

SITE DATA

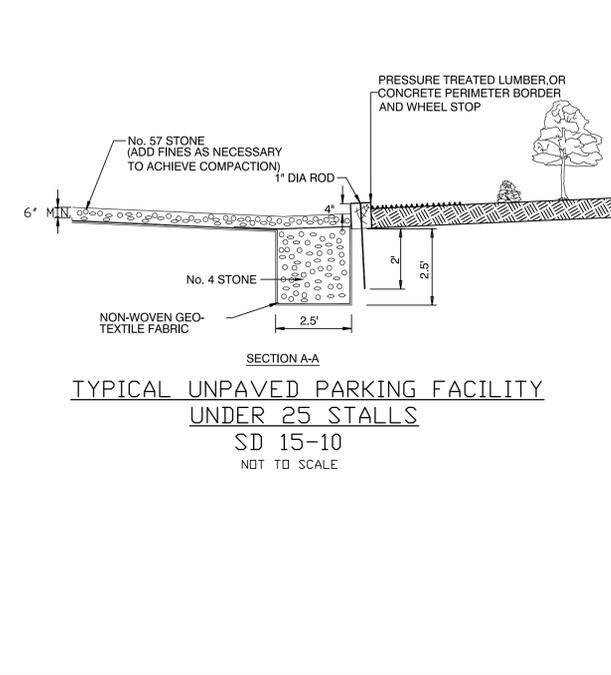
- SITE BOUNDARY, STRUCTURES, TREES, ADJACENT PROPERTY LINES, EXISTING STREETS AND UTILITY INFORMATION TAKEN FROM SURVEY PROVIDED BY MICHAEL UNDERWOOD AND ASSOCIATES, PA DATED JANUARY 9, 2015.
- ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO MEAN SEA LEVEL, NAVD 1988.
- ALL DISTANCES ARE GROUND HORIZONTAL.
- THIS LOT IS SUBJECT TO ALL UTILITY EASEMENTS, RESTRICTIONS OR COVENANTS OF RECORD.
- SEWER AND WATER SERVICES FOR THIS LOT ARE IN PLACE AND PROVIDED BY THE CAPE FEAR PUBLIC UTILITY AUTHORITY.
- PARCEL INFORMATION FROM NEW HANOVER COUNTY ONLINE TAX RECORD SEARCH.
- ALL PROTECTED TREES WILL BE PRESERVED OR MITIGATED.
- SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE.
- SITE IS NOT LOCATED WITHIN A CONSERVATION OVERLAY DISTRICT.
- GARBAGE TO BE STORED IN ROLL-OUT CONTAINER(S) WITHIN BUILDING.
- ALL SIGNS WILL BE LOCATED AND APPROVED BY THE CITY OF WILMINGTON PLANNING DEPARTMENT.
- TWO EXISTING DRIVEWAYS ARE TO BE CLOSED.
- HEATING/AIR EQUIPMENT WILL BE LOCATED WITHIN THE BUILDING FOOTPRINT.
- CONTRACTOR SHALL MAINTAIN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- WATER AND SEWER SERVICE SHALL MEET CFPWA DETAILS AND SPECIFICATIONS. LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS AND METHODS.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING AND GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.
- REGULATED AND SIGNIFICANT TREES IN THE STREET YARD AND ANY TREES IN ANY REQUIRED BUFFERS ARE TO BE RETAINED.
- NO EXISTING EASEMENTS PERTAIN TO THE SITE.
- ALL SIGNS WILL BE LOCATED AND APPROVED BY THE CITY OF WILMINGTON PLANNING DEPARTMENT.
- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10" (SEC. 18-566).
- ALL FEDERAL, STATE AND LOCAL PERMITS AREA REQUIRED PRIOR TO FULL CONSTRUCTION RELEASE. THIS INCLUDES, BUT IS NOT LIMITED TO: STATE STORM WATER, STATE UTILITY EXTENSION PERMITS, WETLAND DISTURBANCE PERMITS, CITY STORM WATER, TREE PROTECTION PERMITS, ETC.
- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH A CLEAR VISUAL SIGHT LINES FROM 30'-10" (SEC. 18-566).
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS (DETAIL SD-13 COWF TECH STDS).
- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS (DETAIL SD 15-13 COWF TECH STDS).
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- NO ADDITIONAL EXISTING OR PROPOSED EASEMENTS OR PUBLIC RIGHTS-OF-WAY ARE IDENTIFIED.
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- TRASH WILL BE CONTAINED IN ROLL OUT CONTAINERS
- NO TREES WILL BE REMOVED AS A RESULT OF CONSTRUCTION

