

LOCATION MAP
NOT TO SCALE

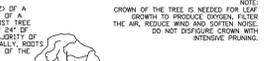
NOTE:
AREA TO BE DEMOLISHED IN COORDINATION WITH ARCHITECTURAL PLANS FOR NEW BUILDING ADDITION

NOTE:
SITE SURVEY BY PATRICK C. BRISTOW, LAND SURVEYING, P.C. DATED 12/11/14.



THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND FLAGGING ALL UNDERGROUND UTILITIES PRIOR TO PROCEEDING WITH ANY EXCAVATION WORK. IF ANY DAMAGE IS DONE TO EXISTING OR NEW UTILITIES, ALL NECESSARY REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO COST TO THE OWNER.

CALL: 1-800-632-4949 TO LOCATE UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION. GAS LINES ARE LOCATED ON SITE. CONTRACTOR TO VERIFY WITH OWNER OR OWNERS REPRESENTATIVE PRIOR TO PROCEEDING WITH ANY EXCAVATION.



NOTE:
THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 1/3 OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER GENERALLY. ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.

NOTE:
CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT EXPOSE CROWN WITH EXTENSIVE PRUNING.



- NOTES:
1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
 2. CRZ BARRIERS SHALL BE 4 FT HIGH AND 2 FT WIDE. BARRIERS SHALL BE MAINTAINED AT ALL TIMES.
 3. CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR PROTECTIVE MATS SHALL BE PLACED UNDER MACHINERY OPERATIONS TO REDUCE SOIL COMPACTURE.
 4. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO TREES. ALTERNATIVE CONSTRUCTION METHODS, SUCH AS REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
 5. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES, DAMAGING THE BARK WITH LAMPHOUSES, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED.
 6. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
 7. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY, EXCEPT WHERE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 WEEKS FOR TREE REPAIRATION.

- LEGEND
- = IRON PIPE
 - = SET IRON PIPE
 - = MONUMENT
 - = CENTERLINE
 - ⊕ = BENCHMARK
 - ⊙ = POWER POLE
 - ⊛ = LIGHT POST
 - ☼ = TREES (AS NOTED)
 - GEN. = GENERATOR
 - SYC = SYCAMORE
 - UGC = UNDERGROUND COMMUNICATIONS
 - UGG = UNDERGROUND GAS
 - UGP = UNDERGROUND POWER
 - WM = WATER METER
 - ⊕ = FIRE HYDRANT
 - ⊙ = SANITARY SEWER MANHOLE
 - ⊕ = DRAINAGE MANHOLE
 - OHP = OVERHEAD POWER



DEMOLITION PLAN
SCALE: 1"=20'-0"

PID R04917-003-003-000
OWNER: KAREN GREEN
15 MERCER AVENUE
LOT 3, BLK 2
EAST MERCER PLACE
DB 5183 PG 2568
USE: RESIDENTIAL

PID R04917-003-040-000
OWNER: MARLOWE PROPERTIES, LLC
30 COVIL AVENUE
LOTS 1 PART MARTIN & COVIL DIV.
DB 2619 PG 55
USE: RESIDENTIAL/COMMERCIAL

PID R04917-004-001-000
OWNER: LARRY & REBECCA HILL
19 COVIL AVENUE
DB 2069 PG 66
USE: RESIDENTIAL

PID R04917-004-004-000
OWNER: MICHAEL S. BOCHHEY
33 COVIL AVENUE
DB 1449 PG 1189
USE: RESIDENTIAL

PID R04917-003-004-000
OWNER: MARYANN EISENSTEIN
17 MERCER AVENUE
LOT 4, BLK 2
EAST MERCER PLACE
DB 5319 PG 2285
USE: RESIDENTIAL

PID R04917-003-005-000
OWNER: SAUCIER GROUP, LLC
19 MERCER AVENUE
LOT 1, BLK 3
EAST MERCER PLACE
DB 5049 PG 450
USE: RESIDENTIAL

PID R04917-003-006-000
OWNER: MARIE THOMPSON
21 MERCER AVENUE
LOT 2, BLK 3
EAST MERCER PLACE
DB 2619 PG 73
USE: RESIDENTIAL

PID R04917-003-037-000
OWNER: RAYMOND SCHMIDT, JR.
38 COVIL AVENUE
LOTS 4 & 12 JR COVIL DIV.
DB 1373 PG 711
USE: RESIDENTIAL

PID R04917-004-005-000
OWNER: OUTDOOR CREATIONS & LANDSCAPE
37 COVIL AVENUE
DB 5533 PG 1201
USE: COMMERCIAL

PID R04917-004-006-000
OWNER: JAMES F. MURRAY, II
45 COVIL AVENUE
DB 2529 PG 879
USE: COMMERCIAL
(MURRAY CONSTRUCTION CO.)

Approved Construction Plan		
Name	Date	
Planning		
Public Utilities		
Traffic		
Fire		

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
SIGNED _____

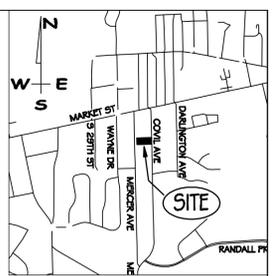
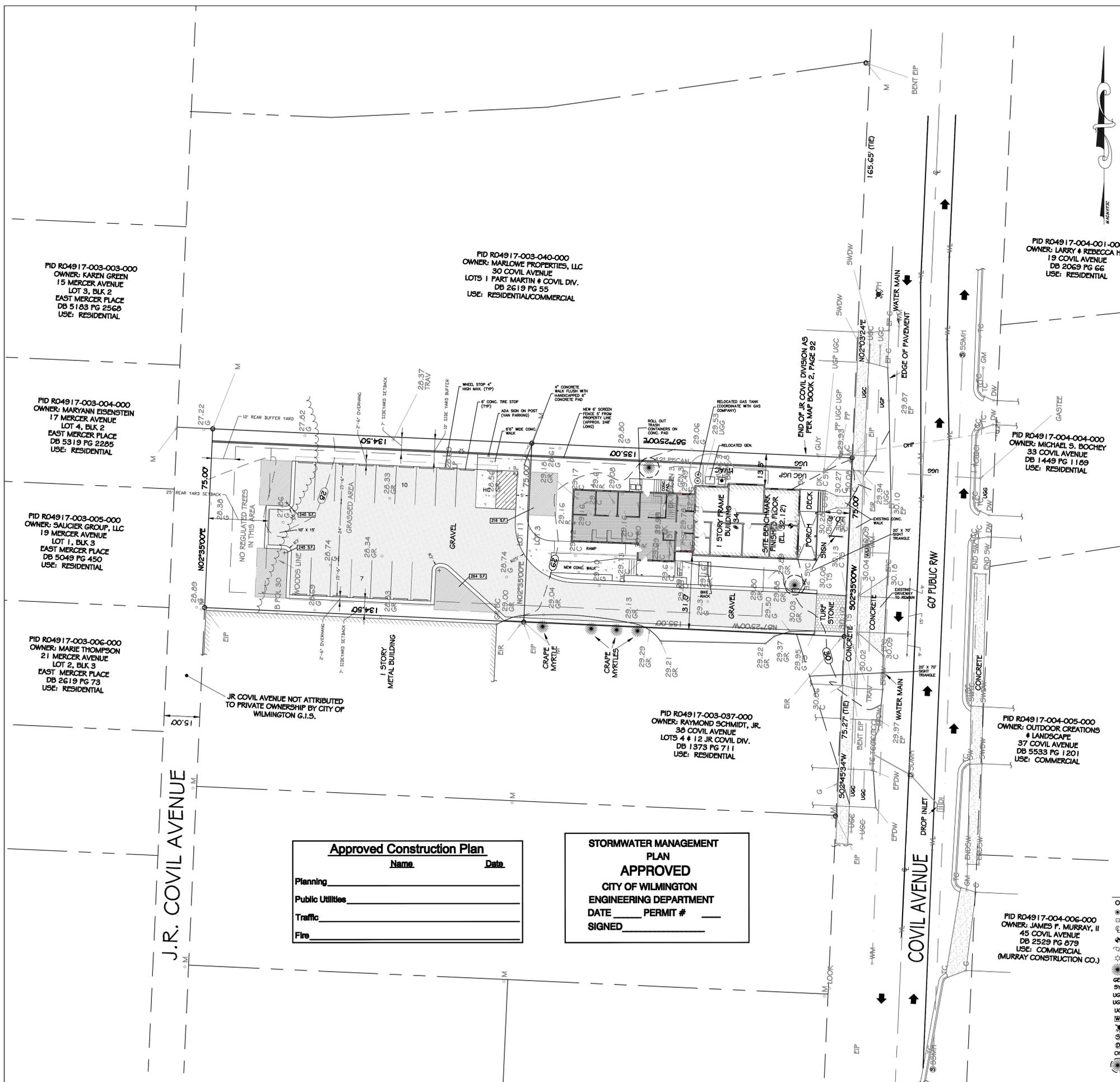
REVISIONS	DATE

H T C A
Howard T. Capps & Associates, Inc.
Land Planning Landscape Architecture
805 North Fourth Street
Wilmington, North Carolina 28401
Phone: (910) 765-7708 Fax: (910) 765-7707

Shealy Insurance Group, Inc.
3905 Oleander Drive
Wilmington, N.C. 28403

Shealy Nationwide
Insurance Office Expansion
34 Covil Avenue
Wilmington, North Carolina

DESIGNED: H. Capps	DRAWN: R. Capps
DATE: 2-16-2015	
SCALE: 1"=20'	
JOB NO.: 427-00614	
SHEET	1
OF 3 SHEETS	



LOCATION MAP NOT TO SCALE

SITE DATA

ADDRESS FOR SITE:	34 COVIL AVE.
PIN NUMBERS:	R04917-003-038-000
EXISTING ZONING:	CS
SITE:	20,212.50 S.F. (.46 AC)
CAMA LAND CLASSIFICATION:	URBAN
BUILDING SETBACKS REQUIRED:	
FRONT:	35'
SIDE:	7'
REAR (ABUTTING RESIDENTIAL):	25'
BUFFER YARD:	
REAR:	10'
SIDE:	10'
STREET YARD:	
PRIMARY:	25' (12.5' OR 37.5')

TOTAL ACREAGE IN PROJECT BOUNDARY

BUILDING SIZE IN SQUARE FEET:	
EXISTING BUILDING:	1,324 S.F. FOOTPRINT
PROPOSED BUILDING:	1ST FL. 1,251 S.F. / 2ND FL. 1,321 S.F. TOTAL 2,572 S.F.
TOTAL BUILDING S.F.:	3,896 S.F.

CALCULATION FOR BUILDING COVERAGE

EXISTING COVERAGE:	6.55 %
PROPOSED COVERAGE:	12.73 %

NUMBER OF BUILDINGS

BUILDING HEIGHT:	1
MAX HEIGHT ALLOWED:	35'
EXISTING BLDG.:	25' (ESTIMATED)
PROPOSED ADDITION:	25' 1 1/2"
NUMBER OF STORIES & SQ.FT. PER FLOOR:	
EXISTING BLDG.:	1ST 1,324 S.F.
PROPOSED BLDG.:	1ST 1,251 S.F. 2ND 1,321 S.F. TOTAL 2,572 S.F.

TOTAL IMPERVIOUS BEFORE & AFTER DEVELOPMENT

ONSITE EXISTING IMPERVIOUS	
BUILDING	1,483 S.F.
SIDEWALK/CONCRETE	519 S.F.
GRAVEL PARKING	7,296 S.F.
TOTAL	9,298 S.F.
ONSITE PROPOSED IMPERVIOUS	
BUILDING	2,735 S.F.
SIDEWALK	1,224 S.F.
GRAVEL/CONCRETE PARKING	7,959 S.F.
TOTAL	11,918 S.F.

PARKING REQUIRED

OFFICE PROFESSIONAL MAX. 1 PER 200 S.F. / MIN 1 PER 300 S.F.	3,896 S.F. ÷ 200 = 19 SPACES (MAX.)
ADA PARKING REQUIRED 1 ADA SPACES (MAX.)	3,896 S.F. ÷ 300 = 13 SPACES (MIN.)
TOTAL PARKING PROVIDED	17 SPACES
ADA PARKING PROVIDED	1 ADA SPACES
REQUIRED PARKING LOT SHADING	REQUIRED 7,959 @ 20% = 1,592 S.F.
PROVIDED	= 7,949 S.F. (SEE LANDSCAPE PLAN)

FOUNDATION PLANTING REQUIRED

103' X 11' = 1,133 S.F. X 12% = 136 S.F.
FOUNDATION PLANTING PROVIDED = 761 S.F.

BIKE RACK REQUIRED

BIKE RACK REQUIRED	2 BIKES
BIKE RACK PROVIDED	2 BIKES

WATER AND SEWER CAPACITY NEEDS

WATER 150 GPD (CURRENT USE)
WATER 300 GPD (PROPOSED USE)
SEWER 150 GPD (CURRENT USE)
SEWER 300 GPD (PROPOSED USE)

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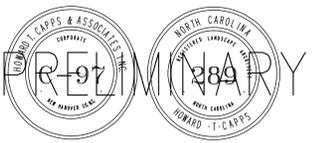
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Name	Date	
Planning		
Public Utilities		
Traffic		
Fire		

STORMWATER MANAGEMENT PLAN APPROVED

CITY OF WILMINGTON
ENGINEERING DEPARTMENT

DATE _____ PERMIT # _____
SIGNED _____



SITE PLAN

SCALE: 1"=20'-0"

REVISIONS	DATE

H T C A

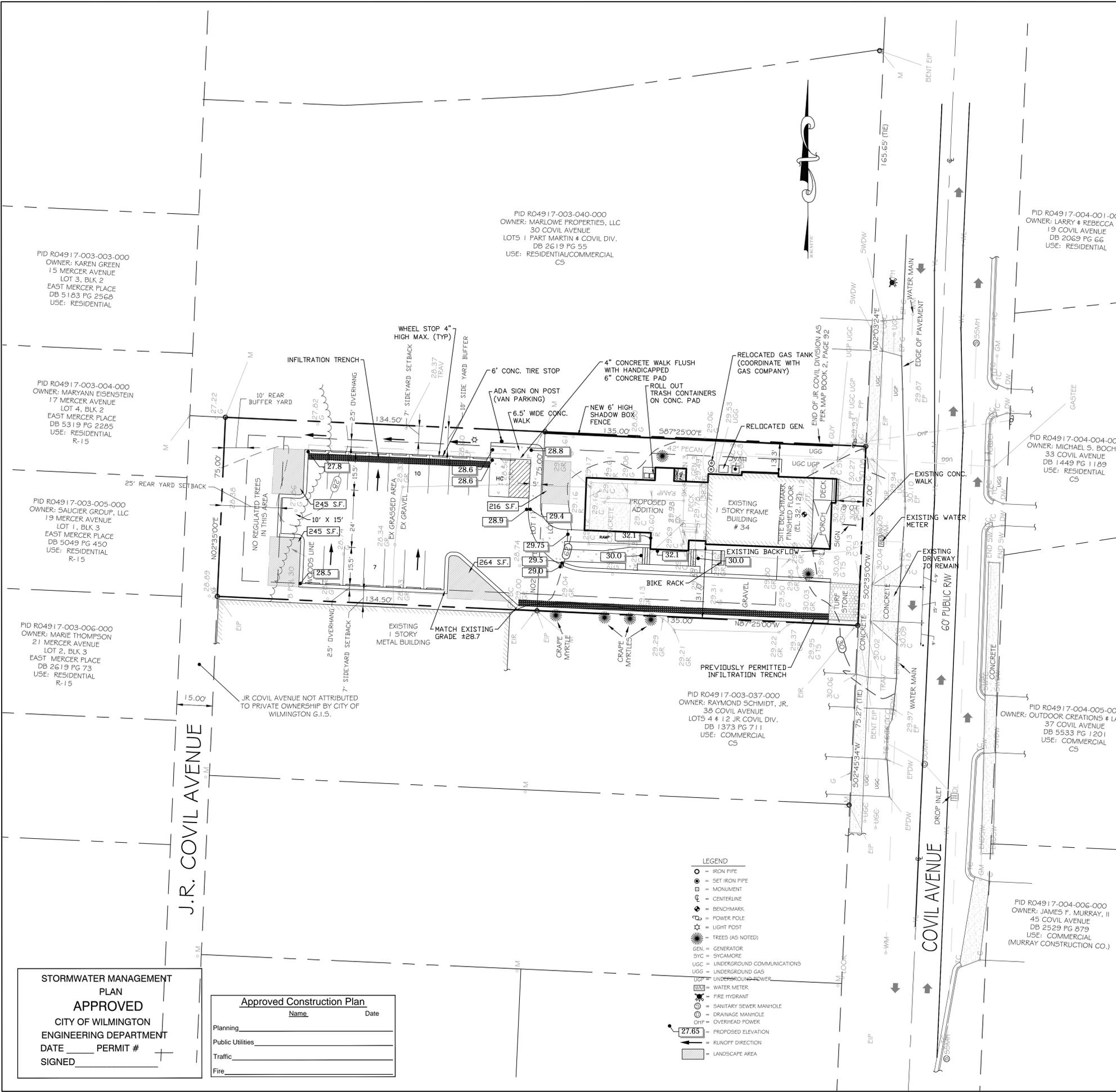
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H. Capps	R. Capps
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JOB NO. :	427-00614
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 ADA PARKING REQUIRED 1 ADA SPACES
 ADA PARKING PROVIDED 1 ADA SPACES

UTILITY USAGE
 EXISTING WATER 150 GPD EXISTING SEWER 150 GPD
 PROPOSED WATER 300 GPD PROPOSED SEWER 300 GPD

GENERAL NOTES:

- EXISTING WATER AND SEWER LINES ARE PART OF CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA)
- ALL UTILITIES WILL BE UNDERGROUND
- SOLID WASTE WILL BE HANDLED BY ROLL OUT CONTAINERS

DEVELOPMENT NOTES:

- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
- PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
- PROPERTY IS LOCATED IN ZONE "X" AS PER FIRM COMMUNITY #370171, MAP# 3720313700-1 DATED 04/03/06
- ELEVATIONS SHOWN ARE ASSUMED RELATIVE TO BENCHMARK. BENCHMARK IS TOP OF EXISTING FINISHED FLOOR AS SHOWN.

UTILITY NOTES:

- EXISTING WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS. EXISTING MAINS ARE SHOWN PER CFPUA GIS.
- ALL UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS & TELEPHONE SHALL BE INSTALLED UNDERGROUND.
- ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CFPUA TECHNICAL SPECIFICATIONS & STANDARDS.
- PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND N.C.D.E.N.R. HAS ISSUED THEIR "FINAL APPROVAL". CALL 343-3910 FOR INFORMATION.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCFCCR OR ASSE.
- WATER & SEWER SERVICES CAN NOT BE ACTIVATED ON NEW MAINS UNTIL THE ENGINEER'S CERTIFICATION AND AS-BUILTS ARE RECEIVED AND "FINAL APPROVAL" ISSUED BY THE PUBLIC WATER SUPPLY SECTION OF NCDENR, AND "FINAL ENGINEERING CERTIFICATION" ISSUED BY DIVISION OF WATER QUALITY SECTION OF NCDENR.
- IF CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- WHEN PVC WATER MAINS AND SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED, SINGLE-STRAND COPPER WIRE INSTALLED & STRAPPED TO THE PIPES WITH DUCT TAPE. THIS IS TO BE ACCESSIBLE IN ALL VALVES AND METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OR EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LOCO AT 1-800-632-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB & GUTTER, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
- THE BELLSOUTH CONTACT IS STEVE DAYVAULT, BUILDING INDUSTRY CONSULTANT, AT 910-392-8712. CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.
- THE PROCESS FOR TELEPHONE CABLE PLACEMENT: * FINAL GRADE WILL NEED TO BE ESTABLISHED. * POWER WILL PLACE THEIR CABLE FIRST - APPROXIMATELY 3' DEEP. * BELLSOUTH & CABLE TV WILL THEN PLACE THEIR CABLE AT APPROXIMATELY 2' DEEP.

PID R04917-003-003-000
 OWNER: KAREN GREEN
 15 MERCER AVENUE
 LOT 3, BLK 2
 EAST MERCER PLACE
 DB 5183 PG 2568
 USE: RESIDENTIAL

PID R04917-003-004-000
 OWNER: MARYANN EISENSTEIN
 17 MERCER AVENUE
 LOT 4, BLK 2
 EAST MERCER PLACE
 DB 5319 PG 2285
 USE: RESIDENTIAL R-15

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 LOT 1, BLK 3
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 DB 5049 PG 450
 USE: RESIDENTIAL R-15

PID R04917-003-006-000
 OWNER: MARIE THOMPSON
 21 MERCER AVENUE
 LOT 2, BLK 3
 EAST MERCER PLACE
 DB 2619 PG 73
 USE: RESIDENTIAL R-15

PID R04917-003-040-000
 OWNER: MARLOWE PROPERTIES, LLC
 30 COVIL AVENUE
 LOTS 1 PART MARTIN & COVIL DIV.
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 USE: RESIDENTIAL/COMMERCIAL CS

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 OWNER: LARRY & REBECCA HILL
 19 COVIL AVENUE
 DB 2069 PG 66
 USE: RESIDENTIAL

PID R04917-004-004-000
 OWNER: MICHAEL S. BOCHHEY
 33 COVIL AVENUE
 DB 1449 PG 1189
 USE: RESIDENTIAL CS

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 OWNER: RAYMOND SCHMIDT, JR.
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 USE: COMMERCIAL CS

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 OWNER: OUTDOOR CREATIONS & LANDSCAPE
 37 COVIL AVENUE
 DB 5533 PG 1201
 USE: COMMERCIAL CS

PID R04917-004-006-000
 OWNER: JAMES F. MURRAY, II
 45 COVIL AVENUE
 DB 2529 PG 879
 USE: COMMERCIAL (MURRAY CONSTRUCTION CO.)

STORMWATER MANAGEMENT PLAN
APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____ PERMIT # _____
 SIGNED _____

Approved Construction Plan

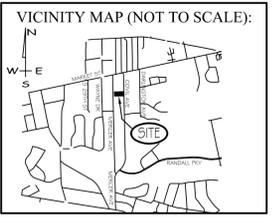
Name _____ Date _____

Planning _____

Public Utilities _____

Traffic _____

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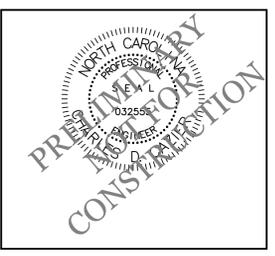


REVISIONS

INTRACOASTAL ENGINEERING, PLLC

01 Pelican Point Road
 Wilmington, North Carolina 28409
 Phone: 910.409.3567
 Email: charlie@intracoastalengineering.com
 License Number P-0662

SITE, GRADING, UTILITY & DRAINAGE PLAN
 FOR
SHEALLEY NATIONWIDE INSURANCE OFFICE EXPANSION
 WILMINGTON, NORTH CAROLINA

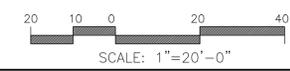


CLIENT INFORMATION:

SHEALLY INSURANCE GROUP INC.
 3905 OLEANDER DRIVE
 WILMINGTON, NC 28403
 910-452-9592

DRAWN:	CDC	SHEET SIZE:	24 x 36
CHECKED:	CDC	DATE:	2/20/15
APPROVED:	CDC	SCALE:	1" = 20'
PROJECT NUMBER:	2014-039		

DRAWING NUMBER: **C-1** 1 OF 2



LATE WINTER & EARLY SPRING TEMPORARY GRASSING DETAIL

SEEDING MIXTURE

SPECIES

Rye (grain)
Annual Lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains)

OMIT annual Lespedeza when duration of temporary cover is not to extend beyond June.

SEEDING DATES:

Mountains - Above 2500 ft. Feb. 15-May 15
Below 2500 ft. Feb. 1-May 1
Piedmont - Jan. 1-May 1
Coastal Plain - Dec. 1-Apr. 15

SOIL AMENDMENTS

Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

MULCH

APPLY 4,000 LB/ACRE STRAW, ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE

Referitize if growth is not fully adequate. Reseed, referitize and mulch immediately following erosion or other damage.

TEMPORARY SUMMER GRASSING DETAIL

SEEDING MIXTURE

SPECIES

GERMAN MILLET

RATE (lb/acre)

40

IN THE PIEDMONT AND MOUNTAINS, A SMALL-STEMMED SUNDAGRASS MAY BE SUBSTITUTED AT A RATE OF 50 LB/ACRE.

SEEDING NOTES

MOUNTAINS - MAY 15-AUG. 15
PIEDMONT - MAY 1-AUG. 15
COASTAL PLAN - APR. 15-AUG. 15

SOIL AMENDMENTS

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIME AND 750 LB/ACRE 10-10-10 FERTILIZER.

MULCH

APPLY 4,000 LB/ACRE STRAW, ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE

REFERITIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERITIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

TEMPORARY FALL GRASSING DETAIL

SEEDING MIXTURE

SPECIES

Rye (grain)

RATE (lb/acre)

120

SEEDING NOTES

MOUNTAINS - AUG. 15-DEC. 15
COASTAL PLAN AND PIEDMONT - AUG. 15-DEC. 30

SOIL AMENDMENTS

FOLLOW SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIME AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

MULCH

APPLY 4,000 LB/ACRE STRAW, ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE

Repair and referitize damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March. If it is necessary to extend temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and Coastal Plain) or Korean (Mountains) Lespedeza in late February or early March.

SPRING-SUMMER PERMANENT GRASSING DETAIL

SEEDING MIXTURE

SPECIES

PENSACOLA BAHAGRASS
SERICEA LESPEDEZA
COMMON BERMUDAGRASS
GERMAN MILLET
TALL FESCUE

RATE (lb/acre)

50
30
10
10
50

SEEDING NOTES

1. WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICEA.
2. USE COMMON BERMUDAGRASS ONLY ON ISOLATED SITES WHERE IT CANNOT BECOME A PEST. BERMUDAGRASS MAY BE REPLACED WITH 5 lb/acre CENTIPEDEGRASS.

SEEDING DATES

APRIL 1 - JULY 15

SOIL AMENDMENTS

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 3,000 lb/acre GROUND AGRICULTURE LIME AND 500 lb/acre 10-10-10 FERTILIZER.

MULCH

APPLY 4,000 lb/acre GRAIN STRAW EQUIVALENT COVER OF ANOTHER SUITABLE MULCH, ANCHOR BY TACKING WITH ASPHALT, ROVING, OR NETTING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE

REFERITIZE THE FOLLOWING APRIL WITH 50 lb/acre NITROGEN. REPEAT AS GROWTH REQUIRES. MAY BE MOVED ONLY ONCE A YEAR. WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICEA AND MOW AS OFTEN AS NEEDED.

FALL-WINTER PERMANENT GRASSING DETAIL

SEEDING MIXTURE

SPECIES

TALL FESCUE (BLEND OF TWO OR THREE IMPROVED VARIETIES)
RYE (GRAIN)

RATE (lb/acre)

200
25

SEEDING DATES

JANUARY - APRIL
AUGUST - DECEMBER

SOIL AMENDMENTS

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 3,000-5,000 lb/acre GROUND AGRICULTURAL LIME AND 1,000 lb/acre 10-10-10 FERTILIZER.

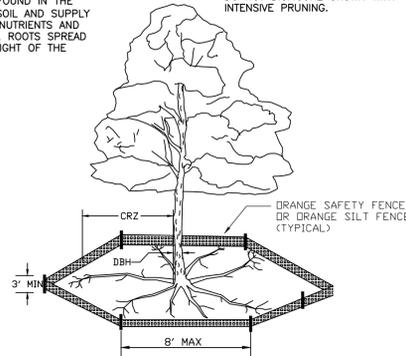
MULCH

APPLY 4,000 lb/acre GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH, ANCHOR STRAW BY TACKING WITH ASPHALT, ROVING, OR NETTING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE

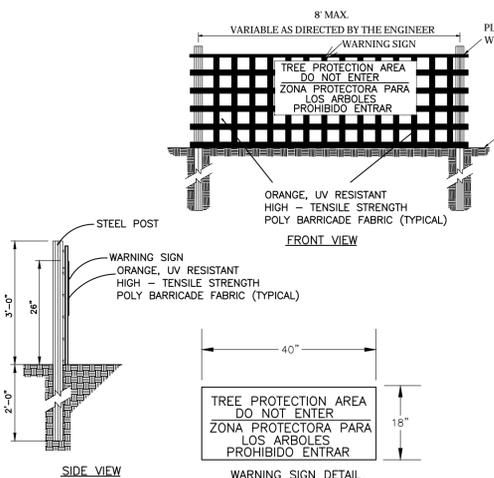
FERTILIZE ACCORDING TO SOIL TESTS OR APPLY 40 lb/acre NITROGEN IN JANUARY OR FEBRUARY, 40 lb IN SEPTEMBER AND 40 lb IN NOVEMBER, FROM A 12-4-8, 16-4-8, OR SIMILAR TYPE FERTILIZER. AVOID FERTILIZER APPLICATIONS DURING WARM WEATHER, AS THIS INCREASES STAND LOSSES TO DISEASE. RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY. MOW TO A HEIGHT OF 2.5-3.5 INCHES AS NEEDED.

NOTE:
THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.



NOTE:
GROWTH OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISGUISE GROWTH WITH INTENSIVE PRUNING.

NOTES:
1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
2. CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
3. IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
4. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
5. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
6. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.



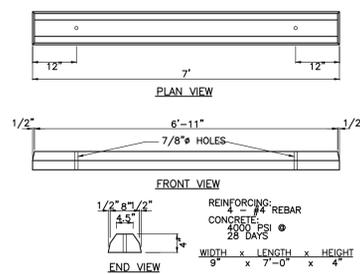
NOTES:

1. THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
2. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
3. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
4. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
5. TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
6. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

NOTE:
CONTRACTOR TO USE WASHED 57 STONE ONLY. MATCH EXISTING GRAVEL PARKING.

TYPICAL UNPAVED PARKING FACILITY UNDER 25 STALLS

SD 15-10
NOT TO SCALE



NOTE:
1. CONTRACTOR SHALL INSTALL PER CITY OF WILMINGTON TECHNICAL STANDARD PER SD 15-13
2. CONTRACTOR SHALL INSTALL WHEEL STOP 2.5' FROM SIDEWALK.

WHEEL STOP DETAIL

NTS

SITE WORK NOTES:

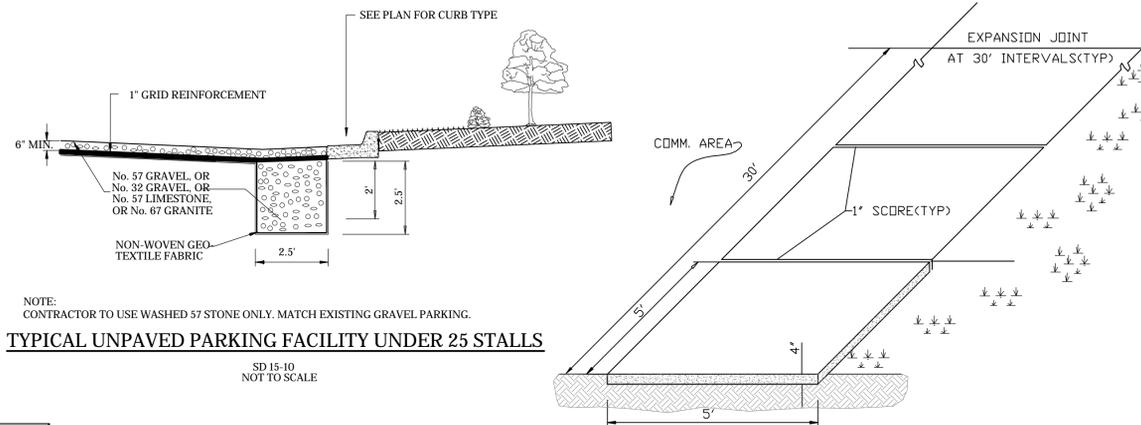
1. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BOTH ON AND ADJACENT TO THE SITE.
2. CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION IF DESIGNATED TO BE REMOVED.
3. GRUBBING AND STRIPPING: CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION.
4. MUCKING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.
5. DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
6. FILL AND COMPACTION SHOULD COMPLY WITH GEOTECHNICAL RECOMMENDATIONS.
7. THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT AND FILL QUANTITIES AND COMPLETE INSTALLATION TO SPECIFIED GRADES.
8. THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE PROPERLY PERMITTED FACILITY AS REQUIRED.
9. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
10. NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. BEFORE COMMENCING ANY EXCAVATIONS IN OR ALONG ROADWAYS OR RIGHT OF WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PERSONNEL OF THEIR INTENT TO EXCAVATE. IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO EXCAVATING.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/ RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE PERSONNEL.
13. CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE & CURB BOXES TO FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
14. EXISTING SURVEYING PERFORMED BY PATRICK BRISTOW LAND SURVEYING PC.
15. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE ENGINEER PRIOR TO INSTALLATION.
16. THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.
17. ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO MEET ALL LOCAL, STATE, AND CPWA CODES. METERS, TAPS, MATERIALS, WORKMANSHIP AND ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS.
18. ALL BACKFILL FROM UTILITY INSTALLATION MUST BE COMPACTED OR AMENDED TO PROVIDE TRAFFIC BEARING CAPACITY. GEOTECHNICAL ENGINEER TO BE CONSULTED AT CONTRACTOR'S COST AS NECESSARY.
19. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION. ALL AREAS SHALL BE SLOPED TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES.
20. CONCRETE FOR WALKS, CURBS AND DRIVES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS - AIR ENTRAINED.
21. FIELD TESTING SHALL BE DONE BY AN INDEPENDENT TESTING LABORATORY PAID FOR BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID FOR BY THE CONTRACTOR.
22. ALL SIDEWALKS SHALL BE FREE OF CRACKS, BREAKS, OR ANY OTHER DEFECT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.

CONSTRUCTION SEQUENCE:

1. CONSTRUCTION OF SITE TO START WITH INSTALLATION OF CONSTRUCTION ENTRANCE, SEDIMENT TRAP, TREE PROTECTION FENCE AND SILT FENCE ALONG ALL LOCATIONS PER PLANS. UPON INSTALLATION OF SILT FENCE, TREES SHOULD BE REMOVED IN LOCATIONS AS NECESSARY. ALL SLOPED AREAS SHOULD BE SEEDDED IN ACCORDANCE TO SPECIFICATIONS. SLOPE STABILIZATION IS WITHIN 21 CALENDAR DAYS OF ANY PHASE OF CONSTRUCTION. ALL OTHER AREAS MUST BE STABILIZED WITHIN 15 WORKING DAYS.
1. GENERAL CLEARING AND GRADING OF THIS SITE WILL NOT BE DONE UNTIL THE TEMPORARY SILT FENCE, SEDIMENT TRAP, TREE PROTECTION FENCE, AND CONSTRUCTION ENTRANCES HAVE BEEN INSTALLED.
2. NO CUT SLOPE OR FILL SLOPE SHALL EXCEED A RISE OR FALL OF ONE FOOT FOR EVERY RUN OF 4 FEET (1 VERTICAL TO 3 HORIZONTAL).
3. NO SEDIMENT WILL BE ALLOWED TO EXIT THE SITE. ALL EROSION SHALL BE CONTROLLED INCLUDING SIDE SLOPES DURING AND AFTER CONSTRUCTION.
4. INSTALL PRIMARY EROSION CONTROL MEASURES BEFORE BEGINNING CONSTRUCTION INCLUDING BUT NOT LIMITED TO GRAVELED CONSTRUCTION ENTRANCE, SILT FENCE & CHECK DAMS. INSTALL ALL SECONDARY EROSION CONTROL MEASURES AS SOON AS POSSIBLE AFTER BEGINNING CONSTRUCTION.
5. UTILITY SERVICES, STORMWATER, & INFILTRATION BASINS TO BE INSTALLED AT THIS TIME. CONCRETE BUILDING FOUNDATIONS AND SIDEWALKS TO BE POURED.
6. CONTRACTOR TO COORDINATE CONSTRUCTION SEQUENCE WITH ENGINEER. CONTRACTOR TO FOLLOW
 - 6.1. BUILDING PADS TO BE BROUGHT TO GRADE AND POURED.
 - 6.2. PAVEMENT SUBGRADE TO BE PREPARED AND PAVEMENT POURED.
 - 6.3. BUILDINGS TO BE ERECTED. CONTRACTOR TO PROTECT ALL PAVEMENT FROM WOOD DEBRIS & SAWDUST.
7. CONTRACTOR TO FOLLOW CONSTRUCTION SPECIFICATIONS FOR POROUS CONCRETE PROVIDED BY THE ENGINEER & REQUIRED IN STORMWATER PERMIT. CONTRACTOR MUST CONTACT ENGINEER FOR SPECIFICATIONS PRIOR TO CONSTRUCTION TO PREVENT SUBGRADE COMPACTION AND CLOGGING OF THE PAVEMENT SURFACE AS WELL AS THE OTHER UNIQUE CONSTRUCTION CONSIDERATIONS FOR PAVEMENT CONCRETE.
8. ALL EROSION CONTROL MEASURES TO BE INSPECTED AFTER EACH RAIN. SILT FENCE TO BE CLEANED WHEN HALF FULL.
9. A 4" LAYER OF TOPSOIL SHALL BE APPLIED TO ALL NEW AREAS TO BE GRASSED.
10. ALL DISTURBED AREAS SHALL BE SEEDDED IN ACCORDANCE WITH SEEDING SCHEDULE.
11. MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PROJECT IS COMPLETE.
12. MORE STRINGENT MEASURES MAY BE REQUIRED TO HALT EROSION IF THOSE ON THIS PLAN PROVE TO BE LESS EFFECTIVE.
13. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION. ALL PERMANENT MEASURES SHALL BE WELL ESTABLISHED PRIOR TO PROJECT COMPLETION.

MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL.
2. ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF 2 3/4 INCH STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED, WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
3. SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION, SEDIMENT TRAP BAFFLES, AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
4. CHECK SEDIMENT BASIN AND BAFFLES WEEKLY & AFTER EACH RAINFALL EVENT. REMOVE SEDIMENT FROM TRAP & BAFFLES AND RESTORE TO ORIGINAL VOLUME WHEN SEDIMENT ACCUMULATES TO ABOUT 1/2 THE DESIGN VOLUME. REPAIR / REPLACE BAFFLES IF TORN, COLLAPSED, OR INEFFECTIVE.
5. DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWALES MUST BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
6. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE IN THE SEDIMENT FENCE THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.



STANDARD SIDEWALK DETAIL FOR COMMERCIAL AREAS

SD 8-15
NOT TO SCALE

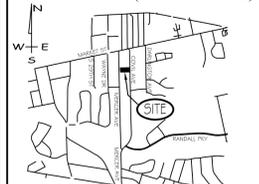
STORMWATER MANAGEMENT PLAN

APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE _____ PERMIT # _____
SIGNED _____

Approved Construction Plan

Name	Date
Planning _____	
Public Utilities _____	
Traffic _____	
Fire _____	

VICINITY MAP (NOT TO SCALE):



REVISIONS

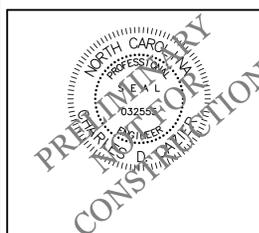
NO.	DATE	DESCRIPTION

INTRACOASTAL ENGINEERING, PLLC

91 Pelican Point Road
Wilmington, North Carolina 28409
Phone: 910.409.3567
Email: charlie@intracoastalengineering.com
License Number P-0662



DETAILS FOR SHEALLEY NATIONWIDE INSURANCE OFFICE EXPANSION WILMINGTON, NORTH CAROLINA



CLIENT INFORMATION:

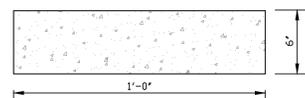
SHEALLY INSURANCE GROUP INC.
3905 OLEANDER DRIVE
WILMINGTON, NC 28403
910-452-9592

DRAWN:	CDC	SHEET SIZE:	24 x 36
CHECKED:	CDC	DATE:	2/20/15
APPROVED:	CDC	SCALE:	NTS
PROJECT NUMBER:	2014-039		

DRAWING NUMBER:

C-2

2 OF 2

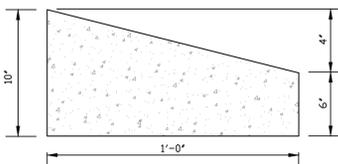


TURN DOWN SIDEWALK

NTS

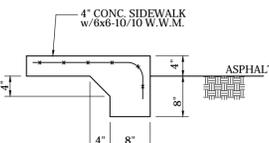
RIBBON CURB DETAIL

NTS



TYPE "D" CURB DETAIL

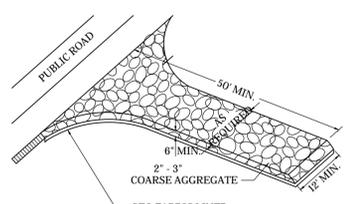
NTS



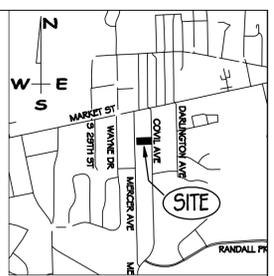
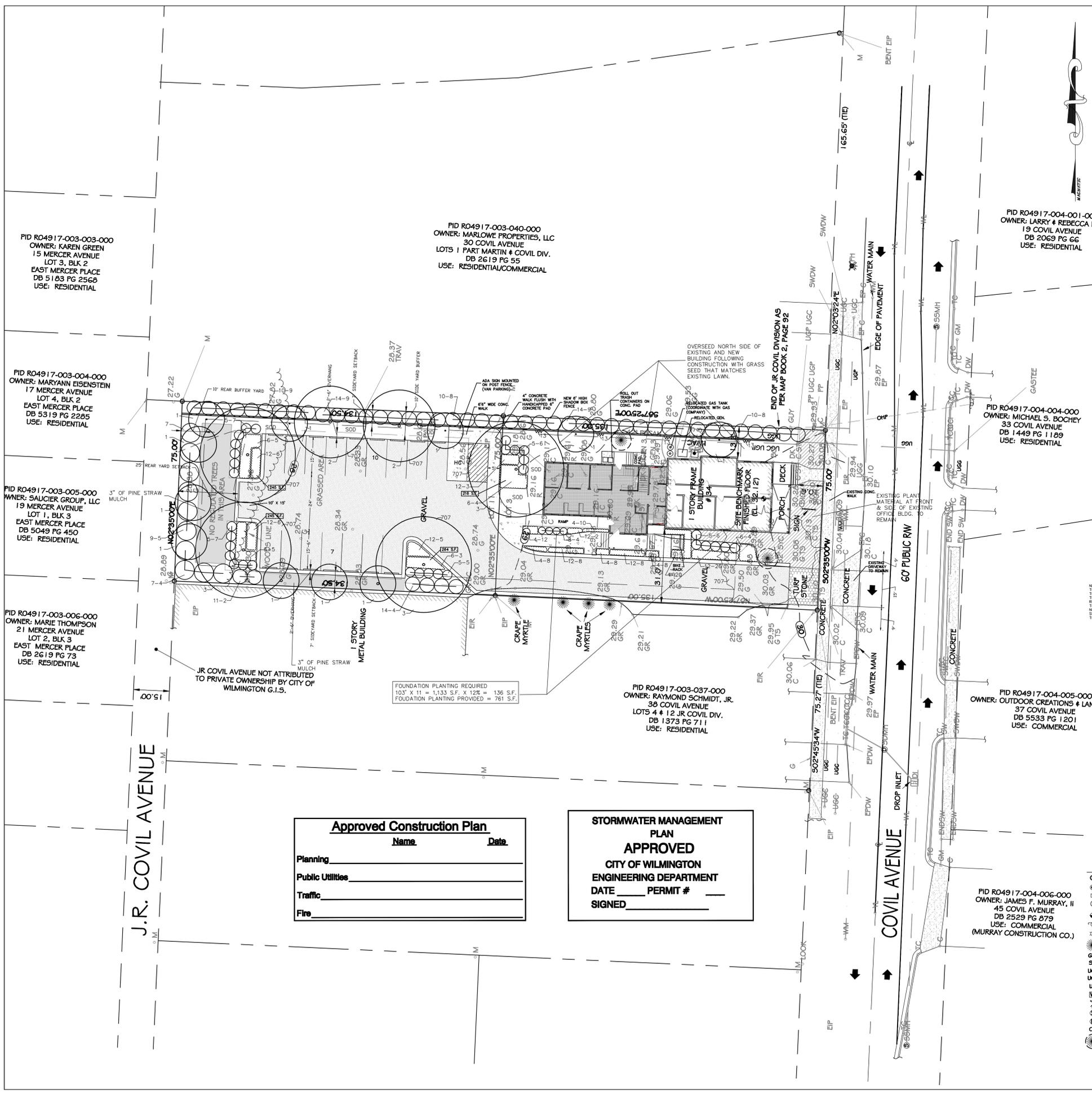
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

NTS

NOTE:
CONSTRUCTION ENTRANCE TO BE 12' OR ENTIRE WIDTH OF ENTRANCE, WHICHEVER IS GREATER



NOTE:
CONSTRUCTION ENTRANCE TO BE 12' OR ENTIRE WIDTH OF ENTRANCE, WHICHEVER IS GREATER



REVISIONS	DATE

HITCO
 Howard T. Capps & Associates, Inc.
 Land Planning Landscape Architecture
 1008 North Carolina Street
 Wilmington, North Carolina 28401
 Phone: (910) 763-7708 Fax: (910) 763-7707

Sheally Insurance Group, Inc.
 3905 Oleander Drive
 Wilmington, N.C. 28403

Sheally Nationwide
 Insurance Office Expansion
 34 Covil Avenue
 Wilmington, North Carolina

DESIGNED: H. Capps
 DRAWN: R. Capps
 DATE: 2-16-2015
 SCALE: 1"=20'
 JOB NO.: 427-00614
 SHEET
L3
 OF 3 SHEETS

KEY NO.	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT	CAL.	HT.	REMARKS
1	11	LAGERSTROEMIA INDICA	CREPE MYRTLE	WB	2 1/2"-3"	8'-10'	VAR. MUSKOGEE
2	2	PRUNUS YEDDENSIENSIS	YOSHINO CHERRY	WB	2 1/2"-3"	10'-12'	
3	4	ZELKOVA SERRATA	JAPANESE ZELKOVA	WB	2 1/2"-3"	12'-14'	VILLAGE GREEN
4	66	OPHIPOGON JAPONICUS	MONDO GRASS	1 GAL.		1' O.C.	
5	31	ILEX VOMITORIA NANA	DWARF YAUPON	3 GAL.		4' O.C.	
6	21	JUNIPERUS DAURICA PARSONI	PARSONS JUNIPER	3 GAL.		5' O.C.	
7	5	PITTIOSPORUM TOBIRA	PITTIOSPORUM	10 GAL.		36" @ PLANTING	8' O.C.
8	4	PITTIOSPORUM TOBIRA NANA	WHEELER'S DWARF	3 GAL.		3' O.C.	
9	5	JUNIPERUS CHINENSIS PFTZERIANA	PFTZER JUNIPER	5 GAL.		8' O.C.	
10	25	PHOTINIA FRASERI	FRASER PHOTINA	5 GAL.		6' O.C.	
11	2	CORTADERIA SELLOANA	PAMPAS GRASS	10 GAL.		36" @ PLANTING	6' O.C.
12	64	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	3 GAL.		2' O.C.	
13	4	PYRACANTHA KODZUMI	FORMOSA FIRETHORN	3 GAL.		36" @ PLANTING	ESPALIER ON FENCE
14	22	AZALEA INDICA	INDIAN AZALEA	5 GAL.		36" @ PLANTING	FORMOSA 6' O.C.

LARGE SHADE TREES - KEY 1, 3 & 4
 SMALL SHADE TREES - KEY 2

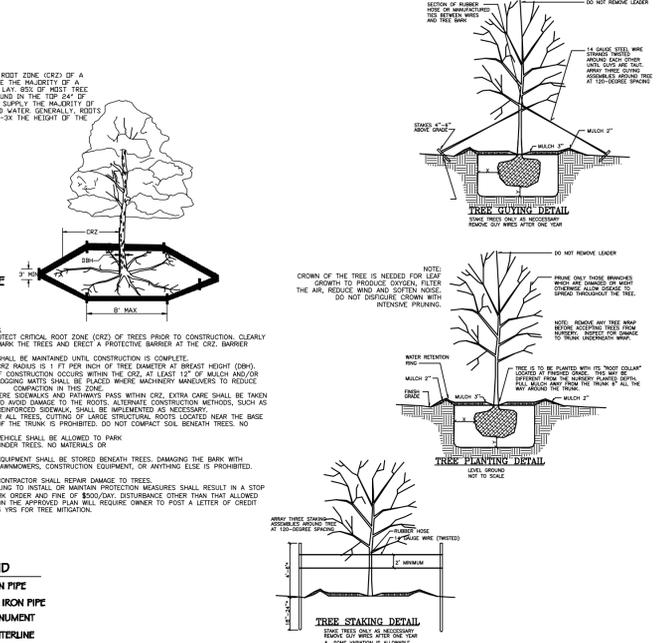
SHRUBS KEY 6 & 7, 9 - 13, 16 - 25
 GROUND COVER KEY 5, 8, 14, & 15

NOTE: The key number refers to the Plant List. Where there is only one number, it is the key number and the quantity is one. Where there are two numbers connected by a dash, the first is the key number and the second is the quantity required for the planting bed indicated.

8888 = Ball and Burlap
 888 = Wire Balled
 88 = Container Grown
 All plant bed areas shall be covered in a minimum of 3" of premium chocolate mulch. (Sample & source to be provided to landscape architect for approval)
 All grass shown as sod shall be Meyer Zoysia (Zoysia Japonica)

NOTE: THE PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED AS A CONVENIENCE TO THE CONTRACTOR. IN THE EVENT THERE IS A DIFFERENCE IN QUANTITY BETWEEN PLANT QUANTITIES IN THE PLANT LIST AND PLANT QUANTITIES ON THE PLAN, THE CONTRACTOR SHALL USE THE QUANTITY SHOWN ON THE PLAN. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY QUANTITY DIFFERENCE.

THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND FLAGGING ALL UNDERGROUND UTILITIES PRIOR TO PROCEEDING WITH ANY EXCAVATION WORK. IF ANY DAMAGE IS DONE TO EXISTING OR NEW UTILITIES, ALL NECESSARY REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO COST TO THE OWNER.
 CALL: 1-800-832-4949 TO LOCATE UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
 GAS LINES ARE LOCATED ON SITE. CONTRACTOR TO VERIFY WITH OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH ANY EXCAVATION.



LEGEND

- = IRON PIPE
- ⊙ = SET IRON PIPE
- = MONUMENT
- ⊕ = CENTERLINE
- ⊕ = BENCHMARK
- ⊕ = POWER POLE
- ☆ = LIGHT POST
- ☆ = TREES (AS NOTED)
- GEN = GENERATOR
- SYC = SYCAMORE
- UGC = UNDERGROUND COMMUNICATIONS
- UGG = UNDERGROUND GAS
- UGP = UNDERGROUND POWER
- WM = WATER METER
- ⊕ = FIRE HYDRANT
- ⊕ = SANITARY SEWER MANHOLE
- ⊕ = DRAINAGE MANHOLE
- ⊕ = OVERHEAD POWER
- ⊕ = TREE PROTECTION

SCHEDULE FOR PLANTING HOLE SIZE

BARE ROOT, BALL OR CONTAINER SIZE	W	X	Y
5"-12"	6"	3"	
12"-36"	12"	6"	
36" AND UP	1/2W	1/2"	12"

SCALE: 1"=20'-0"