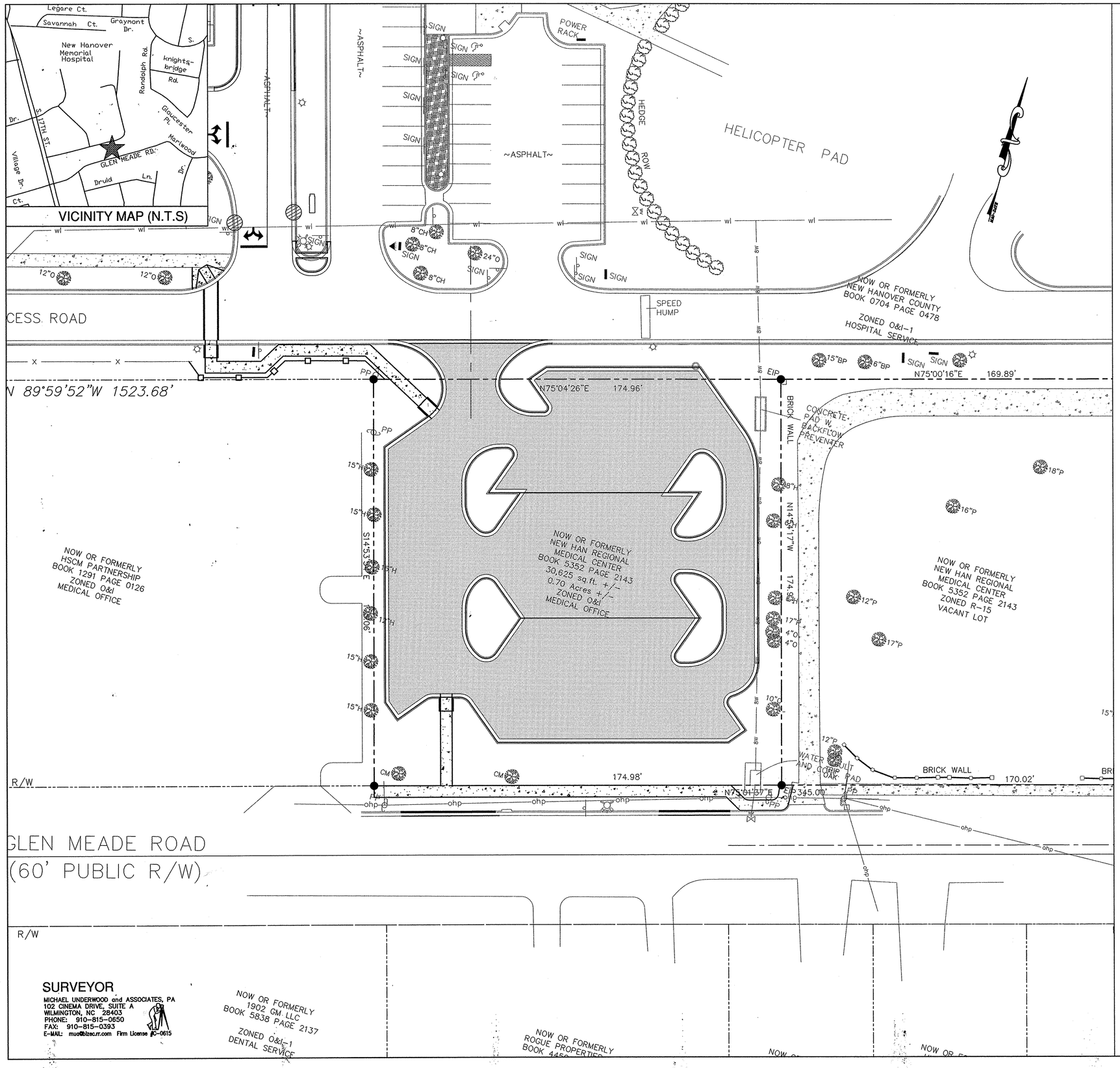

SITE DATA TABLE

USE:	PARKING
SITE ADDRESS:	1915 GLEN MEADE ROAD
PROPERTY OWNER:	NEW HANOVER REGIONAL MEDICAL CENTER
PARCEL ID#:	R06011-004-005-000
MAP ID#:	3126 11.66.5961.000
PARCEL AREA:	0.70 AC (30,625 SF)
ZONING:	O&I-1
CAMA LAND USE:	URBAN
BUILDING SETBACKS: (REQUIRED)	FRONT SETBACK: 20' INTERIOR SIDE SETBACK: 10' CORNER SIDE SETBACK: 20' REAR SETBACKS: 20'
BUILDING SETBACKS: (PROPOSED)	DOES NOT APPLY
BUILDING HEIGHT MAX:	45'
BUILDING HEIGHT PROPOSED:	DOES NOT APPLY
NUMBER OF STORIES:	DOES NOT APPLY
BUILDING LOT COVERAGE MAX:	40%
BUILDING LOT COVERAGE PROPOSED:	0
EXISTING BUILDING FOOTPRINT:	7,270± SF (TO BE REMOVED)

PARKING REQUIREMENT HOSPITAL:
1 PER EACH 2 LICENSED BEDS INTENDED FOR PATIENT USE, 1 PER EACH STAFF PERSON, INCLUDING MEDICAL AND SUPPORT STAFF BASED ON THE LARGEST EMPLOYEE SHIFT.

NHRMC EXISTING PARKING:

ER:	34 EXAM ROOMS PLUS 1 TRAUMA ROOM
BEDS NHRMC 17TH ST:	694 LICENSED MAIN BUILDING 17TH ST: 572 BEHAVIORAL HEALTH 17TH ST: 60 REHAB. 17TH ST: 62
EMPLOYEES AT LARGEST SHIFT:	1,750
TOTAL SQUARE FOOTAGE:	1,322,025 SF
TOTAL PARKING REQUIRED:	2,097 SPACES
TOTAL PARKING PROVIDED:	2,367 SPACES + PROPOSED 56 SPACES=2,423

SITE PROPOSED PARKING:
PROPOSED PARKING: 56 REGULAR
REQUIRED ACCESSIBLE PARKING: 0 SPACES
REQUIRED BICYCLE PARKING: 5 SPACES, 5 SPACES PROVIDED

EXISTING IMPERVIOUS AREA:

BUILDING:	7,270 SF
ASPHALT/CONCRETE/CURB & GUTTER:	15,133 SF
SIDEWALK:	400 SF
TOTAL:	22,803 SF
% EXISTING IMPERVIOUS AREA:	74.45%

EXISTING IMPERVIOUS AREA REMOVED:

BUILDING:	7,270 SF
ASPHALT/CONCRETE/CURB & GUTTER:	15,133 SF
SIDEWALK:	400 SF
TOTAL:	22,803 SF

NEW IMPERVIOUS AREA ADDED:

ASPHALT/CONCRETE/CURB & GUTTER:	21,443 SF
SIDEWALK:	300 SF
TOTAL:	21,743 SF

PROPOSED IMPERVIOUS AREA FOR SITE:

ASPHALT/CONCRETE/CURB & GUTTER:	21,443 SF
SIDEWALK:	300 SF
TOTAL:	21,743 SF
% PROPOSED IMPERVIOUS AREA:	71.00%

NEW IMPERVIOUS AREA OFF-SITE NHRMC SITE:

ASPHALT/CONCRETE/CURB & GUTTER:	1,108 SF
SIDEWALK:	500 SF
TOTAL:	1,608 SF

LANDSCAPING REQUIREMENTS (REFER TO LANDSCAPE PLAN)
15 TREES PER DISTURBED ACRE REQUIRED
DISTURBED AREA=0.84 0.84 X 15= 13 TREES
INTERIOR LANDSCAPING O&I-1: 25% CANOPY COVER OF INTERIOR AREA OF PARKING FACILTY BASED ON AMOUNT OF PARKING AREA IMPERVIOUS SURFACE (22,146 SF).
STREETYARD LANDSCAPING: 18 MULTIPLIER
FRONT: 175 X 18 = 3,150 SF REQUIRED 3,150 SF PROPOSED

DISTURBED AREA: 0.84 AC

TREE REMOVAL TABLE

REGULATED		SIGNIFICANT	
18" PINE	(1)	25" PINE	(1)
6" DOGWOOD	(2)		
8" BRADFORD PEAR	(1)		
10" BRADFORD PEAR	(3)		
12" BRADFORD PEAR	(3)		
8" OAK	(1)		

NOTE:
PARCEL ID# R06011-004-005-000, 1915 GLEN MEADE RD. WILL BE RE-COMBINED INTO PARCEL ID# R06011-004-001-000, 2135 S. 17TH ST. NEW HANOVER REGIONAL MEDICAL CENTER.

