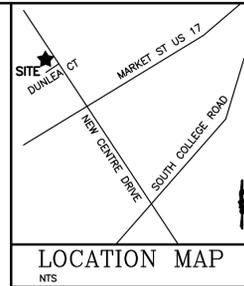


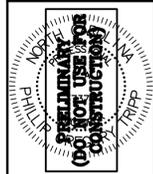
- SITE INVENTORY NOTES:**
- PREPARER OF THE PLAN: TRIPP ENGINEERING, P.C.
 - APPLICANT NAME: WINSTON SALEM DG, LLC
 - SITE ADDRESS OF THE DEVELOPMENT: 101 DUNLEA COURT
 - PROPERTY OWNER: WINSTON SALEM DG, LLC
 - DEVELOPER: WINSTON SALEM DG, LLC
 - PROPERTY BOUNDARY: SEE PLAN
TAX PARCEL INFORMATION: R04911-001-018-000
 - PROPERTY ZONING: RB-REGIONAL BUSINESS DISTRICT
 - ADJACENT PROPERTY OWNER INFORMATION: SEE PLAN
 - VICINITY MAP: SEE PLAN
 - TOPOGRAPHY: SEE PLAN
 - 100-YEAR FLOOD BOUNDARY: N/A
 - EXISTING DITCHES, CREEKS AND STREAMS: SEE PLAN
 - SOIL: SEAGATE
 - CAMA AEC: N/A
 - CAMA LAND CLASSIFICATION: URBAN
 - CONSERVATION RESOURCES: NONE
ASSOCIATED SETBACKS: N/A
 - HISTORIC OR ARCHAEOLOGICAL SITE: N/A
 - CEMETERIES, BURIAL SITES/GROUNDS: N/A
 - FORESTED AREAS, HABITAT AND DOMINANT SPECIES: N/A
 - WETLANDS: NONE
 - PROTECTED SPECIES OR HABITAT: N/A
 - EXISTING OR PROPOED THOROUGHFARES, BIKE ROUTES, PEDESTRIAN SIDEWALKS OR TRAILS AND TRANSIT FACILITIES: SEE SITE PLAN.



REVISIONS		
No/Date	Description	By

EXISTING CONDITIONS, SITE INVENTORY AND DEMOLITION PLAN
NEW CENTRE LOT 3R
 WILMINGTON, NORTH CAROLINA

TRIPP ENGINEERING, P.C.
 419 Chestnut Street
 Wilmington, North Carolina 28401
 Phone 910-763-5100
 Fax 910-763-5631
© 2014 TRIPP ENGINEERING, P.C. LICENSE NO. CE-1247



DATE 09-09-14
 DESIGN PGT
 DRAWN EJW

C1

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

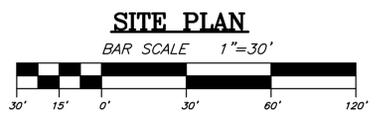
DRAINAGE PLAN APPROVED
CITY OF WILMINGTON

STORMWATER DISCHARGE PERMIT NOT REQUIRED

SIGNATURE _____ DATE _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

- LEGEND**
- PROPERTY BOUNDARY
 - EXISTING CONTOUR
 - EXISTING TREE
 - CURBING TO BE REMOVED
 - DEMO



REVISIONS		
No./Date	Description	By



LOCATION MAP
NTS

SITE DATA:
 PROPERTY OWNER: WINSTON SALEM DG, LLC
 PROJECT ADDRESS: 101 DUNLEA COURT
 PIN NUMBER: R04911-001-018-000

AREA NOT IN A FEMA 100-YEAR FLOOD ZONE:
 ZONING DISTRICT: RB-REGIONAL BUSINESS
 DISTURBED AREA: 1.86 Ac.

SETBACKS REQUIRED: FRONT: 25', REAR: 15', SIDE: 0', CORNER: 25'

PROPOSED BUILDING SETBACKS: FRONT: 136', REAR: 62', SIDE (SOUTH): 69' / (NORTH): 89'

TRACT AREA: 103,332 SF (2.37± AC)
 BUILDING USE: RESTAURANT/RETAIL

EXISTING BUILDING AREA (GROSS): 0 SF
 BUILDING LOT COVERAGE (15,472/103,332): 14.9%
 NUMBER OF BUILDINGS: 8
 NUMBER OF UNITS: 25
 BUILDING HEIGHT: 1
 NUMBER OF STORIES: 1
 SF PER FLOOR (GROSS): 15,472 SF

EXISTING IMPERVIOUS AREAS:
 EXISTING ASPHALT + CURB: 1,571 SF
 EXISTING CONCRETE (SIDEWALK/DRIVEWAY): 0 SF
 EXISTING IMPERVIOUS AREA: 1,571 SF (1.5%)

PROPOSED IMPERVIOUS AREAS:
 PROPOSED BUILDING FOOTPRINT: 15,472 SF
 PROPOSED ASPHALT + CURB: 45,290 SF
 PROPOSED CONCRETE (SIDEWALK/DUMPSTER): 4,200 SF
 PROPOSED IMPERVIOUS AREA: 64,962 SF (62.8%)
 EXISTING CURB (TO REMAIN): 250 SF
 PROPOSED+EXISTING IMPERVIOUS AREA: 65,212 SF (63.1%)

PARKING REQUIRED:
 RESTAURANT (EXCLUDES KITCHEN & RESTROOMS)
 1 SPACE PER 80 SF MIN.
 1 SPACE PER 65 SF MAX.
 4000/80=50 MIN. 4000/65=62 MAX. 50-62 SPACES

RETAIL
 1 SPACE PER 400 GROSS SF MIN.
 1 SPACE PER 200 GROSS SF MAX.
 9072/400=23 MIN. 9072/200=46 MAX. 23-46 SPACES

TOTAL PARKING REQUIRED: 73-108
 PARKING PROPOSED: 92

CAMA LAND USE: URBAN

PUBLIC WATER AND SEWER BY CFPWA
 EXISTING WATER FLOW: 0 GPD
 EXISTING SEWER FLOW: 0 GPD
 PROPOSED WATER FLOW: (120 GPD/1,000 SF x 15,472 x 110%) 2,043 GPD
 PROPOSED SEWER FLOW: (120 GPD/1,000 SF x 15,472 SF) 1,857 GPD

HANDICAP SPOTS REQUIRED
 92 SPOTS/25=3.68 4 HANDICAP SPOTS

BICYCLE PARKING REQUIRED (92 SPACES) 10 BICYCLE PARKS
 BICYCLE PARKING PROPOSED 10 BICYCLE PARKS

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

DRAINAGE PLAN APPROVED
 CITY OF WILMINGTON
 STORMWATER DISCHARGE PERMIT NOT REQUIRED

SIGNATURE _____ DATE _____

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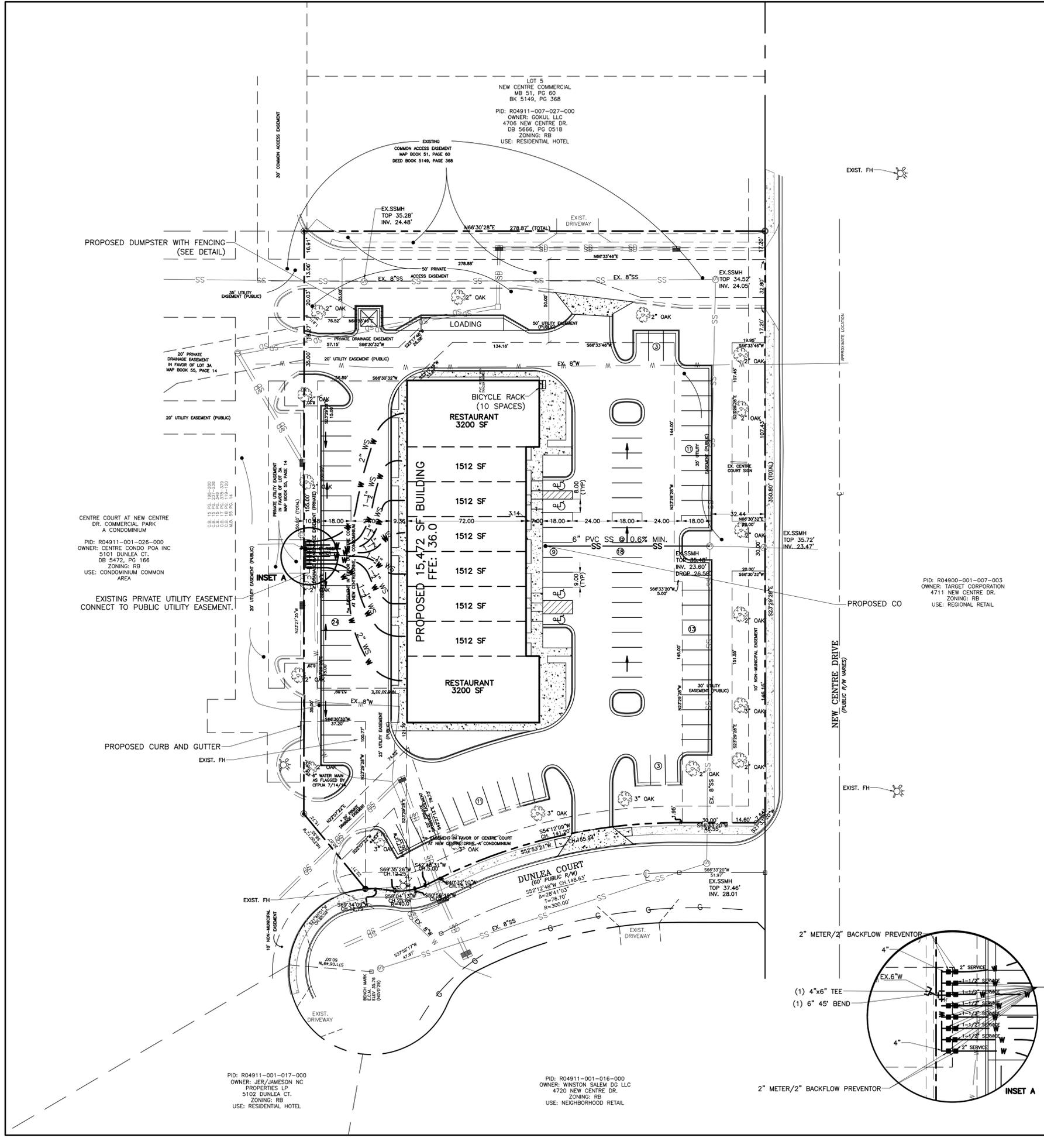
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 - 1512 SF
 - RESTAURANT 3200 SF
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LOT 5
 NEW CENTRE COMMERCIAL
 MB 51, PG 60
 BK 5149, PG 368

PID: R04911-007-027-000
 OWNER: GOKUL LLC
 4706 NEW CENTRE DR.
 DB 5666, PG 0518
 ZONING: RB
 USE: RESIDENTIAL HOTEL

EXISTING COMMON ACCESS EASEMENT
 MAP BOOK 51, PAGE 60
 DEED BOOK 5149, PAGE 368

EXIST. SSMH
 TOP 35.28'
 INV. 24.48'

EXIST. DRIVEWAY

EXIST. 8" SS

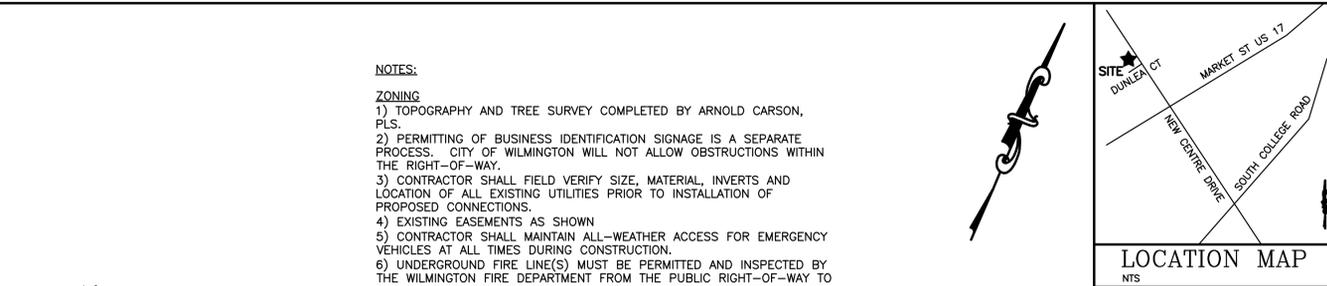
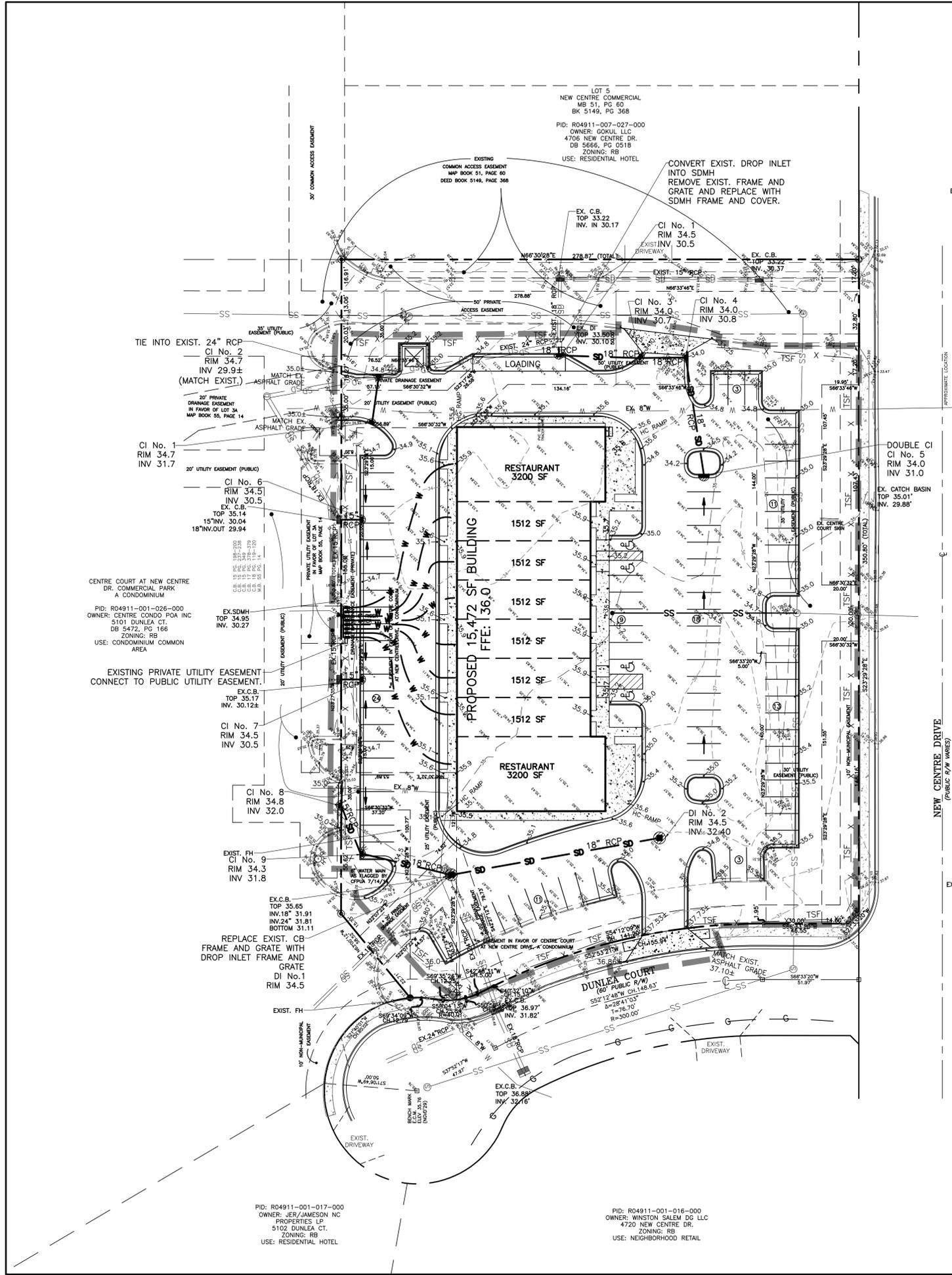
TRIPP ENGINEERING, P.C.
 419 Chestnut Street
 Wilmington, North Carolina 28401
 Phone 910-763-5100
 Fax 910-763-5631
 © 2014 TRIPP ENGINEERING, P.C.

NEW CENTRE LOT 3R
 WILMINGTON, NORTH CAROLINA

DATE 09-09-14
 DESIGN PGT
 DRAWN EJW

C2

SHEET 2 OF 4
 14013



REVISIONS		
No./Date	Description	By

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ZONING DISTRICT RB-REGIONAL BUSINESS

DISTURBED AREA 1.86 Ac.

SETBACKS REQUIRED

FRONT:	25'
REAR:	15'
SIDE:	0'
CORNER:	25'

PROPOSED BUILDING SETBACKS

FRONT:	136'
REAR:	62'
SIDE (SOUTH):	69'
(NORTH):	89'

TRACT AREA 103,332 SF (2.37± AC)
BUILDING USE RESTAURANT/RETAIL

EXISTING BUILDING AREA	0 SF
PROPOSED BUILDING AREA (GROSS)	15,472 SF
BUILDING LOT COVERAGE (15,472/103,332)	14.9%
NUMBER OF BUILDINGS	1
NUMBER OF UNITS	8
BUILDING HEIGHT	25'
NUMBER OF STORIES	1
SF PER FLOOR (GROSS)	15,472 SF

EXISTING IMPERVIOUS AREAS:

EXISTING ASPHALT + CURB	1,571 SF
EXISTING CONCRETE (SIDEWALK/DRIVEWAY)	0 SF
EXISTING IMPERVIOUS AREA	1,571 SF (1.5%)

PROPOSED IMPERVIOUS AREAS:

PROPOSED BUILDING FOOTPRINT	15,472 SF
PROPOSED ASPHALT + CURB	45,290 SF
PROPOSED CONCRETE (SIDEWALK/DUMPSTER)	4,200 SF
PROPOSED IMPERVIOUS AREA	64,962 SF (62.8%)
EXISTING CURB (TO REMAIN)	250 SF
PROPOSED+EXISTING IMPERVIOUS AREA	65,212 SF (63.1%)

PARKING REQUIRED:

RESTAURANT (EXCLUDES KITCHEN & RESTROOMS)	1
1 SPACE PER 80 SF MIN.	50-62 SPACES
1 SPACE PER 65 SF MAX.	50-62 SPACES
4000/80=50 MIN. 4000/65=62 MAX.	50-62 SPACES
RETAIL	1
1 SPACE PER 400 GROSS SF MIN.	23-46 SPACES
1 SPACE PER 200 GROSS SF MAX.	23-46 SPACES
9072/400=23 MIN. 9072/200=46 MAX.	23-46 SPACES

TOTAL PARKING REQUIRED: 73-108
PARKING PROPOSED: 92

CAMA LAND USE: URBAN

PUBLIC WATER AND SEWER BY CFPUA

EXISTING WATER FLOW:	0 GPD
EXISTING SEWER FLOW:	0 GPD
PROPOSED WATER FLOW:	2,043 GPD
(120 GPD/1,000 SF x 15,472 x 110%)	
PROPOSED SEWER FLOW:	1,857 GPD
(120 GPD/1000 SF x 15,472 SF)	

HANDICAP SPOTS REQUIRED

1-25 SPOTS=1 HANDICAP SPOT	PROPOSED
92 SPOTS/25=3.68	4 HANDICAP SPOTS

BICYCLE PARKING REQUIRED (92 SPACES) 10 BICYCLE PARKS
BICYCLE PARKING PROPOSED 10 BICYCLE PARKS

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

DRAINAGE PLAN APPROVED
CITY OF WILMINGTON

STORMWATER DISCHARGE PERMIT NOT REQUIRED

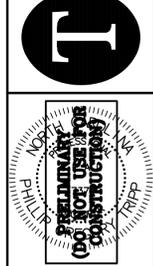
SIGNATURE _____ DATE _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

- LEGEND**
- EXISTING CONTOUR
 - SS PROPOSED SEWER
 - W PROPOSED WATER
 - SD PROPOSED STORM WATER
 - LIMITS OF DISTURBANCE
 - X TSF TEMPORARY SILT FENCE
 - 13.7 PROPOSED SPOT ELEVATION
 - EXISTING SPOT ELEVATION
- SITE PLAN**
BAR SCALE 1"=30'
-

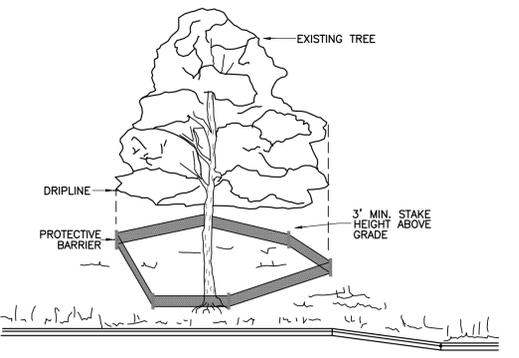
GRADING, DRAINAGE, EROSION CONTROL AND STORMWATER MANAGEMENT
NEW CENTRE LOT 3R
 WILMINGTON, NORTH CAROLINA

TRIPP ENGINEERING, P.C.
 419 Chestnut Street
 Wilmington, North Carolina 28401
 Phone 910-763-6100
 Fax 910-763-6631
 © 2014 TRIPP ENGINEERING, P.C.
 LICENSE NO. CE-1247



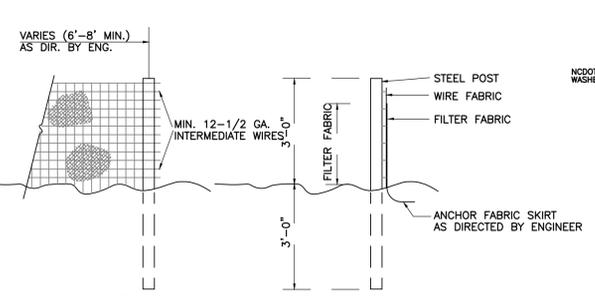
DATE 09-09-14
DESIGN PGT
DRAWN EJW

C3



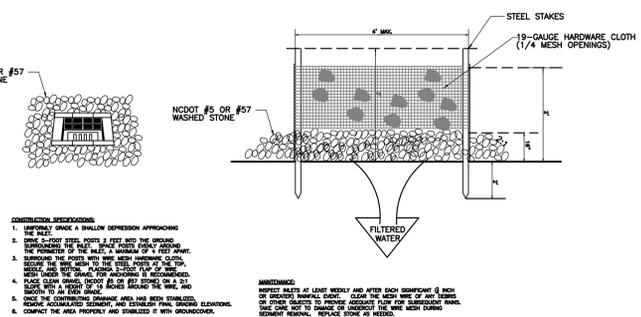
NOTES:
 TREES TO BE SAVED WILL BE CLEARLY MARKED PRIOR TO CONSTRUCTION AND A PROTECTIVE BARRIER IS TO BE INSTALLED AT THE DRIPLINE.
 DRIP LINE - THE AREA OF SOIL DIRECTLY BENEATH THE TREE EXTENDING OUT TO THE TIPS OF THE OUTERMOST BRANCHES.

METHOD OF TREE PROTECTION DURING CONSTRUCTION
 NOT TO SCALE



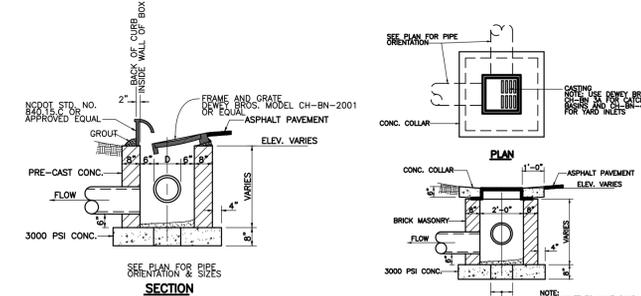
NOTES:
 1. FENCE FABRIC SHALL BE A MIN. OF 32" IN WIDTH AND SHALL HAVE A MIN. OF SIX LINE WIRES WITH 12" STAY SPACING.
 2. FABRIC SHALL BE FOR EROSION CONTROL AND MIN. OF 36" IN WIDTH. FABRIC SHALL BE FASTENED ADEQUATELY TO THE WIRE FABRIC AS DIRECTED BY THE ENGINEER.
 3. STEEL POST SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER STEEL ANGLE TYPE.

TEMPORARY SILT FENCE
 NTS

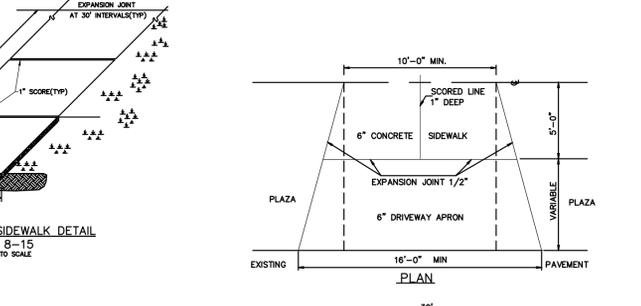


CONSTRUCTION SPECIFICATIONS:
 1. MAKE A SLOPE APPROXIMATING THE SLOPE OF THE CURB.
 2. MAKE SURE THE CURB IS AT LEAST 1 FOOT ABOVE THE FINISHED GRADE.
 3. MAKE SURE THE CURB IS AT LEAST 1 FOOT ABOVE THE FINISHED GRADE.
 4. MAKE SURE THE CURB IS AT LEAST 1 FOOT ABOVE THE FINISHED GRADE.
 5. MAKE SURE THE CURB IS AT LEAST 1 FOOT ABOVE THE FINISHED GRADE.
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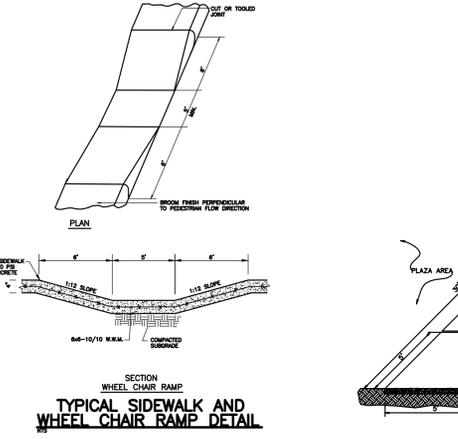
HARDWARE CLOTH AND GRAVEL INLET PROTECTION
 NTS



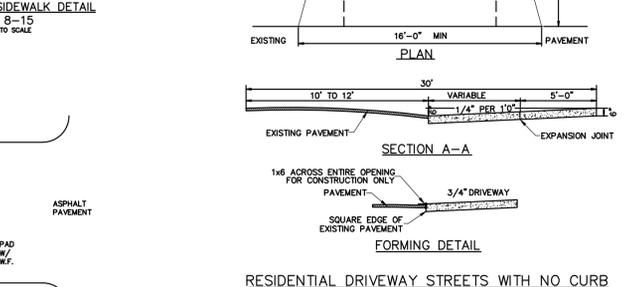
CURB INLET DETAIL
 NTS



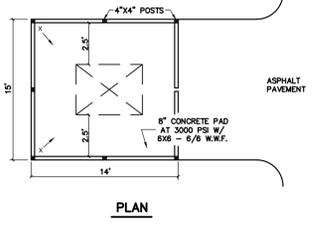
DROP INLET DETAIL
 NTS



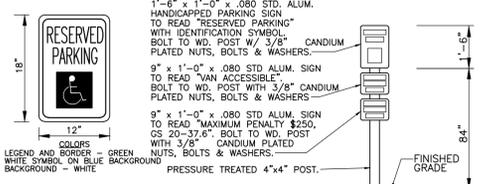
TYPICAL SIDEWALK AND WHEEL CHAIR RAMP DETAIL
 SD 8-15
 NOT TO SCALE



RESIDENTIAL DRIVEWAY STREETS WITH NO CURB
 SD 8-05
 NOT TO SCALE



DUMPSTER PAD & ENCLOSURE DETAIL
 NTS



LEGEND AND BORDER - GREEN
 WHITE SYMBOL ON BLUE BACKGROUND
 BACKGROUND - WHITE

TYPICAL HANDICAPPED SIGN DETAIL
 NTS

SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
PERIMETER DICES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW ZONES)	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE EXCEPT FOR PERIMETERS AND HOW ZONES

NPDES GROUND STABILIZATION CRITERIA
 NTS

SEEDING MIXTURE SPECIES	RATE (lb/acre)
PERNATA BHRABRIS	30
SEEDA LUPRIZIA	30
COMMON BHRABRIS GRASS	30
GERMAN MALET	30
TALL FESCUE	30

SEEDING MIXTURE SPECIES	RATE (lb/acre)
TALL FESCUE (BLENDED TWO OR THREE MIXTURES)	200
RYE (GRAIN)	25

SEEDING MIXTURE SPECIES	RATE (lb/acre)
RYE (GRAIN)	120
Annual lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains)	50
Omit annual lespedeza when duration of temporary cover is not to extend beyond June.	

SEEDING MIXTURE SPECIES	RATE (lb/acre)
RYE (GRAIN)	40
GERMAN MALET	40

SEEDING MIXTURE SPECIES	RATE (lb/acre)
RYE (GRAIN)	120
Annual lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains)	50
Omit annual lespedeza when duration of temporary cover is not to extend beyond June.	

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SEEDING MIXTURE SPECIES	RATE (lb/acre)
RYE (GRAIN)	120
Annual lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains)	50
Omit annual lespedeza when duration of temporary cover is not to extend beyond June.	

- SITE WORK NOTES**
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIARIZED WITH EXISTING CONDITIONS BOTH ON AND IMMEDIATELY ADJACENT TO THE SITE.
 - CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE DESIGNATED TO REMAIN.
 - GRUBBING AND STRIPPING: CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION.
 - MUCKING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.
 - DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
 - FILL AND COMPACT: CONTRACTOR SHALL COMPLY WITH GEOTECHNICAL REPORT.
 - THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT AND FILL QUANTITIES AND COMPLETE INSTALLATION TO SPECIFIED GRADES.
 - THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE PROPERLY PERMITTED FACILITY AS REQUIRED.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. BEFORE COMMENCING ANY EXCAVATIONS IN OR ALONG ROADWAYS OR RIGHT-OF-WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PERSONNEL OF THEIR INTENT TO EXCAVATE. IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO EXCAVATING.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE PERSONNEL.
 - EXISTING SURVEYING PERFORMED BY ARNOLD CARSON, PLS AND SUPPLIED BY THE OWNER.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE ENGINEER PRIOR TO INSTALLATION.
 - THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.
 - ALL PVC UTILITY MAINS SHALL BE INSTALLED WITH A MINIMUM OF 36" COVER AT FINAL GRADE.
 - ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO MEET ALL LOCAL AND STATE CODES. METERS, TAPS, MATERIALS, WORKMANSHIP AND ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS.
 - ALL PAVEMENT, BASE AND SUBGRADE SHALL CONFORM TO NCDOT STANDARDS INCLUDING WORKMANSHIP, MATERIALS AND EQUIPMENT. APPROPRIATE BARRICADES, SIGNS, LIGHTS OR OTHER TRAFFIC CONTROL DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH NCDOT TO MAINTAIN SAFETY AND TWO WAY TRAFFIC.
 - ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION. ALL AREAS SHALL BE SLOPED TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES.
 - CONCRETE STORM DRAINAGE PIPE SHALL BE CLASS III WITH RUBBER GASKETED JOINTS AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - USE WHITE LANE MARKING PAINT FOR ALL PAVEMENT MARKINGS. PAINT SHALL BE A CHLORINATED RUBBER ALKYL, FS IT-115, TYPE III, FACTORY MIXED, QUICK DRYING, NON BLEEDING. REFLECTIVE MATERIAL MAY BE ADDED AT OWNER'S OPTION FOR NIGHT REFLECTING.
 - DUCTILE IRON SHALL BE CLASS 50.
 - CONCRETE FOR WALKS, CURBS AND DRIVES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS - AIR ENTRAINED.
 - FIELD TESTING SHALL BE DONE BY AN INDEPENDENT TESTING LABORATORY PAID FOR BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID FOR BY THE CONTRACTOR.
 - SEE GEOTECHNICAL REPORT NO. _____ DATED _____ BY _____ FOR ADDITIONAL REQUIREMENTS.

- CONSTRUCTION SEQUENCE**
- NO CUT SLOPE OR FILL SLOPE SHALL EXCEED A RISE OR FALL OF ONE FOOT FOR EVERY RUN OF 3 FEET (1 VERTICAL TO 3 HORIZONTAL).
 - NO SEDIMENT WILL BE ALLOWED TO EXIT THE SITE. ALL EROSION SHALL BE CONTROLLED INCLUDING SIDE SLOPES DURING AND AFTER CONSTRUCTION.
 - INSTALL PRIMARY EROSION CONTROL MEASURES BEFORE BEGINNING CONSTRUCTION INCLUDING BUT NOT LIMITED TO GRAVELED CONSTRUCTION ENTRANCE, SILT FENCE, CHECK DAMS, ETC. INSTALL ALL SECONDARY EROSION CONTROL MEASURES AS SOON AS POSSIBLE AFTER BEGINNING CONSTRUCTION.
 - ALL EROSION CONTROL MEASURES TO BE INSPECTED AFTER EACH RAIN.
 - SILT FENCE AND INLET PROTECTION ARE TO BE CLEANED WHEN 0.5 FEET OF SEDIMENT HAVE ACCUMULATED IN FRONT OF THE DEVICE OR WHEN THEY LEAK OR FAIL. SEDIMENT TRAPS ARE CLEANED OUT AS STATED OR WHEN HALF FULL.
 - IF APPLICABLE, CONSTRUCT PROPOSED RETENTION POND TO ACT AS A SEDIMENT BASIN DURING CONSTRUCTION. REMOVE ACCUMULATION OF SILT AS REQUIRED TO ALLOW PROPER FUNCTIONING. RESTORE TO DESIGN LEVELS AT THE COMPLETION OF CONSTRUCTION.
 - IF APPLICABLE, INSTALL DROP INLETS WITH INLET PROTECTION TO ACT AS SILT TRAPS DURING CONSTRUCTION. REMOVE ACCUMULATED SILT AS NEEDED TO PREVENT SILT FROM ENTERING STORM DRAINAGE.
 - A 4" LAYER OF TOPSOIL SHALL BE APPLIED TO ALL NEW AREAS TO BE GRASSED.
 - MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PROJECT IS COMPLETE.
 - MORE STRINGENT MEASURES MAY BE REQUIRED TO HALT EROSION IF THOSE ON THIS LIST ARE NOT SUFFICIENT.
 - REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION. ALL PERMANENT MEASURES SHALL BE WELL ESTABLISHED PRIOR TO PROJECT COMPLETION.

- MAINTENANCE PLAN**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL.
 - ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED, WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
 - SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK AND GRAVEL INLET PROTECTION AND ROCK PIPE INLET PROTECTION. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
 - DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION DITCHES WILL ALSO BE REPAIRED. SWALES MUST BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
 - SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC. WITHOUT WIRE BACKING, STAKE SPACING WILL BE 8 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE IN THE SEDIMENT FENCE THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.
 - SEDIMENT WILL BE REMOVED FROM SEDIMENT TRAPS WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. THE ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
 - SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASIN WHEN THE DESIGN STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. THE ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
 - FLOCCULATES WILL BE USED TO ADDRESS TURBIDITY ISSUES. THE PUMPS, TANKS, HOSES AND INJECTION SYSTEMS WILL BE CHECKED FOR PROBLEMS OR TURBID DISCHARGES DAILY.

- SOIL AMENDMENTS**
- APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 3,000-5,000 lb/acre GROUND AGRICULTURE LIMESTONE AND 500 lb/acre 10-10-10 FERTILIZER.
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- MULCH**
- APPLY 4,000 lb/acre STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR BY COMPACTING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.
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- TEMPORARY FALL GRASSING DETAIL**
- SEEDING MIXTURE SPECIES**
- | SPECIES | RATE (lb/acre) |
|-------------|----------------|
| RYE (GRAIN) | 120 |
- SEEDING DATES**
- Mountains - Above 2500 ft. Feb. 15-May 15
 Piedmont - Jan. 1-May 1
 Coastal Plain - Dec. 1-Apr. 15
- SOIL AMENDMENTS**
- FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURE LIMESTONE AND 700 LB/ACRE 10-10-10 FERTILIZER.
- MULCH**
- APPLY 4,000 LB/ACRE STRAW ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR BY COMPACTING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.
- MAINTENANCE**
- Refrillize if growth is not fully adequate. Re-seed, refrillize and mulch immediately following erosion or other damage.

- TEMPORARY SUMMER GRASSING DETAIL**
- SEEDING MIXTURE SPECIES**
- | SPECIES | RATE (lb/acre) |
|-------------|----------------|
| RYE (GRAIN) | 120 |
- SEEDING DATES**
- Mountains - May 15-Aug. 15
 Piedmont - May 1-Aug. 15
 Coastal Plain - Apr. 15-Aug. 15
- SOIL AMENDMENTS**
- FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURE LIMESTONE AND 700 LB/ACRE 10-10-10 FERTILIZER.
- MULCH**
- APPLY 4,000 LB/ACRE STRAW ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR BY COMPACTING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.
- MAINTENANCE**
- Refrillize if growth is not fully adequate. Re-seed, refrillize and mulch immediately following erosion or other damage.

- TEMPORARY SPRING PERMANENT GRASSING DETAIL**
- SEEDING MIXTURE SPECIES**
- | SPECIES | RATE (lb/acre) |
|-------------|----------------|
| RYE (GRAIN) | 120 |
- SEEDING DATES**
- Mountains - Above 2500 ft. Feb. 15-May 15
 Piedmont - Jan. 1-May 1
 Coastal Plain - Dec. 1-Apr. 15
- SOIL AMENDMENTS**
- FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURE LIMESTONE AND 700 LB/ACRE 10-10-10 FERTILIZER.
- MULCH**
- APPLY 4,000 LB/ACRE STRAW ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR BY COMPACTING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.
- MAINTENANCE**
- Refrillize if growth is not fully adequate. Re-seed, refrillize and mulch immediately following erosion or other damage.

- TEMPORARY WINTER & EARLY SPRING PERMANENT GRASSING DETAIL**
- SEEDING MIXTURE SPECIES**
- | SPECIES | RATE (lb/acre) |
|-------------|----------------|
| RYE (GRAIN) | 120 |
- SEEDING DATES**
- Mountains - Above 2500 ft. Feb. 15-May 15
 Piedmont - Jan. 1-May 1
 Coastal Plain - Dec. 1-Apr. 15
- SOIL AMENDMENTS**
- FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURE LIMESTONE AND 700 LB/ACRE 10-10-10 FERTILIZER.
- MULCH**
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- MAINTENANCE**
- Refrillize if growth is not fully adequate. Re-seed, refrillize and mulch immediately following erosion or other damage.

- TEMPORARY FALL GRASSING DETAIL**
- SEEDING MIXTURE SPECIES**
- | SPECIES | RATE (lb/acre) |
|-------------|----------------|
| RYE (GRAIN) | 120 |
- SEEDING DATES**
- Mountains - May 15-Aug. 15
 Piedmont - May 1-Aug. 15
 Coastal Plain - Apr. 15-Aug. 15
- SOIL AMENDMENTS**
- FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURE LIMESTONE AND 700 LB/ACRE 10-10-10 FERTILIZER.
- MULCH**
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- Refrillize if growth is not fully adequate. Re-seed, refrillize and mulch immediately following erosion or other damage.

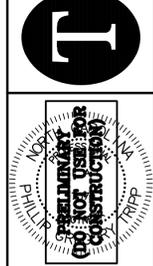
- TEMPORARY SUMMER GRASSING DETAIL**
- SEEDING MIXTURE SPECIES**
- | SPECIES | RATE (lb/acre) |
|-------------|----------------|
| RYE (GRAIN) | 120 |
- SEEDING DATES**
- Mountains - May 15-Aug. 15
 Piedmont - May 1-Aug. 15
 Coastal Plain - Apr. 15-Aug. 15
- SOIL AMENDMENTS**
- FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURE LIMESTONE AND 700 LB/ACRE 10-10-10 FERTILIZER.
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REVISIONS		
No./Date	Description	By

TRIPP ENGINEERING, P.C.
 419 Chestnut Street
 Wilmington, North Carolina 28401
 Phone 910-763-6100
 Fax 910-763-6631

NEW CENTRE LOT 3R
 WILMINGTON, NORTH CAROLINA

DATE 09-09-14
 DESIGN PGT
 DRAWN EJW



SHEET 4 OF 4
 14013

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

DRAINAGE PLAN
 APPROVED
 CITY OF WILMINGTON
 STORMWATER DISCHARGE
 PERMIT NOT REQUIRED
 SIGNATURE _____ DATE _____

For each open utility cut of
 City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.