GENERAL NOTES

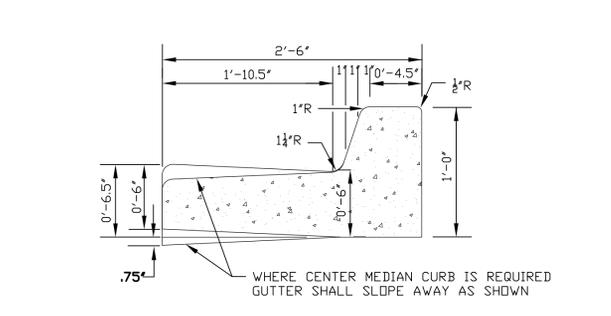
ADDRESS:	4718 OLEANDER DRIVE
PARCEL ID:	R06107-010-009-000
CURRENT OWNER:	Mckoy Marilyn Watson
TOTAL PROJECT AREA	.62 AC. 27,007 sf
EXISTING ZONING	Regional Business (RB)
CAMA LAND CLASSIFICATION	URBAN
EXISTING USE	RETAIL
PROPOSED USE	BAR/NIGHTCLUB
NUMBER OF BUILDINGS	1
RETAIL SPACE	1,652 SF (EXISTING)
EXISTING IMPERVIOUS AREA	
BUILDING PAVING	1,652 SF
TOTAL	6,165 SF
EXISTING IMPERVIOUS TO REMAIN	
BUILDING PAVING	1,652 SF
TOTAL	3,288 SF
PROPOSED NEW IMPERVIOUS AREA	
GRAVEL PARKING	6,946 SF
WATER/SEWER USAGE	
SEWER	(210 GAL./DAY)
WATER	(210 GAL./DAY)
BULK REQUIREMENTS	PROVIDED*
MIN. LOT AREA	1 ACRE
ACRE	27,007 SF, .62
MIN. LOT WIDTH	100'
MIN. FRONT SETBACK	25'
MIN. SIDE SETBACK	10'
MIN. CORNER SIDE SETBACK	53.1'
MIN. INTERIOR SIDE SETBACK	0'
MIN. REAR SETBACK	15'
MAX. BUILDING HEIGHT	35'
MAX. LOT COVERAGE (BUILDINGS)	40%
PROPOSED	(210 GAL./DAY)
	(210 GAL./DAY)
	PROVIDED*
	27,007 SF, .62
	100'
	25'
	10'
	53.1'
	0'
	15'
	35'
	40%

*ALL PROVIDED BULK REQUIREMENTS SHOWN BASED ON EXISTING BUILDING TO

SD- 15-10. STANDARD UNPAVED PARKING FACILITY, UNDER 25 STALLS

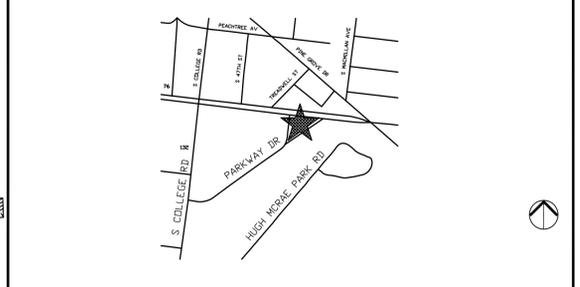


SD-7-01. STANDARD CURB SECTION TYPE "A"

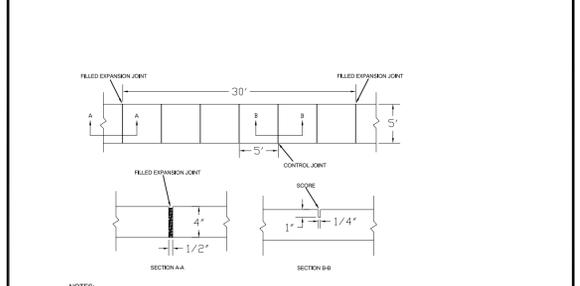


SD 7-01 NOT TO SCALE

SITE MAP

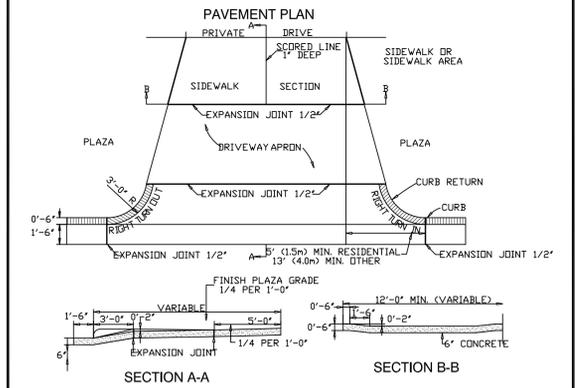


SD 3-10. STANDARD SIDEWALK DETAIL



- NOTES:**
- JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
 - SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
 - MINIMUM SIDEWALK WIDTH TO BE 4' MINIMUM IF PLACED AT BACK OF CURB.
 - CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY)
 - MINIMUM REPLACEMENT FOR REPAIRS IS A 9' X 9' PANEL.
 - 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS
 - MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
 - MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
 - MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%. 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

SD 8-02. STANDARD DRIVEWAY DETAIL



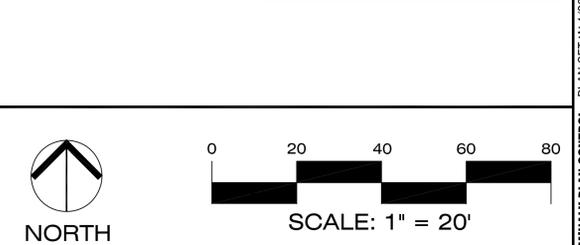
SYMBOL LEGEND

--- STREET YARD	(W) EXISTING WATER METER
(#57) PROPOSED GRAVEL PARKING LOT: # 57 STONE	(ohp) EXISTING OVERHEAD POWER LINES
(X) EXISTING ASPHALT TO BE REMOVED	(d) EXISTING POWER POLES
(.) EXISTING ASPHALT TO REMAIN	--- EXISTING FENCE TO REMAIN
(-/-) EXISTING CONCRETE TO REMAIN	--- EXISTING WATER LINE
	--- EXISTING SEWER LINE

Approved Construction Plan

Name	Date
Planning	
Public Utilities	
Traffic	
Fire	

City of Wilmington, North Carolina
Public Services Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____



MIHALY LAND DESIGN
PLANNING + LANDSCAPE ARCHITECTURE
330 Military Cutoff Rd., Suite A3
Wilmington, NC 28403 910.392.4355

Revisions

- 2-17-2015 REVISED PER CITY TRC COMMENTS

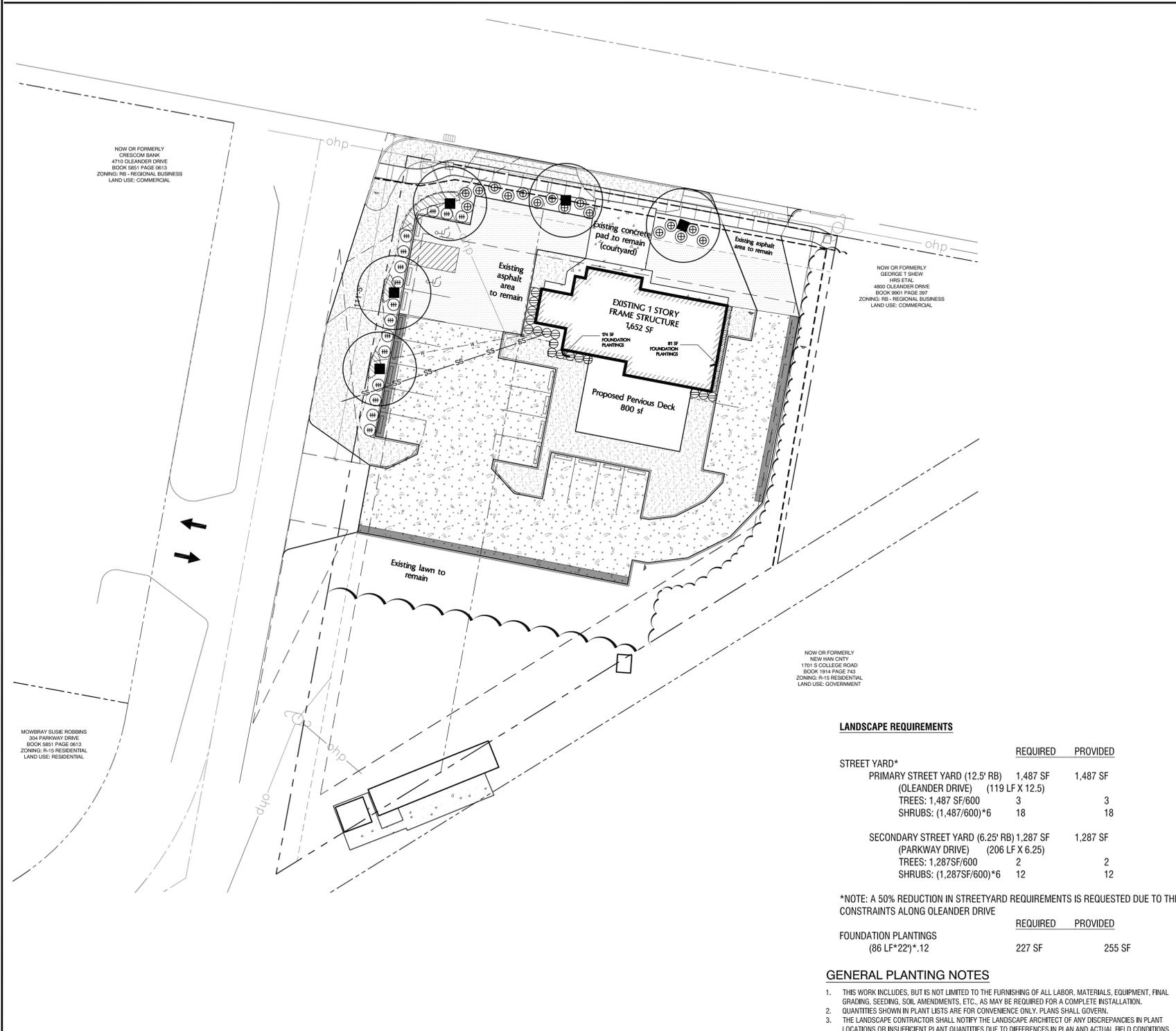
CLIENT
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4718 OLEANDER DRIVE
WILMINGTON, NC 28403
PHONE: (336) 847-8300

PROJECT
4718 OLEANDER DRIVE
WILMINGTON, NC 28403
SITE PLAN

Date: 01/28/2015
Phase: 000
Job Number: 100-870
Designed by: MLD
Drawn by: ALM
Checked by: JWM
Sheet Title: SITE PLAN
Sheet Number: L1.1
of 2 sheets

MIHALY PLAN CONTROL - PLAN SET "A" 1/28/2015

LANDSCAPE PLAN

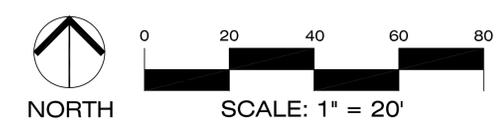


LANDSCAPE REQUIREMENTS

	REQUIRED	PROVIDED
STREET YARD*		
PRIMARY STREET YARD (12.5' RB) (OLEANDER DRIVE) (119 LF X 12.5)	1,487 SF	1,487 SF
TREES: 1,487 SF/600	3	3
SHRUBS: (1,487/600)*6	18	18
SECONDARY STREET YARD (6.25' RB) (PARKWAY DRIVE) (206 LF X 6.25)	1,287 SF	1,287 SF
TREES: 1,287 SF/600	2	2
SHRUBS: (1,287 SF/600)*6	12	12
FOUNDATION PLANTINGS (86 LF*22")*12	227 SF	255 SF

*NOTE: A 50% REDUCTION IN STREETYARD REQUIREMENTS IS REQUESTED DUE TO THE CONSTRAINTS ALONG OLEANDER DRIVE

- GENERAL PLANTING NOTES**
- THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, ETC., AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION.
 - QUANTITIES SHOWN IN PLANT LISTS ARE FOR CONVENIENCE ONLY. PLANS SHALL GOVERN.
 - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANT LOCATIONS OR INSUFFICIENT PLANT QUANTITIES DUE TO DIFFERENCES IN PLAN AND ACTUAL FIELD CONDITIONS.
 - ALL TREE AND SHRUB MATERIAL SPECIFIED MUST MEET STANDARD INDUSTRY SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED. DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT WILL NOT BE ALLOWED.
 - ALL LANDSCAPE AREAS SHALL BE GRADED TO A SMOOTH EVEN SURFACE PRIOR TO ANY PLANT INSTALLATION. ALL PLANT MATERIALS SHALL BE INSTALLED USING GOOD HORTICULTURAL PRACTICES IN ACCORDANCE WITH THE PLANS AND DETAILS.
 - TREES SHALL NOT BE PLANTED CLOSER THAN FOUR (4) FEET FROM ANY WALKWAY OR PUBLIC SIDEWALK EXCEPT WHERE TREE WELLS OR PARKWAYS ARE PROVIDED IN THE SIDEWALK AREA. ALL TREE PLANTED WITHIN FIVE (5) FEET OF WALKS OR PUBLIC UTILITIES SHALL RECEIVE DEEP ROOT BARRIERS.
 - TREE LOCATIONS SHOWN ON PLAN MAY REQUIRE ADJUSTMENT IN THE FIELD, WHENEVER FEASIBLE. TREES SHOULD BE PLANTED A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES, STREETLIGHTS, HYDRANTS, AND OUT OF DRAINAGE FLOW LINES. SHOULD THIS NOT BE POSSIBLE, CONTACT THE LANDSCAPE ARCHITECT FOR DECISION ON PLACEMENT.
 - ALL TREES IN TURF AREAS SHALL HAVE 12" MIN. CLR. CIRCUMFERENCE AROUND THE TRUNK BASE. PROVIDE 2" MIN. THK. MULCH AT BASE OF TRUNK.
 - GROUNDCOVER TYPE SHOWN SHALL BE PLANTED IN ALL SHRUB AREAS AS SPECIFIED ON PLANS. GROUNDCOVER SHALL BE PLANTED AT 8" ON-CENTER UNIFORM TRIANGULAR SPACING, AND SHALL BE CONTINUOUS UNDER ALL TREE AND SHRUB MASSES AS SHOWN ON PLAN.
 - MATURE PLANTINGS SHALL NOT INTERFERE WITH UTILITIES AND TRAFFIC SIGHT LINES.
 - REFER TO PLANTING DETAILS SHEET LXX FOR ADDITIONAL INFORMATION.
 - ALL AREAS PLANTED WITH GROUNDCOVER SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH. ALL REMAINING AREAS SHALL BE MULCHED WITH PINESTRAW.



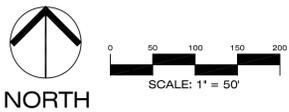
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	ss-ss EXISTING SEWER LINE

PLANT SCHEDULE

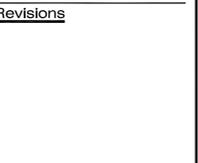
TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	RANGE	QTY
	OV	Quercus virginiana / Southern Live Oak	B & B	3" CAL	10-12' HT	5
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	RANGE	QTY	
	CLE JAP	Cleyera japonica / Sakaki	7 gal	36" HT MIN.	15	
	MIS S12	Miscanthus s. 'Adagio' / Adagio Eulalia Grass	3 gal	18-24" HT	17	
	PIT T.	Pittosporum t. 'Variegata' / Variegated Mock Orange	3 gal	18-24" HT	16	
GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	RANGE	SPACING	QTY
	LG	Liriope gigantea / Giant Liriope	1 GAL	12-18" HT	24" o.c.	11
	LM	Liriope muscari / Lily Turf	1 gal	12-15" HT	18" o.c.	56

EXISTING CONDITIONS SURVEY



Approved Construction Plan

Name	Date
Planning	
Public Utilities	
Traffic	
Fire	



CLIENT
STEPHEN HENSON
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PROJECT
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Date: 01/28/2015
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 Sheet Title: LANDSCAPE PLAN & EXISTING CONDITIONS SURVEY

Sheet Number
L1.2
 of 2 sheets