For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
DRAINAGE PLAN
Date:_____ Permit #_____
Signed: _____

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

NCDENR PWSS WATER PERMIT #: _____
WATER CAPACITY: _____GPD
DWQ SEWER PERMIT #: _____
SEWER CAPACITY: _____GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

SCALE: 1" = 20'
0 20 40 60

SYMBOL	DATE	DESCRIPTION	BY

REVISIONS

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OVERALL SITE PLAN
NHRMC ADDITIONAL PARKING
GLEN MEADE LOT
1915 GLEN MEADE ROAD
WILMINGTON, N. C.

OWNER/DEVELOPER
NHRMC
PO BOX 9000
WILMINGTON, NC 28402
910 343-2788

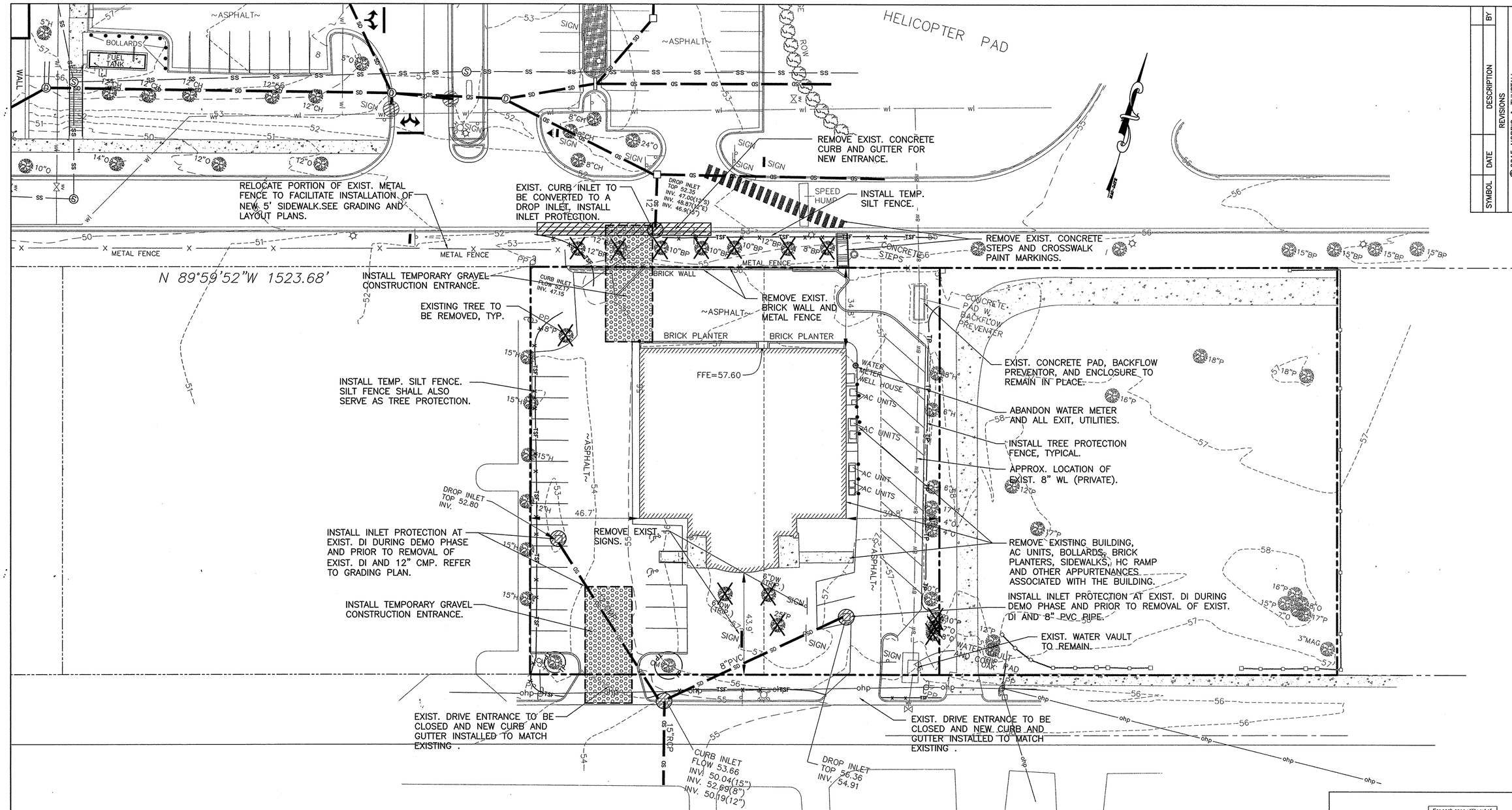
NORRIS & TUNSTALL
CONSULTING ENGINEERS, P.C.
902 MARKET STREET
WILMINGTON, NC 28401
PHONE (910) 343-9653
FAX (910) 343-9604
office@nktseng.com
licence #C-3641

15031

DES. JST
CKD. JPN
DRWN. NKS
DATE 9/29/15

NORTH CAROLINA PROFESSIONAL SEAL 19651 ENGINEER JOHN S. TUNSTALL

C0



SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

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DEMOLITION AND EROSION CONTROL SITE PLAN
NHRMC ADDITIONAL PARKING
GLEN MEADE LOT
1915 GLEN MEADE ROAD
WILMINGTON, N. C.

OWNER/DEVELOPER
NHRMC
PO BOX 9000
WILMINGTON, NC 28402
910 343-2788

NORRIS & TUNSTALL
CONSULTING ENGINEERS, P.C.
902 MARKET STREET
WILMINGTON, NC 28401
PHONE (910) 343-9653
FAX (910) 343-9604
office@nandt.com
licence #C-3641

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CITY OF WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
DRAINAGE PLAN
Date:_____ Permit #_____
Signed: _____

Approved Construction Plan

	Name.	Date.
Planning		
Traffic		
Fire		

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15031	
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NORTH CAROLINA PROFESSIONAL SEAL 19851 ENGINEER JOHN S. TUNSTALL

LEGEND

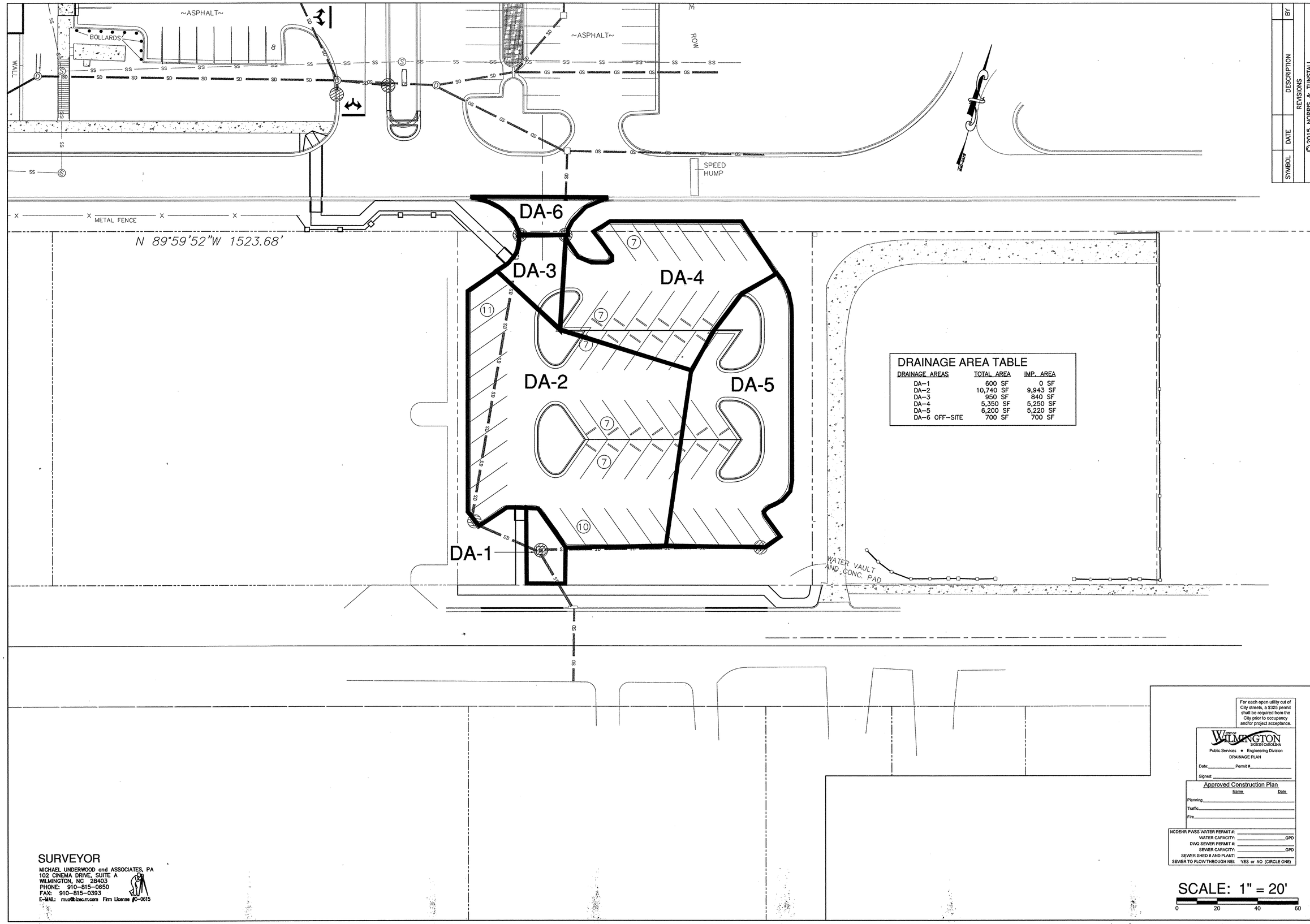
- EXISTING TREE TO BE SAVED
- TREE PROTECTION FENCING
- TEMPORARY SILT FENCE
- INLET PROTECTION

SCALE: 1" = 20'
0 20 40 60

SURVEYOR

MICHAEL UNDERWOOD and ASSOCIATES, PA
102 CINEMA DRIVE, SUITE A
WILMINGTON, NC 28403
PHONE: 910-815-0650
FAX: 910-815-0393
E-MAIL: muo@bizec.rr.com Firm License #C-0615

C1



DRAINAGE AREA TABLE

DRAINAGE AREAS	TOTAL AREA	IMP. AREA
DA–1	600 SF	0 SF
DA–2	10,740 SF	9,943 SF
DA–3	950 SF	840 SF
DA–4	5,350 SF	5,250 SF
DA–5	6,200 SF	5,220 SF
DA–6 OFF–SITE	700 SF	700 SF

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CITY OF WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
DRAINAGE PLAN
Date:_____ Permit #_____
Signed: _____

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

NCDENR PWSS WATER PERMIT #: _____
WATER CAPACITY: _____GPD
DWQ SEWER PERMIT #: _____
SEWER CAPACITY: _____GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

SCALE: 1" = 20'
0 20 40 60

SURVEYOR

MICHAEL UNDERWOOD and ASSOCIATES, PA
102 CINEMA DRIVE, SUITE A
WILMINGTON, NC 28403
PHONE: 910–815–0650
FAX: 910–815–0393
E-MAIL: muc@bltec.rr.com Firm License #C–0615

SYMBOL	DATE	DESCRIPTION	BY

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DRAINAGE AREA PLAN
NHRMC ADDITIONAL PARKING
GLEN MEADE LOT
1915 GLEN MEADE ROAD
WILMINGTON, N. C.

OWNER/DEVELOPER
NHRMC
PO BOX 9000
WILMINGTON, NC 28402
910 343-2788

NORRIS & TUNSTALL
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WILMINGTON, NC 28401
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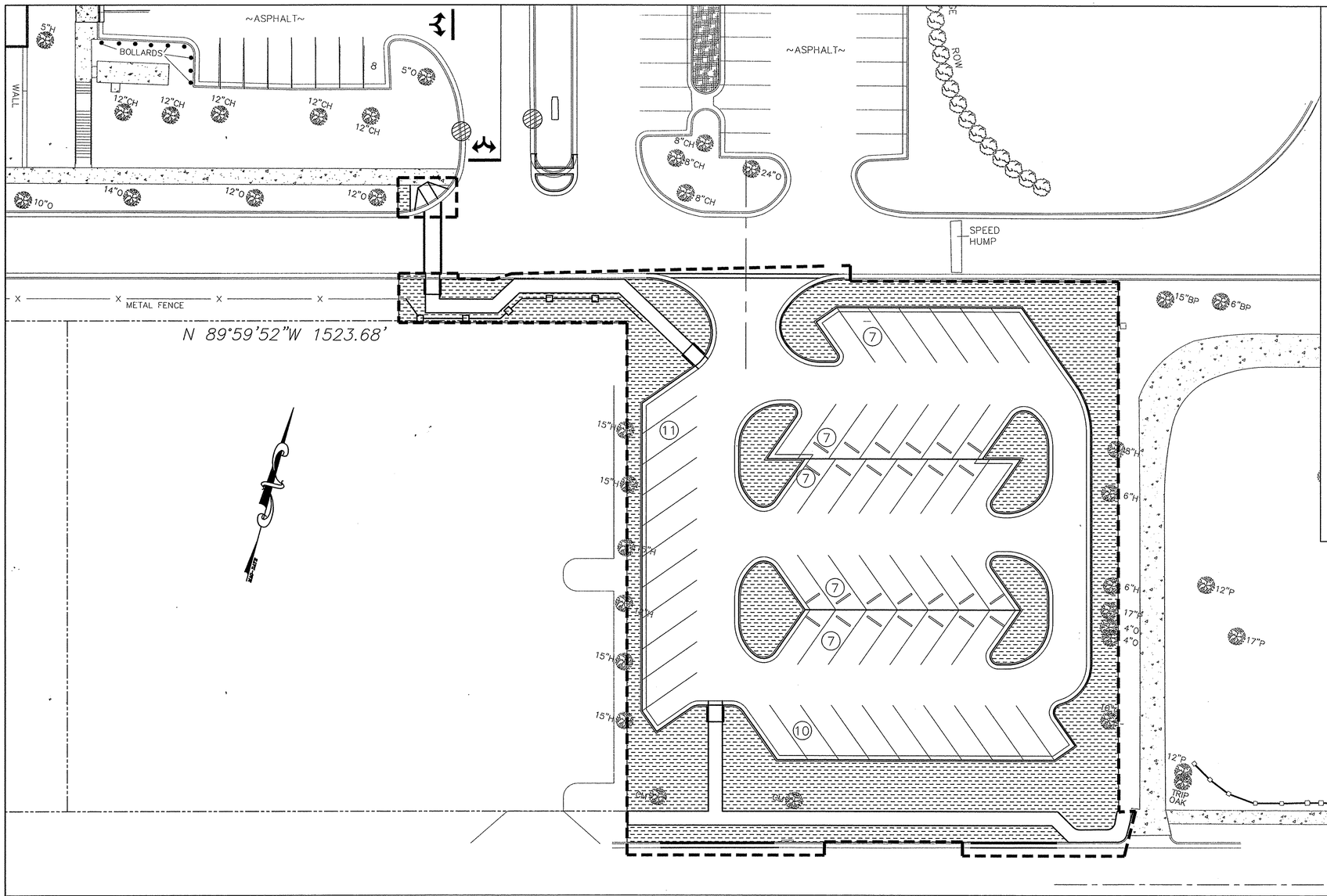
licence #C–3641

15031

DES.	JST
CKD.	JPN
DRWN.	NKS
DATE	10/2/15

NORTH CAROLINA PROFESSIONAL SEAL 19651 ENGINEER JOHN S. TUNSTALL

C2.1



LEGEND	1. GROUND STABILIZATION		
	SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
	PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
	HIGH QUALITY WATER (HQW) ZONES.	7 DAYS	NONE
	SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
	SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH.
	ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQW ZONES).

2. BUILDING WASTES HANDLING
- NO PAINT OR LIQUID WASTES IN STREAM OR STORM DRAINS
- DEDICATED AREA FOR DEMOLITION, CONSTRUCTION AND OTHER WASTES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO ALTERNATIVE IS AVAILABLE.
- EARTHEN MATERIALS STOCKPILES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVE IS AVAILABLE
- CONCRETE MATERIALS MUST BE CONTROLLED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS, OR BUFFERS.

3. INSPECTIONS
- SAME WEEKLY INSPECTION REQUIREMENTS
- SAME RAIN GUAGE AND INSPECTIONS AFTER 0.5" RAIN EVENT
- INSPECTIONS ARE ONLY REQUIRED DURING "NORMAL BUISNESS HOURS"
- RECORDS MUST BE KEPT FOR 3 YEARS AND AVAILABLE UPON REQUEST
- ELECTRONICALLY AVAILABLE RECORDS MAY BE SUBSTITUTED UNDER CERTAIN CONDITIONS

4. SEDIMENT BASINS
- OUTLET STRUCTURES MUST WITHDRAW FROM BASIN SURFACE UNLESS DRAINAGE AREA IS LESS THAN ONE ACRE
- USE ONLY DWQ APPROVED FLOCCULANTS

SYMBOL	DATE	DESCRIPTION	BY

REVISIONS

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SEEDING PLAN
NHRMC ADDITIONAL PARKING
GLEN MEADE LOT
1915 GLEN MEADE ROAD
WILMINGTON, N. C.

OWNER/DEVELOPER
NHRMC
PO BOX 9000
WILMINGTON, NC 28402
910 343-2788

NORRIS & TUNSTALL
CONSULTING ENGINEERS, P.C.
902 MARKET STREET
WILMINGTON, NC 28401
PHONE (910) 343-9653
FAX (910) 343-9604
office@nhtseng.com
licence #C-3641

For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
DRAINAGE PLAN
Date:_____ Permit #_____
Signed: _____

Approved Construction Plan
Name Date
Planning_____
Traffic_____
Fire_____

NCDENR PWSS WATER PERMIT #: _____
WATER CAPACITY: _____GPD
DWQ SEWER PERMIT #: _____
SEWER CAPACITY: _____GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

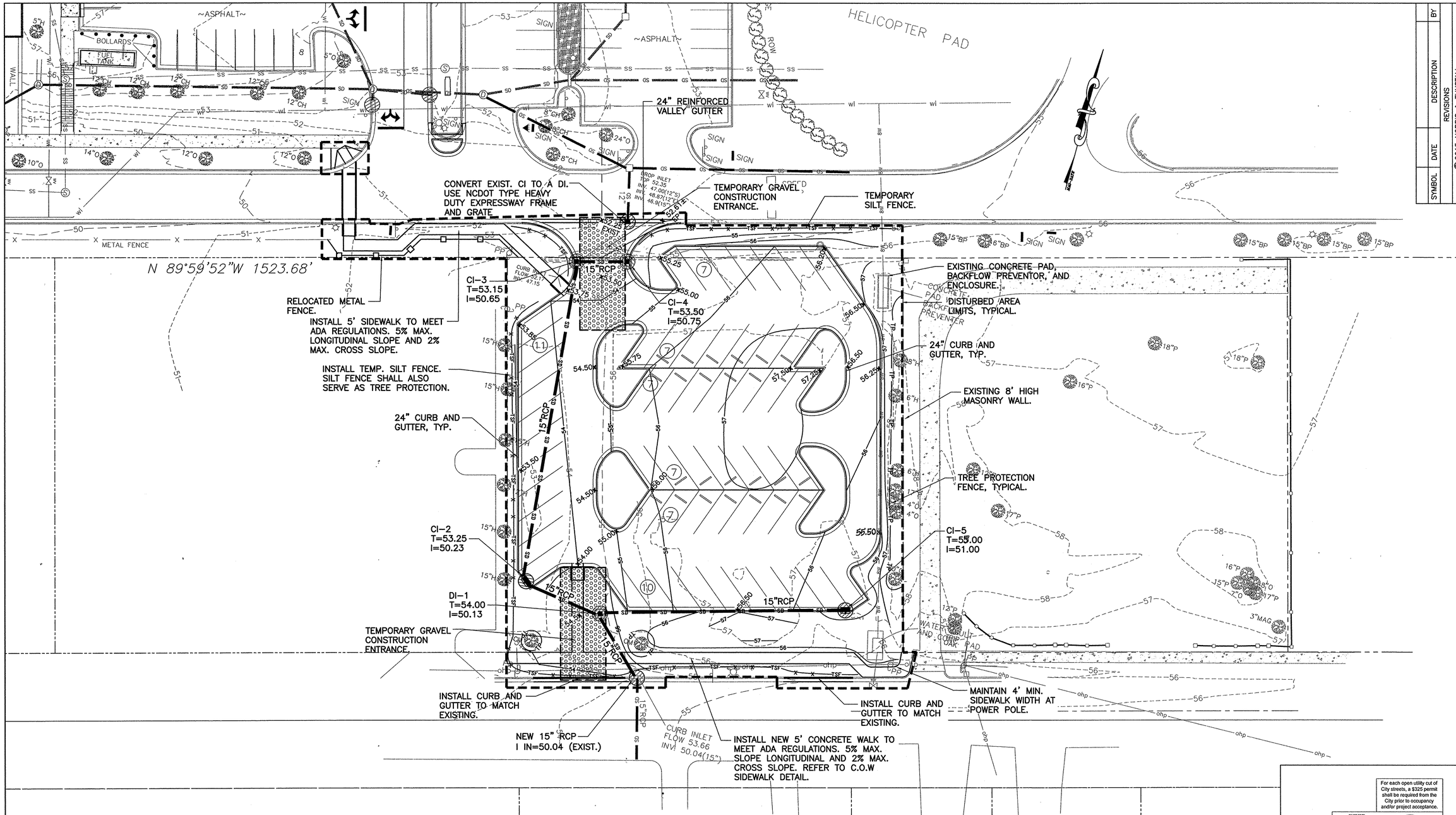
SCALE: 1" = 20'
0 20 40 60

15031	
DES.	JST
CKD.	JPN
DRWN.	NKS
DATE	9/29/15

NORTH CAROLINA PROFESSIONAL SEAL 19851 ENGINEER JOHN P. TUNSTALL

C2.2

SURVEYOR
MICHAEL UNDERWOOD and ASSOCIATES, PA
102 CINEMA DRIVE, SUITE A
WILMINGTON, NC 28403
PHONE: 910-815-0650
FAX: 910-815-0393
E-MAIL: muoc@ilzec.rr.com Firm License #C-0615



SYMBOL	DATE	DESCRIPTION	BY

REVISIONS

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GRADING, DRAINAGE AND EROSION CONTROL PLAN
NHRMC ADDITIONAL PARKING
GLEN MEADE LOT
1915 GLEN MEADE ROAD
WILMINGTON, N. C.

OWNER/DEVELOPER
NHRMC
PO BOX 9000
WILMINGTON, NC 28402
910 343-2788

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902 MARKET STREET
WILMINGTON, NC 28401
PHONE (910) 343-9653
FAX (910) 343-9604
office@nnteng.com
licence #C-3641

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DES.	JST
CKD.	JPN
DRWN.	NKS
DATE	10/2/15

NORTH CAROLINA PROFESSIONAL SEAL 19851 ENGINEER JOHN P. TUNSTALL

C2

LEGEND

	DISTURBED AREA LIMITS
x43.0	PROPOSED FINISH GRADE SPOT ELEVATION
	INLET PROTECTION
	DROP INLET WITH INLET PROTECTION (DI)
	EXISTING TREE TO BE SAVED
TP TP	TREE PROTECTION FENCING
TSF	TEMPORARY SILT FENCE

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CITY OF WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
DRAINAGE PLAN
Date:_____ Permit #_____
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Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

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WATER CAPACITY:	GPD
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SEWER SHED # AND PLANT:	
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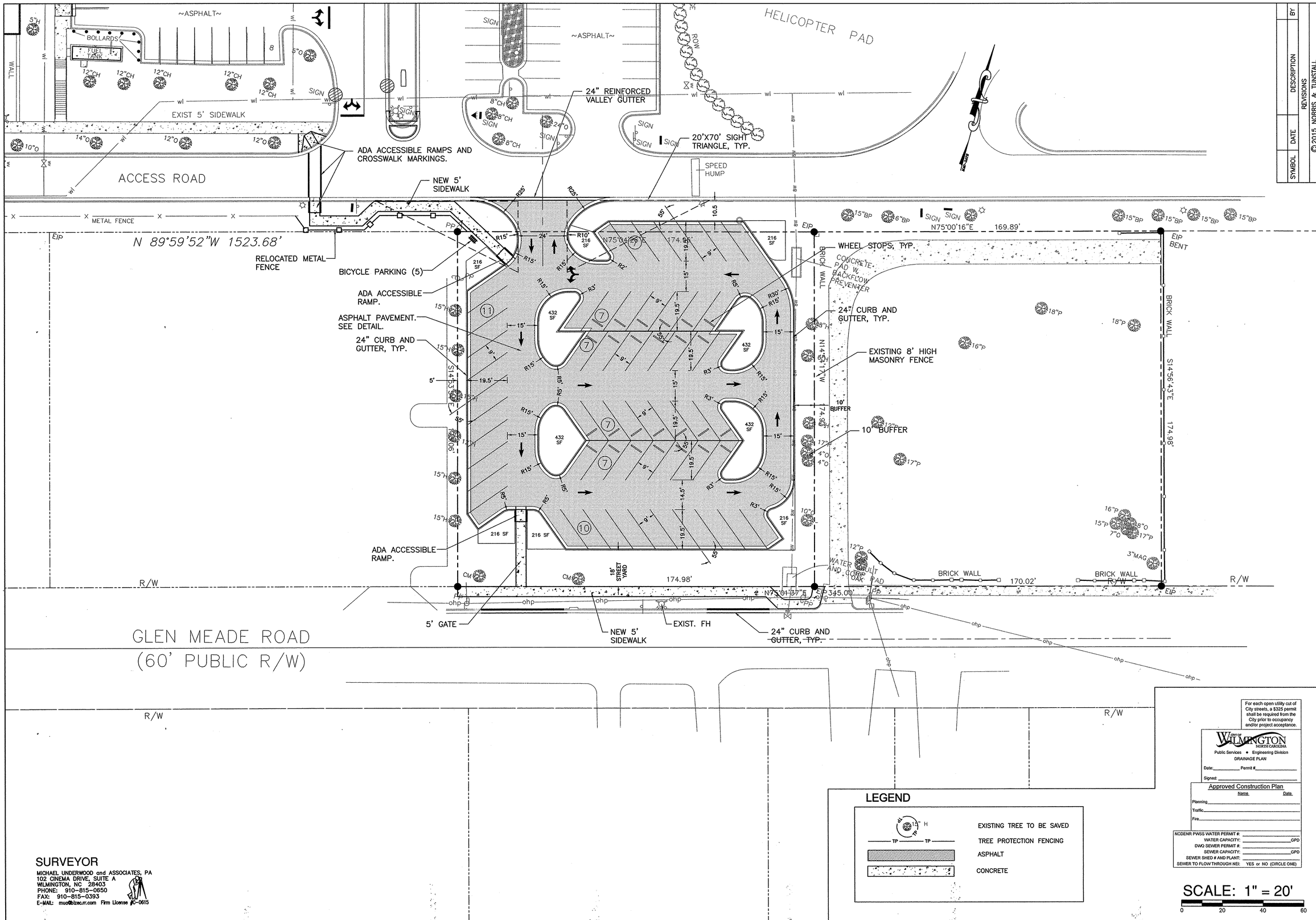

LEGEND

15" H	EXISTING TREE TO BE SAVED
TP	TREE PROTECTION FENCING
	ASPHALT
	CONCRETE

SCALE: 1" = 20'

0 20 40 60

SURVEYOR

MICHAEL UNDERWOOD and ASSOCIATES, PA
102 CINEMA DRIVE, SUITE A
WILMINGTON, NC 28403
PHONE: 910-815-0650
FAX: 910-815-0393
E-MAIL: muo@bizec.rr.com Firm License #C-0615

For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
DRAINAGE PLAN
Date:_____ Permit #_____
Signed:_____

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

NCDENR PWSS WATER PERMIT #: _____
WATER CAPACITY: _____ GPD
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SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

SYMBOL	DATE	DESCRIPTION	BY

REVISIONS

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LAYOUT PLAN
NHRMC ADDITIONAL PARKING
GLEN MEADE LOT
1915 GLEN MEADE ROAD
WILMINGTON, N. C.

OWNER/DEVELOPER
NHRMC
PO BOX 9000
WILMINGTON, NC 28402
910 343-2788

NORRIS & TUNSTALL
CONSULTING ENGINEERS, P.C.
902 MARKET STREET
WILMINGTON, NC 28401
PHONE (910) 343-9653
FAX (910) 343-9604
office@nkteng.com
licence #C-3641

15031

DES. JST
CKD. JPN
DRWN. NKS
DATE 9/29/15

NORTH CAROLINA PROFESSIONAL SEAL 19851 ENGINEER JOHN S. TUNSTALL

C3

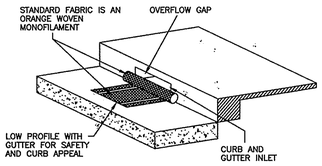
BEAVER DAM ®

Installation and Maintenance Guidelines

Installation: The empty Beaver Dam® should be placed over the grate as the grate stands on end. If using optional oil absorbents; place absorbent pillow on pouch, on the bottom (below-grade side) of the unit. Attach absorbent pillow to tether loop. Tuck the enclosure flap inside to completely enclose the grate. Holding the lifting devices (do not rely on lifting devices to support the entire weight of the grate), place the grate into its frame (street side first), then lower back edge with dam into place. The Beaver Dam® should be partially blocking the curb hood when installed properly.

Maintenance: Remove all accumulated sediment and debris from surface and vicinity of unit after each storm event. Remove sediment that has accumulated within the containment area of the Beaver Dam® as needed. If using optional oil absorbents; remove and replace absorbent pillow when near saturation.

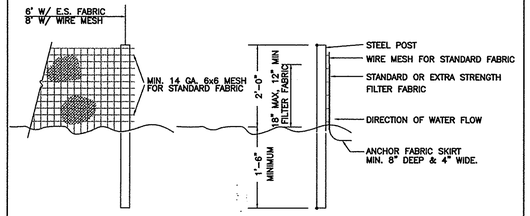
BEAVER DAM ®



* USE AT EXISTING CURB INLETS IN PAVED AREAS.

NOT TO SCALE

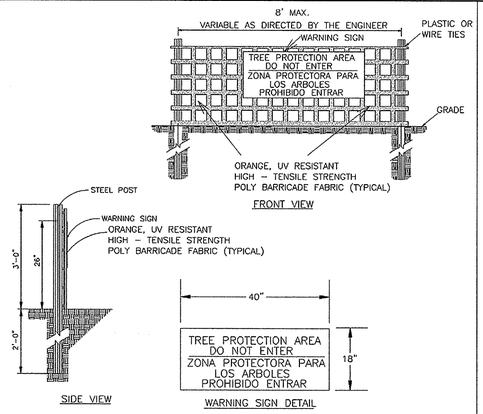
1 EROSION CONTROL INLET PROTECTION



NOTES:

1. SYN. FENCE FABRIC SHALL BE MIN. OF 30" IN WIDTH WITH 30 LB/IN TENSILE STRENGTH FOR STANDARD FABRIC AND 50 LB/IN FOR EXTRA STRENGTH.
2. FABRIC SHALL BE CONTINUOUS LENGTH. IF JOINTS ARE NECESSARY, LAP FABRIC POST TO POST.
3. STEEL POST SHALL BE MIN 4' IN HEIGHT AND BE OF THE SELF-FASTENER STEEL ANGLE TYPE.

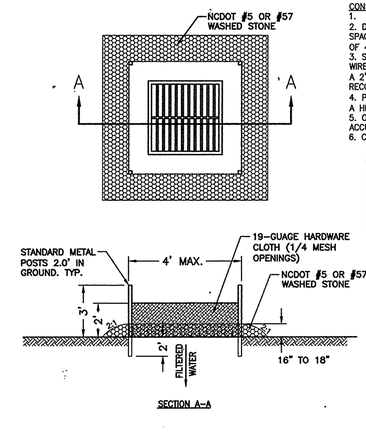
2 TEMPORARY SILT FENCE



NOTES:

1. THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
2. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
3. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
4. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
5. TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
6. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

3 TREE PROTECTION DETAIL



CONSTRUCTION SEQUENCE:

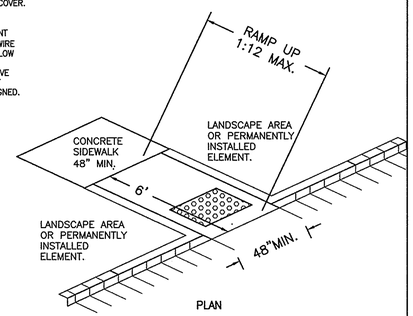
1. UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
2. DRIVE 5' STEEL POST 2' INTO THE GROUND SURROUNDING THE INLET. SPACE POST EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4' APART.
3. SURROUND THE POST WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POST AT THE TOP, MIDDLE AND BOTTOM. PLACING A 2' FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
4. PLACE CLEAN GRAVEL (NCDOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16" AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
5. ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
6. COMPACT THE AREA PROPERLY AND STABILIZE IT WITH GROUNDCOVER.

MAINTENANCE:
INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REMOVE SEDIMENT WHEN ACCUMULATION REACHES HALF THE DEPTH OF ROCK. REPLACE STONE WHEN IT NO LONGER DRAINS AS DESIGNED.

NOT TO SCALE

4 HARDWARE CLOTH AND GRAVEL INLET PROTECTION

IF PEDESTRIANS DO NOT CROSS THE CURB CUT, THEN SIDE FLARES ARE NOT REQUIRED AND CURB ON BOTH SIDES MAY RETURN FOR FULL DEPTH OF THE CURB CUT.

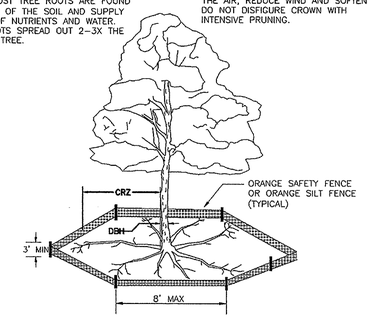


* SEE NOTES ON DETECTABLE WARNING

5 SIDEWALK, CURB CUT AND WHEEL CHAIR RAMP DETAIL

NOTE:
THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.

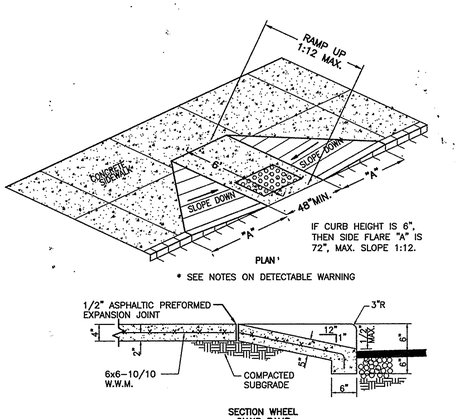
NOTE:
CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISFIGURE CROWN WITH INTENSIVE PRUNING.



NOTES:

1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
2. CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
3. IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATTS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
4. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
5. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
6. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF $500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

6 TREE PROTECTION DETAIL



* SEE NOTES ON DETECTABLE WARNING

NOT TO SCALE

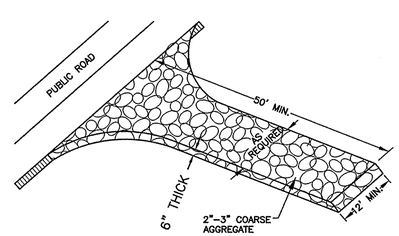
7 SIDEWALK, CURB CUT AND WHEEL CHAIR RAMP DETAIL

NOTE:

1. RAMP SHALL HAVE A DETECTABLE WARNING COMPLYING WITH ADA GUIDELINES:
2. THE DETECTABLE WARNINGS AT CURB RAMPS SHALL BE 24 INCHES MINIMUM IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE.
3. MARKED CROSSINGS THAT ARE RAISED TO THE SAME LEVEL AS THE ADJOINING SIDEWALK SHALL BE PRECEDED BY A 24 INCH DEEP DETECTABLE WARNING EXTENDING THE FULL WIDTH OF THE MARKED CROSSING.
4. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN (23 MM), A HEIGHT OF NOMINAL 0.2 IN (5 MM) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN (60 MM) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHOULD CONTRAST BY AT LEAST 70% – REFER TO ADA GUIDELINES FOR DEFINITION OF "CONTRAST".
5. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON INTERIOR SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE CONTACT.

NOT TO SCALE

8 NOTES ON DETECTABLE WARNING FOR WHEEL CHAIR RAMPS



9 TEMPORARY GRAVELLED CONSTRUCTION ENTRANCE

EROSION CONTROL NOTES AND MAINTENANCE PLAN:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF-INCH RAINFALL.

2. ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.

3. SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND WATTLES, BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.

4. DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWALES MUST BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.

5. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE, THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF-FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.

6. LAND QUALITY REQUIRES:
ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED, ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN, TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED WITHIN 21 CALENDAR DAYS. ALL OTHER AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS.
WATER QUALITY REQUIRES:
ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, ALL SLOPES STEEPER THAN 3' HORIZONTAL TO 1' VERTICAL (3:1) AND ALL HIGH QUALITY WATER (HQW) ZONES SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN SEVEN (7) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN FOURTEEN (14) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

TEMPORARY/PERMANENT GRASS SPECIFICATION:

1. CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS.

2. RIP THE ENTIRE AREA TO A 6 INCH DEPTH.

3. REMOVE ALL ROCKS, ROOTS AND OTHER OBSTRUCTIONS LEAVING SURFACES SMOOTH AND UNIFORM.

4. APPLY AGRICULTURAL LIME AND FERTILIZER UNIFORMLY AND MIX WITH SOIL.
LIME: 45 LBS. PER 1000 S.F.
PHOSPHOROUS: 20 LBS PER 1000 S.F.
FERTILIZER: 17 LBS. PER 1000 S.F.

5. CONTINUE TILLAGE UNTIL A WELL PULVERIZED, FIRM, UNIFORM SEED BED IS PREPARED 4-6 INCHES DEEP.

6. SEED ON A FRESHLY PREPARED SEED BED AND COVER SEED LIGHTLY.
2 – 3 LBS PER 1000 S.F. (SEE MIXTURE BELOW)

7. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
GRAIN STRAW & HAY AT 75 TO 100 LBS PER 1000 S.F.
WOOD CHIPS AT 500 LBS. PER 1000 S.F.
JUTE & MESH AS PER MANUFACTURER

8. ASPHALT FOR ANCHORING MULCH SHALL BE TYPE SS-1 EMULSION AND APPLIED AT A RATE OF 1000 GAL. PER ACRE FOR SLOPE STABILIZATION, AND 150 GAL. PER TON OF STRAW FOR ANCHORING STRAW.

9. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEED WITHIN THE PLANTING SEASON, IF POSSIBLE. IF GRASS STAND SHOULD BE OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.

10. CONSULT CONSERVATION INSPECTOR ON MAINTENANCE, TREATMENT, AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

11. SEED FOR TEMPORARY AND PERMANENT APPLICATIONS SHALL BE:

20%	CARPET GRASS
28%	BERMUDA GRASS
20%	TURF FESCUE
10%	CREEPING RED FESCUE
20%	ANNUAL RYE GRAIN

*BERMUDA SEED SHALL BE HULLED FOR WARM WEATHER PLANTING. PURITY OF SEED SHALL BE A MIN. OF 98% AND GERMINATION SHALL BE A MIN. OF 85%.

ALL DISTURBED AREA SHALL BE SEEDED WITHIN 7-14 DAYS OF THE COMPLETION OF GRADING. SEE EROSION CONTROL AND MAINTENANCE NOTES. CONSULT CONSERVATION ENGINEER OR SOIL CONSERVATION SERVICE FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENUDED AREAS. THE ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS, OTHER SEEDING SCHEDULES MAY BE POSSIBLE.

SITE WORK NOTES:

1. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH FIELD CONSTRUCTION CONDITIONS.

2. CONTRACTOR SHALL COORDINATE WORK WITHIN NCDOT AND LOCAL RIGHT OF WAYS WITH PROPER AUTHORITIES AND SHALL MEET ANY REQUIREMENTS AS TO TRAFFIC CONTROL AND CONNECTION TO EXISTING STREETS.

3. CLEARING AND GRUBBING: REMOVE ALL TREES AS REQUIRED UNLESS OTHERWISE NOTED TO REMAIN. STUMPS, ROOTS, SHRUBBERY, ASPHALT, CONCRETE, STRUCTURES, BURIED UTILITIES, STORAGE TANKS, ETC. WITHIN LIMITS OF CONSTRUCTION.

4. STRIPPING: BEFORE EXCAVATING OR FILLING, REMOVE ALL TOPSOIL, WOOD, LEAVES, AND ANY OTHER UNSUITABLE MATERIAL.

5. MUCKING: REMOVE ANY SOFT, ORGANIC SILT MATERIALS AND EXISTING BURIED CONSTRUCTION DEBRIS AS REQUIRED AND FILL TO SUBGRADE ELEVATIONS WITH A CLEAN SELECT-FILL COMPACTED AS SPECIFIED.

6. DISPOSAL: CLEARED, GRUBBED, STRIPPED OR EXCAVATED SPOIL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES.

7. BORROW MATERIAL: THE CONTRACTOR SHALL FURNISH BORROW MATERIAL REQUIRED FROM OFF SITE AND OBTAIN ALL REQUIRED PERMITS ASSOCIATED WITH BORROW OPERATIONS.

8. FILL AND COMPACTION: AFTER STRIPPING THOSE AREAS DESIGNATED TO RECEIVE FILL SHOULD BE PROOFROLLED. THE TOP 8" OF SUBGRADE SHALL BE COMPACTED TO AT LEAST 98% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. ANY AREA WHICH PUMPS OR RUTS EXCESSIVELY SHOULD BE UNDERCUT AND REPLACED WITH A CLEAN, SILTY OR CLAYEY SOIL HAVING A UNIFIED SOIL CLASSIFICATION OF SP, SM, OR SC. FILL MATERIAL 5" OUTSIDE OF BUILDING AREAS SHALL THEN BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) WITH THE UPPER 12 INCHES OF SUBGRADE BEING COMPACTED TO 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. FILL MATERIALS WITHIN BUILDING AREAS TO A LINE OUTSIDE THE BUILDING AREAS SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) WITH THE UPPER 12 INCHES OF SUBGRADE BEING COMPACTED IN 6 INCH LAYERS TO 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. IN AREAS WHERE NO STRUCTURAL FILL IS TO BE PLACED THE UPPER 12 INCHES OF IN-PLACE SUBGRADE SHOULD BE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. IF THE MATERIAL IS TOO DRY TO COMPACT TO THE REQUIRED DENSITY EACH LAYER SHALL BE WETTED IN ACCORDANCE WITH COMPACTION REQUIREMENTS. IF THE MATERIAL IS TOO WET TO SECURE PROPER COMPACTION, IT SHALL BE HARROWED REPEATEDLY OR OTHERWISE AERATED WITH SUITABLE EQUIPMENT UNTIL OPTIMUM MOISTURE CONTENT IS OBTAINED. FILL SHALL BE PLACED IN SUCH A MANNER THAT THE SURFACE WILL DRAIN READILY AT ALL TIMES. SEE STRUCTURAL NOTES AND SOILS REPORT FOR ADDITIONAL REQUIREMENTS.

9. LAYOUT: THE CONTRACTOR SHALL PROVIDE ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK.

10. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION.

11. EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION FROM SURVEY BY MICHAEL UNDERWOOD AND ASSOCIATES, PA AND PROVIDED BY OWNER.

12. THE CONTRACTOR SHALL VERIFY DIMENSIONS AT JOBSITE.

13. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF RELOCATION OR DISCONNECTION OF ALL EXISTING UTILITIES WITH APPLICABLE AGENCIES AND AUTHORITIES.

14. ALL PAVEMENT AND BASE MATERIALS AND WORKMANSHIP SHALL CONFORM TO NCDOT STANDARDS.

15. WATER AND SEWER SERVICES SHALL BE INSTALLED TO MEET LOCAL AND STATE PLUMBING CODES. METER AND TAPS SHALL MEET ALL LOCAL REQUIREMENTS.

16. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE.

17. SEE SOILS REPORT FOR ADDITIONAL REQUIREMENTS.

18. CONTRACTOR SHALL NOTE THAT EARTHWORK QUANTITIES ARE HIS RESPONSIBILITY. PLANS DO NOT REPRESENT A BALANCED EARTHWORK CONDITION.

19. REINF. CONC. PIPE SHALL BE CLASS III W/RUBBER GASKETED JOINT OR "RAM NECK". INSTALL PER MANUFACTURER'S REQUIREMENTS.

20. USE WHITE LANE MARKING PAINT FOR ALL PAVEMENT MARKINGS. PAINT SHALL BE A CHLORINATED RUBBER ALKYD, FS TT-P-115, TYPE III, FACTORY MIXED, QUICK DRYING, NON-BLEEDING.

CALL 811 (3) WORKING DAYS BEFORE YOU DIG.

For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
DRAINAGE PLAN
Date:_____ Permit #_____
Signed: _____

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

SYMBOL	DATE	DESCRIPTION	BY

REVISIONS

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NOTES AND DETAILS
NHRMC ADDITIONAL PARKING
GLEN MEADE LOT
1915 GLEN MEADE ROAD
WILMINGTON, N. C.

OWNER/DEVELOPER
NHRMC
PO BOX 9000
WILMINGTON, NC 28402
910 343-2788

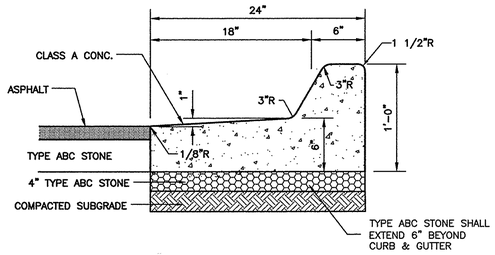
NORRIS & TUNSTALL
CONSULTING ENGINEERS, P.C.
902 MARKET STREET
WILMINGTON, NC 28401
PHONE (910) 343-9653
FAX (910) 343-9604
office@nt-eng.com
licence #C-3641

15031

DES.	JST
CKD.	JPN
DRWN.	NKS
DATE	9/29/15

NORTH CAROLINA PROFESSIONAL SEAL 19651 ENGINEER JOHN S. TUNSTALL

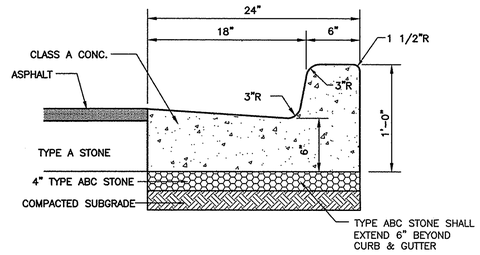
C4



NOTE: CURB TYPE DEPENDS ON GRADES SHOWN ON GRADING PLAN. GRADES INDICATING FALL AWAY FROM CURB SHALL BE SPILL OFF TYPE CURB. GRADES INDICATING CURB ACCEPTING FLOW SHALL BE FLOW LINE TYPE.

NOT TO SCALE

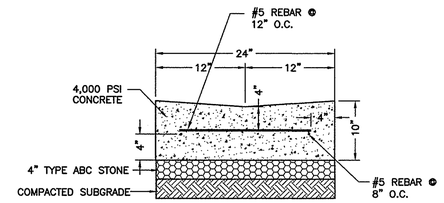
1 | 24" CURB AND GUTTER SECTION (SPILL-OFF)



NOTE: CURB TYPE DEPENDS ON GRADES SHOWN ON GRADING PLAN. GRADES INDICATING FALL AWAY FROM CURB SHALL BE SPILL OFF TYPE CURB. GRADES INDICATING CURB ACCEPTING FLOW SHALL BE FLOW LINE TYPE.

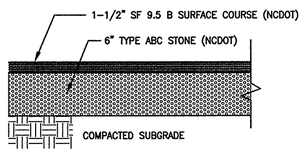
NOT TO SCALE

2 | 24" CURB AND GUTTER SECTION (FLOW-LINE)



NOT TO SCALE

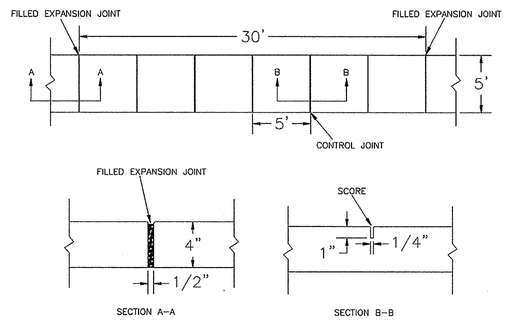
3 | REINFORCED VALLEY GUTTER DETAIL



NOTE: PAVEMENT SECTION MAY VARY DEPENDING UPON FIELD CONDITIONS. CONTRACTOR SHALL COORDINATE w/OWNER & GEOTECHNICAL ENGINEER TO DETERMINE ACTUAL PAVEMENT SECTION.

NOT TO SCALE

4 | ASPHALT PAVEMENT SECTION



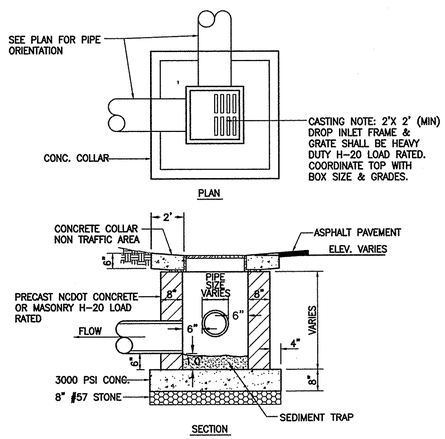
NOTES:

1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
2. SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" – 3,000 PSI.
5. MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL
6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS
7. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
8. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

NOT TO SCALE

5 | STANDARD SIDEWALK DETAIL

6



MUST COMPLY WITH CITY OF WILMINGTON STANDARDS

NOT TO SCALE

7 | DROP INLET DETAIL

8

9

NOT TO SCALE

For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date:_____ Permit #_____
Signed: _____

CITY OF WILMINGTON STANDARD NOTES:

1. CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING AT 1-800-632-4949.
2. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING;
3. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
5. INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
6. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
7. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
8. IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. POSTED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
9. CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
10. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
11. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND CURBING WILL BE REPLACED.
12. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
13. PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
14. IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
15. ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 332-6558 FOR INFORMATION.
16. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCCCHR OR ASSE.
17. WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED SINGLE STRAND COPPER WIRE INSTALLED THE ENTIRE LENGTH AND SECURED TO ALL VALVES. THIS WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
18. THE NUMBER AND SPACING OF DRIVEWAYS FOR ALL INTERCONNECTED SITES WILL BE DETERMINED BY THE COMBINED FRONTAGE OF THE INTERCONNECTED PROPERTIES.
19. UNDERGROUND FIRE LINE MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC ROW TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
20. A LANDSCAPE PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEER DIVISION AND PARKS AND RECREATIN DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT.
21. IF AND IRRIGATION SYSTEM IS PLANNED FOR THE SITE, UTILIZE MOISTURE SENSORS.
22. ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30"-10'.
23. PLEASE CONSIDER INCORPORATING XERIC LANDSCAPING FOR ALL NEW LANDSCAPING.

UTILITY NOTES FOR FIRE HYDRANTS:

1. FIRE HYDRANTS MUST BE WITHIN 150' OF THE FIRE DEPARTMENT CONNECTION.
2. THE FIRE DEPARTMENT CONNECTION MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
3. LANDSCAPING AND PARKING CANNOT BLOCK OR IMPEDE THE FIRE DEPARTMENT CONNECTIONS OR FIRE HYDRANTS. A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE FIRE HYDRANT CONNECTION AND THE FIRE HYDRANT.
4. FIRE HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
5. NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS.
6. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
7. THE CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
8. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.
9. UNDERGROUND FIRE LINE AND PRIVATE WATER MAINS MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
10. A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
11. HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMODATE BASE FIRE FLOW REQUIREMENTS OF THE STRUCTURE.
12. BUILDING CONSTRUCTION TYPE: V-B

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

SYMBOL	DATE	DESCRIPTION	BY

REVISIONS

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NOTES AND DETAILS
NHRMC ADDITIONAL PARKING
GLEN MEADE LOT
1915 GLEN MEADE ROAD
WILMINGTON, N. C.

OWNER/DEVELOPER
NHRMC
PO BOX 9000
WILMINGTON, NC 28402
910 343-2788

NORRIS & TUNSTALL
CONSULTING ENGINEERS, P.C.
902 MARKET STREET
WILMINGTON, NC 28401
PHONE (910) 343-9653
FAX (910) 343-9604
office@nteng.com
licence #C-3641

15031

DES.	JST
CKD.	JPN
DRWN.	NKS
DATE	9/2/15

NORTH CAROLINA PROFESSIONAL SEAL 19851 ENGINEER JOHN S. TUNSTALL

C5

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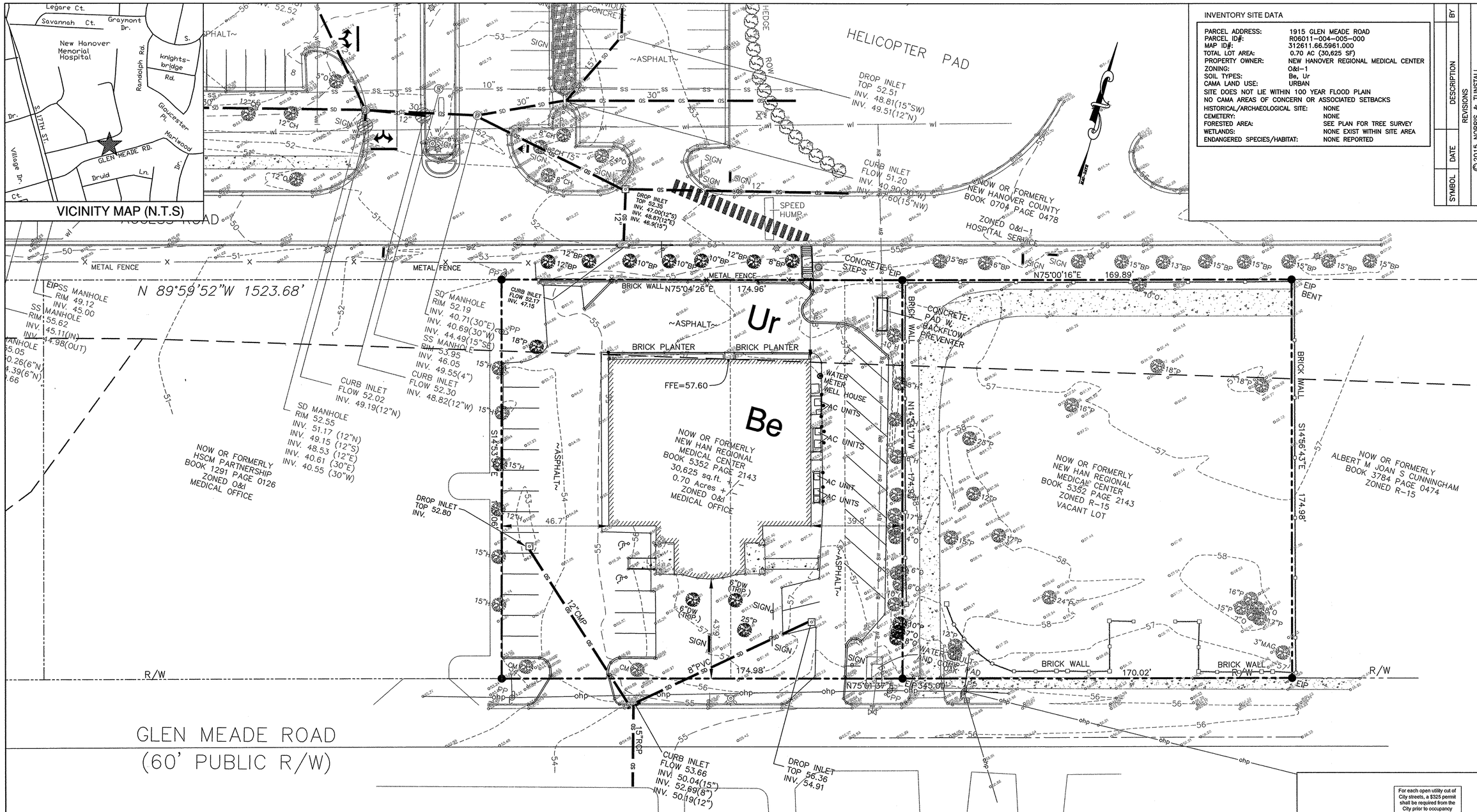

INVENTORY SITE DATA

PARCEL ADDRESS:	1915 GLEN MEADE ROAD
PARCEL ID#:	R06011-004-005-000
MAP ID#:	312611.66.5961.000
TOTAL LOT AREA:	0.70 AC (30,625 SF)
PROPERTY OWNER:	NEW HANOVER REGIONAL MEDICAL CENTER
ZONING:	O&I-1
SOIL TYPES:	Be, Ur
CAMA LAND USE:	URBAN

SITE DOES NOT LIE WITHIN 100 YEAR FLOOD PLAIN
NO CAMA AREAS OF CONCERN OR ASSOCIATED SETBACKS

HISTORICAL/ARCHAEOLOGICAL SITE:	NONE
CEMETERY:	NONE
FORESTED AREA:	SEE PLAN FOR TREE SURVEY
WETLANDS:	NONE EXIST WITHIN SITE AREA
ENDANGERED SPECIES/HABITAT:	NONE REPORTED

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

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INVENTORY SITE PLAN
NHRMC ADDITIONAL PARKING
GLEN MEADE LOT
1915 GLEN MEADE ROAD
WILMINGTON, N. C.

OWNER/DEVELOPER
NHRMC
PO BOX 9000
WILMINGTON, NC 28402
910 343-2788

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CONSULTING ENGINEERS, P.C.
902 MARKET STREET
WILMINGTON, NC 28401
PHONE (910) 343-9653
FAX (910) 343-9604
office@nrtseng.com
licence #C-3641

For each open utility cut of City streets, a $325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
DRAINAGE PLAN
Date:_____ Permit #:_____
Signed: _____

Approved Construction Plan
Name. Date.
Planning_____
Traffic_____
Fire_____

NCDENR PWSS WATER PERMIT #: _____
WATER CAPACITY: _____GPD
DWQ SEWER PERMIT #: _____
SEWER CAPACITY: _____GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

SCALE: 1" = 20'
0 20 40 60

15031	
DES.	JST
CKD.	JPN
DRWN.	NKS
DATE	8/4/15

NORTH CAROLINA PROFESSIONAL SEAL 19851 ENGINEER JOHN S. TUNSTALL

11

SURVEYOR
MICHAEL UNDERWOOD and ASSOCIATES, PA
102 CINEMA DRIVE, SUITE A
WILMINGTON, NC 28403
PHONE: 910-815-0650
FAX: 910-815-0393
E-MAIL: muo@bizec.rr.com Firm License #C-0615

NOW OR FORMERLY 1902 GM LLC BOOK 5838 PAGE 2137 ZONED O&I-1 DENTAL SERVICE

NOW OR FORMERLY ROGUE PROPERTIES LLC BOOK 4450 PAGE 0676 ZONED O&I-1 MEDICAL AND HEALTH

NOW OR FORMERLY WILLIAMS ROSIE W BOOK 9911 PAGE 1807 ZONED R-15 RESIDENCE

NOW OR FORMERLY HUTTON ALVIA M BOOK 9912 PAGE 0111 ZONED R-15 RESIDENCE

NOW OR FORMERLY PRIDGEN VICKI T BOOK 4528 PAGE 0421 ZONED R-15 RESIDENCE

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