheets