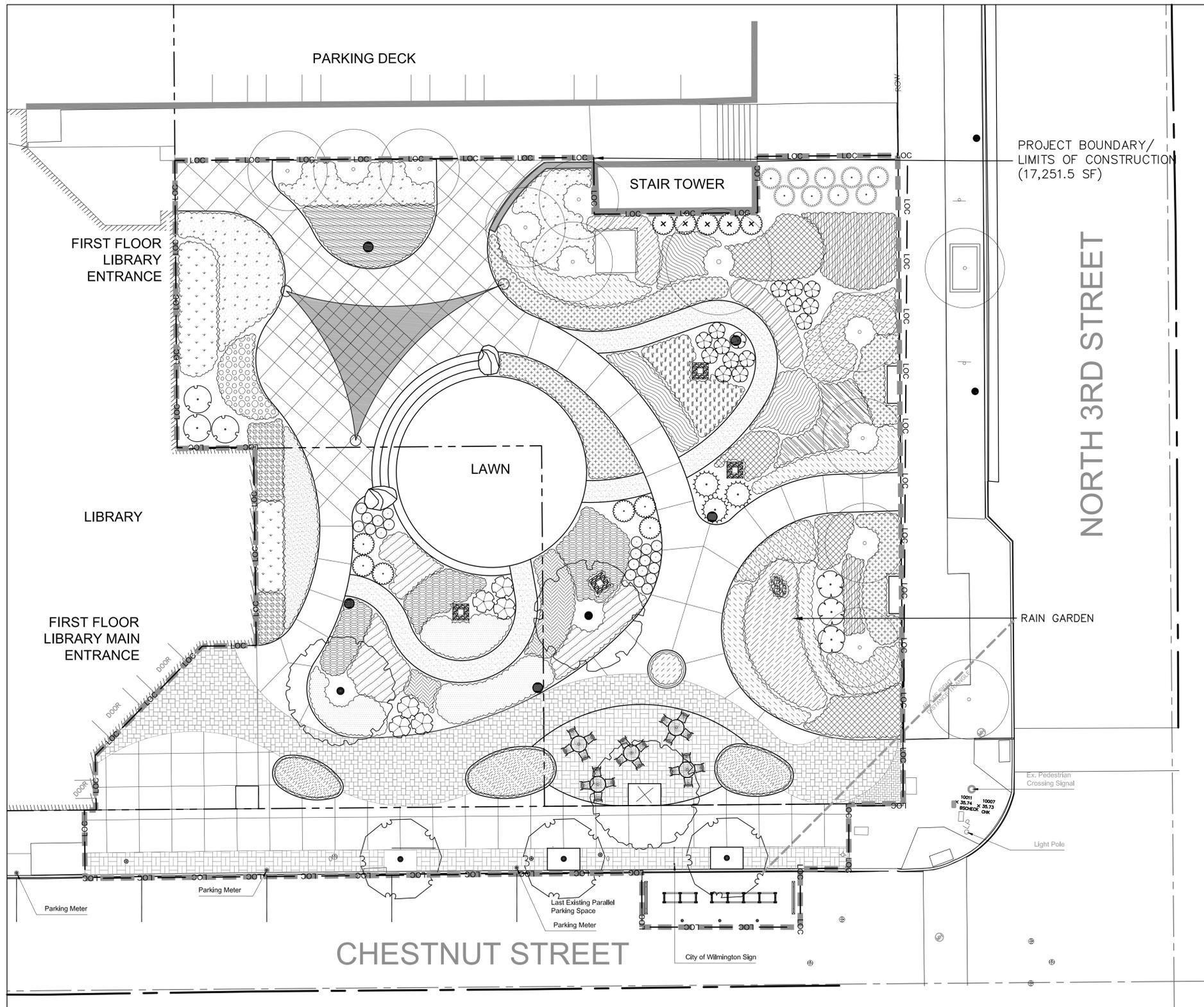


# Public Library Story Park

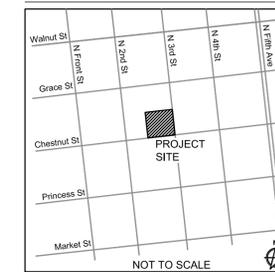
## City Submittal / Construction Plans

NEW HANOVER COUNTY  
209 CHESTNUT STREET, WILMINGTON, NC

February 11, 2016



### VICINITY MAP



**CITY OF WILMINGTON**  
NORTH CAROLINA

Construction Approval Block

Date: \_\_\_\_\_ Name: \_\_\_\_\_

Planning: \_\_\_\_\_

Traffic: \_\_\_\_\_

Fire: \_\_\_\_\_

Engineering: \_\_\_\_\_

Permit #: \_\_\_\_\_

### DRAWING INDEX:

- G100 GENERAL NOTES
- S1 SURVEY
- L100 DEMOLITION PLAN
- L200 LAYOUT PLAN
- L201 PAVEMENT SCORING PLAN
- L202 PEDESTRIAN PLAN
- L300 GRADING & DRAINAGE PLAN
- L400 PLANTING PLAN
- L401 SOIL PREPARATION PLAN
- D100 DETAILS
- D101 DETAILS
- D102 DETAILS

### SITE DATA:

Site Address: 209 Chestnut Street Wilmington, NC  
 New Hanover County Pin #: R04817-016-009-000  
 R04817-016-008-000

Owner: New Hanover County  
 Developer: New Hanover County  
 References: DB: 1160 PG: 19, DB: 1520 PG: 90  
 Total Parcel Acreage: 0.3398 + 0.065 = 0.4048 acres

Zoning on both parcels: CBD - Central Business District

### Total Parking Deck Size: Existing

Total Library Size: 96,960 SF  
 Basement: 24,240 SF  
 1st Floor: 24,240 SF  
 2nd Floor: 24,240 SF  
 3rd Floor: 24,240 SF

Building Setbacks: n/a  
 Required: n/a Proposed: n/a  
 Building Heights: Existing Parking Deck: 70' / 7 stories  
 Existing Library: 90' / 3 stories

Property Area (Excludes area within Chestnut St ROW): 15,584.5 SF / .36 acres  
 Pre-development Impervious Surface: On Site: 6,939 SF / 0.16 acres  
 Off Site (In R/W): 1,810 SF / .04 acres

Post-development Impervious Surface: On Site: 6,378 SF / 0.14 acres  
 Off Site (In R/W): 1,842 SF / 0.04 acres

On Site Impervious Surface Reduction: 607 SF / 0.014 acres

Demolished Impervious Surface: On Site: 6,883 SF / 0.15 acres  
 Off Site (In R/W): 1,627 SF / 0.04 acres

Newly Constructed Impervious Surface: On Site: 6,322 SF / 0.14 acres  
 Off Site (In R/W): 1,580 SF / 0.04 acres

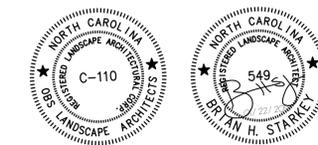
Building Lot Coverage: n/a

Off Street Parking - 250 dedicated spaces in the County parking deck. 5 are accessible.  
 Total of 820 spaces in parking deck. 16 total accessible spaces.

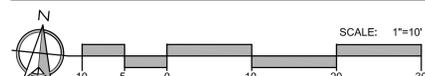
Bicycle Parking - 15 bicycle parking spaces required / 16 provided.

CAMA Land Use: Urban

### LANDSCAPE ARCHITECT:



po box 28504  
 raleigh nc 27611  
 919-755-0046  
 obsla.net



**GENERAL NOTES:**

- Contractor shall inspect site prior to bidding and start of work; verify existing conditions match plans and accept site, or report any discrepancies immediately to the owner.
- Limits of construction activities will adhere to those clearly indicated on the plans unless designated otherwise.
- Contractor is responsible for scheduling all pre-construction meetings with all applicable governing jurisdictions. Contractor is responsible for obtaining and paying for all permits, inspections, and certifications that may be required.
- All work shall be in accordance with New Hanover County, Wilmington, & NCDOT standard specifications and details.
- Contractor shall keep job site free of trash and garbage, and shall immediately collect any construction-related debris or trash that is on right of way or adjoining properties.
- Construction fencing to be installed prior to any demolition or construction activities. Fence to be 6' high chain link with lockable gates. Fence shall be maintained throughout construction and relocated as needed during construction to maintain building egress and coordinated with the Fire Marshall.
- Tree protection fence is to be installed prior to any construction and be maintained throughout construction and removed accordingly after construction. Location to be approved by landscape architect prior to disturbance.
- All soil erosion control measures required shall be installed prior to grading, clearing, or grubbing. All erosion control devices such as silt fences, etc., shall be maintained in workable conditions for the life of the project and shall be removed at the completion of the project only on the landscape architect's approval. If during the life of the project, a storm causes soil erosion which changes finish grades or creates "gullies" and "washed areas", these shall be repaired, and all silt washed off the project site onto adjacent property shall be removed at no extra cost to the owner. The contractor shall adhere to any approved erosion control plans whether indicated in the construction plans or under separate cover.
- Contractor shall restore any facilities or utilities damaged during construction.
- Any discrepancies in plans, or departure from plans shall be reported to the landscape architect immediately, and no work shall continue on affected issue until directed by landscape architect.
- Prepare and maintain on job site 'as-built' plans. Contractor to prepare and maintain 'as built' plans. Contractor responsible for the preparation and delivery of as built drawings to the owner.
- Finish grade tolerances shall be as noted in the specifications. The landscape architect may make minor grade changes as required in the field without effecting the unit bid price for unclassified excavation.
- Entire area to be graded shall be cleared and grubbed. No fill shall be placed on any area not cleared and grubbed.
- The contractor is responsible for the coordination and adjustment of all utility surface accesses whether he performs the work or a utility company performs the work.
- The contractor shall control all "dust" by periodic watering and shall provide access at all times for property owners within the project area and for emergency vehicles. All open ditches and hazardous areas shall be clearly marked in accordance with the specifications.
- The contractor shall enter and exit the site via the temporary construction entrance as detailed in the drawings.
- All work must comply with North Carolina State Building and Handicapped Accessibility Code.
- Prevent spilling of fuels, lubricants, coolants, hydraulic fluids, and any other petroleum products onto the ground or into surface waters. Dispose of spent fuels appropriately. As per law, contractor is responsible for all costs associated with hazardous material spills including remediation.
- DISPOSABLE MATERIAL**
  - Clearing and grubbing wastes shall be removed from the site and properly disposed of by the contractor at his expense, unless specified otherwise. Solid wastes to be removed, such as sidewalks, curbs, pavement, etc., shall be removed from the site as required by the specifications.
  - Abandoned utilities such as culverts, water pipe, hydrants, castings, pipe appurtenances, utility poles, etc., shall be the property of the specific utility agency, or company having jurisdiction. Before contractor can remove, destroy, salvage, reuse, sell or store for his own use any abandoned utility, he must present to the owner written permission from the utility company involved.
  - The open burning of trees, limbs, stumps and construction debris associated with this development is prohibited.

**CITY OF WILMINGTON GENERAL NOTES:**

- Prior to any clearing, grading, or construction activity, tree protection fencing shall be installed around protected trees or groves of trees. No construction workers, tools, materials, or vehicles are permitted within the tree protection fencing.
- Any trees and/or areas designated to be protected must be properly barricaded with fencing and protected throughout construction to insure that no clearing, grading, or staging of materials will occur in those areas.
- No equipment is allowed on site until all tree protection fencing and silt fencing is installed and approved. Protective fencing is to be maintained throughout the duration of the project, and contractors shall receive adequate instruction on tree protection methods.
- Traffic control devices (including signs and pavement markings) in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards.
- Contact Traffic Engineering at 910-341-7888 to ensure that all traffic signal facilities and equipment are shown on the plan.
- Contact Traffic Engineering at 910-341-7888 forty-eight hours prior to any excavation in the right-of-way.
- Stop signs and street signs are to remain in place during construction.
- Tactile warning mats will be installed on all wheelchair ramps.
- Any broken or missing sidewalk panels, driveway panels, and curbing will be replaced.
- Project shall comply with CDFUA Cross Connection Control requirements. Water meter(s) cannot be released until all requirements are met and the State has given their final approval. Call 910-343-3910 for information.
- If the contractor desires CFPWA water for construction, he shall apply in advance for this service and must provide a reduced pressure zone (RPZ) backflow prevention device on the developer's side of the water meter box.
- Any irrigation system supplied by CFPWA water shall comply with the CFPWA Cross Connection Control regulations. Call 919-343-3910 for information.
- Any irrigation system shall be equipped with a rain and freezer sensor.
- Any backflow prevention devices requirement by the CFPWA will need to be on the list of approved devices by USFCCHHR or ASSE.
- Contractor to field verify existing water and sewer service locations, sizes and materials prior to construction. Engineer to be notified of any conflicts.
- Contractor shall maintain all-weather access for emergency vehicles at all times during construction.
- No obstructions are permitted in the space between thirty (30) inches and ten (10) feet above the ground within the triangular sight distance.
- Contact the North Carolina One Call Center at 1-800-632-4949 prior to any digging, clearing, or grading.
- All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
- A utility cut permit is required for each open cut of a city street. In certain cases an entire resurfacing of the area being open cut may be required.
- Contractor to contact Traffic Engineering at (910) 341-7888 to locate, coordinate, and protect the fiber optic cable and equipment during demolition and other construction activities.

**GENERAL DEMOLITION NOTES:**

- Construction and Tree protection fencing must be in place prior to any clearing, demolition, and disturbance or issuance of grading permit and maintained throughout construction. Landscape Architect to verify fence location prior to construction.
- All materials noted for removal to be disposed of off-site and in a legal manner, unless otherwise noted. Contractor to recycle materials as appropriate including asphalt, concrete, brick, and vegetation.
- Items or elements noted for removal and return to owner or relocation shall be stored on-site at owner's direction.
- Items not noted for removal, including trees, lights, plant material, paving, and all utilities shall be protected and secured throughout construction. Any damage incurred shall be corrected in kind at no additional cost to the owner.
- Erosion control measures to be installed prior to site disturbance.
- If root systems of existing trees noted to remain on site are encountered during construction, roots are to be pruned under the direction a Certified Arborist.
- Contractor to verify location of existing utilities prior to construction.
- Contractor to keep construction entrance and adjacent streets clean throughout construction.
- Contractor shall keep job site free of trash and garbage.
- Any discrepancies in plans or departure from plans shall be reported to the Landscape Architect immediately.
- All pavement / curb to be saw cut at limits of removal.

**GENERAL LAYOUT NOTES:**

- Drawings based on survey provided by Bateman Civil Survey Company. Landscape Architect assumes no responsibility for the accuracy of the survey.
- Any discrepancies in layout should be brought to the attention of the Landscape Architect immediately.
- Written dimensions supercede scaled dimensions. Do not scale drawings.
- Layout to be staked by a surveyor licensed in North Carolina and approved by Landscape Architect prior to installation.

**GENERAL GRADING NOTES:**

- Construction fencing and tree protection fencing must be in place prior to any clearing, demolition, and disturbance or issuance of grading permit and maintained throughout construction. Landscape Architect to verify fence location prior to construction.
- Contractor to insure positive drainage away from buildings.
- All slopes to be consistent and uniform.
- Bottom of wall elevations (BW) refer to finish grade not top or bottom of wall footing.
- Spot elevations reference final surface elevations.
- Subgrade elevations shall reflect slope and grade of final surface elevations.
- All proposed pavement shall meet existing pavement, flush.
- All walks to exhibit a 2% cross slope and not exceed 5% slope in the direction of pedestrian movement unless otherwise noted. Any existing walks that don't comply should be brought to Landscape Architect's attention prior to demolition and replacement.
- The contractor shall install and maintain sufficient erosion and sediment control measures as needed to keep sediment within the project work area. Any sediment deposited outside the project work area, including tracking out, shall be immediately cleaned up by sweeping and removing the material by hand. Accumulated sediment on hard surfaces shall not be washed into storm drains, gutters or receiving waters. All installed erosion and sediment control measures shall be removed once the project area is fully stabilized.

**GENERAL PLANTING NOTES:**

- Contractor is responsible for identifying all utilities prior to beginning construction.
- Trees shall be located a minimum of 5 feet from sewer/water connections or as otherwise dictated by local regulations. Contractor shall be liable for damage to any and all public or private utilities.
- All plant materials to comply with the current version of the American Standard for Nursery Stock ANSI Z60
- Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.
- Establish plant bed configuration. Landscape Architect to approve bed layout in field.
- Perform soil test in all new plant beds and amend soils as recommended.
- Install plants and mulch plant beds with 3" shredded hardwood mulch.
- All trees to be installed between October 1 and April 30. Cost of any delayed tree installation to be included in the base bid.
- Contractor to guarantee plant materials according to the specifications.
- Areas damaged by activities of contractor shall be re-established to pre-disturbance condition at no additional cost to the owner.
- Use herbicides, pesticides, and fertilizer in a manner consistent with the federal insecticide, fungicide, and rodenticide act and in accordance with label restrictions.
- Contractor shall protect any existing planting not involved in new construction.
- Contractor shall insure that all plant material is free of fire ants prior to installation.
- Landscape Architect / Owner shall approve placement of trees prior to planting.
- All proposed vegetation within sight distance triangles shall not interfere with clear, visual sight lines from 30'-10' in height.
- All areas, within limits of construction, unpaved and not noted for lawn to be mulched per specifications.

**PROJECT COORDINATION NOTES:**

- Contractor to maintain public access to the Library through one of the two first floor entrances throughout construction.
- New Hanover County will be managing a foundation waterproofing project along the west elevation and around the corners at each entrance prior to construction of this project. Precise schedule of waterproofing project is unknown. Waterproofing contractor will be off site prior to project commencement. Contractor will only be responsible for accepting site conditions. Cost associated with items and quantity of materials noted for demolition in these plans will be adjusted based on unit prices.

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Construction Approval Block

Date: \_\_\_\_\_ Name: \_\_\_\_\_

Planning: \_\_\_\_\_

Traffic: \_\_\_\_\_

Fire: \_\_\_\_\_

Engineering: \_\_\_\_\_

Permit #: \_\_\_\_\_



CONSULTANTS:



SEALS:

**Public Library Story Park**  
New Hanover County  
209 Chestnut Street Wilmington, NC

DATE: 02/11/16  
DESIGNER: LED  
CHECKED BY: BHS

**REVISIONS**

NO.	DATE

SCALES  
HORIZ: NTS

BID DOCUMENTS

GENERAL NOTES

**G100**

**SURVEYOR CERTIFICATION**

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM DEED AND MAP REFERENCES SHOWN HEREON AND THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION SHOWN HEREON; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600)." THIS 9TH DAY OF DECEMBER, 2014.

PETER J. BRENNAN, JR.  
CITY SURVEYOR, NCPLS # 3743

THIS DOCUMENT ORIGINALLY ISSUED AND SEALED BY PETER J. BRENNAN, JR., NCPLS # 3743, AND MAY 5, 2015. THIS MEDIUM SHALL NOT BE CONSIDERED A CERTIFIED DOCUMENT.

I, PETER J. BRENNAN, JR. CERTIFY THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL (GROUND) SURVEY MADE UNDER MY SUPERVISION; THAT THIS SURVEY WAS PERFORMED TO MEET FEDERAL GEOGRAPHIC STANDARDS AS APPLICABLE; THAT THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON AUGUST 9, 2014; THAT THE SURVEY WAS COMPLETED ON SEPTEMBER 22, 2014; THAT CONTOURS SHOWN AS BROKEN LINES MAY NOT MEET THAT STATED STANDARD; AND ALL COORDINATES ARE BASED ON NAD '83 (2012).

I, PETER J. BRENNAN, JR. CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY.

- CLASS OF SURVEY: C
- POSITIONAL ACCURACY: <1CM
- TYPE OF GPS FIELD PROCEDURE: RTN
- DATES OF SURVEY: AUGUST 5, 2014 THROUGH SEPTEMBER 22, 2014
- DATUM/EPOCH: NAD '83 (2011)
- PUBLISHED / FIXED CONTROL: NCGS REAL TIME NETWORK
- GEOID MODEL: NAD 83 (2012)
- COMBINED GRID FACTOR(S):
- UNITS: U.S. SURVEY FEET

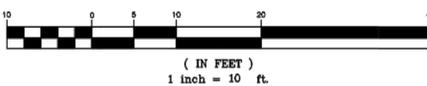
**NOTES:**

- ALL DISTANCES ARE HORIZONTAL GROUND.
- AREAS DETERMINED BY COORDINATE COMPUTATION.
- CONTOUR INTERVAL = 0.5'
- SUBJECT PROJECT DOES NOT LIE WITHIN A FEMA DESIGNATED FLOOD HAZARD AREA PER FIRM MAP 3720311700K DATED JUNE 2, 2006.
- UNDERGROUND UTILITIES SHOWN AS MARKED OUT BY CAROLINA 811. TICKET(S) No. A131892410 AND A141981053-00A DATED: 7/30/14. SURVEY CERTIFICATIONS APPLY ONLY TO THE LOCATION OF THE VISIBLE ABOVE GROUND UTILITIES AND MARKINGS AS A RESULT OF THIS TICKET. NO CERTIFICATION IS GIVEN TO THE LOCATION OR EXISTENCE OF UTILITIES THAT WERE NOT MARKED, OR WERE MARKED OUT IMPROPERLY IN RESPONSE TO THE MARK OUT REQUEST.
- GPS CERTIFICATION APPLIES TO CONTROL POINTS ONLY. ALL OTHER SURVEYING WAS PERFORMED BY GROUND METHODS.
- OWNERS OF RECORD FROM NEW HANOVER COUNTY GIS. NO TITLE SEARCHES WERE PERFORMED BY THE SURVEYOR.

**REFERENCES:**

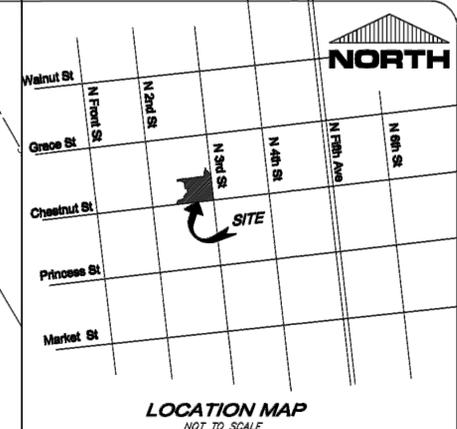
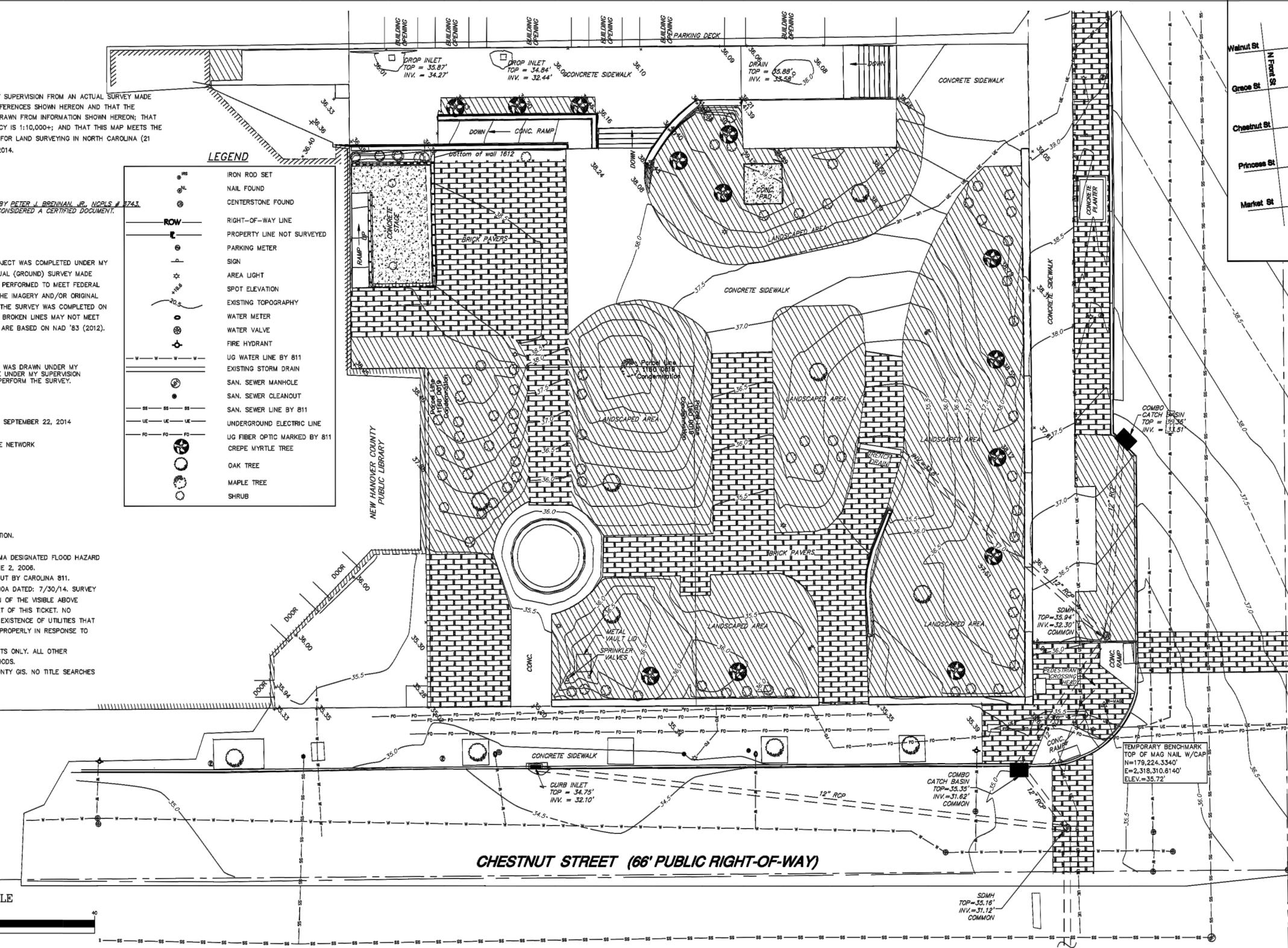
- DEED BOOK 1160 PAGE 19
- DEED BOOK 1520 PAGE 90
- MAP BOOK 11 PAGE 11

**GRAPHIC SCALE**

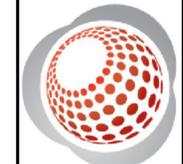


**LEGEND**

	IRON ROD SET
	NAIL FOUND
	CENTERSTONE FOUND
	RIGHT-OF-WAY LINE
	PROPERTY LINE NOT SURVEYED
	PARKING METER
	SIGN
	AREA LIGHT
	SPOT ELEVATION
	EXISTING TOPOGRAPHY
	WATER METER
	WATER VALVE
	FIRE HYDRANT
	UG WATER LINE BY 811
	EXISTING STORM DRAIN
	SAN. SEWER MANHOLE
	SAN. SEWER CLEANOUT
	SAN. SEWER LINE BY 811
	UNDERGROUND ELECTRIC LINE
	UG FIBER OPTIC MARKED BY 811
	CREPE MYRTLE TREE
	OAK TREE
	MAPLE TREE
	SHRUB



**Bateman Civil Survey Company**  
Engineers • Surveyors • Planners  
200 N. Main Street, Holly Springs, NC 27540  
Phone: 919.577.1080 Fax: 919.577.1081  
NCBELS FIRM No. C-2378



REVISION FOR  
NEW HANOVER COUNTY  
JULY 10, 2015  
PRELIMINARY PLAT  
NOT FOR RECORDATION,  
CONVEYANCES, OR SALES.

Drawn By: SSD  
Checked By: AWC  
Scale: 1" = 40'  
Project Number: 15W072

REV#	REVISIONS	DATE
#1	ADDED SPOT SHOTS, UTILITY VERIFICATION	7/10/15

DATE	DECEMBER, 2014	DATE OF SURVEY:	8/20/14-8/22/14
PROJECT NUMBER		DRAWN	OTR
PROJECT ENGINEER		CHECKED	PJBB
		SURVEYOR	BB

**CITY OF WILMINGTON**  
NORTH CAROLINA

City Surveying • Engineering Division • Public Services  
P.O. Box 1810 • 212 Operations Center Drive • Wilmington, NC 28412 • (910) 941-7007

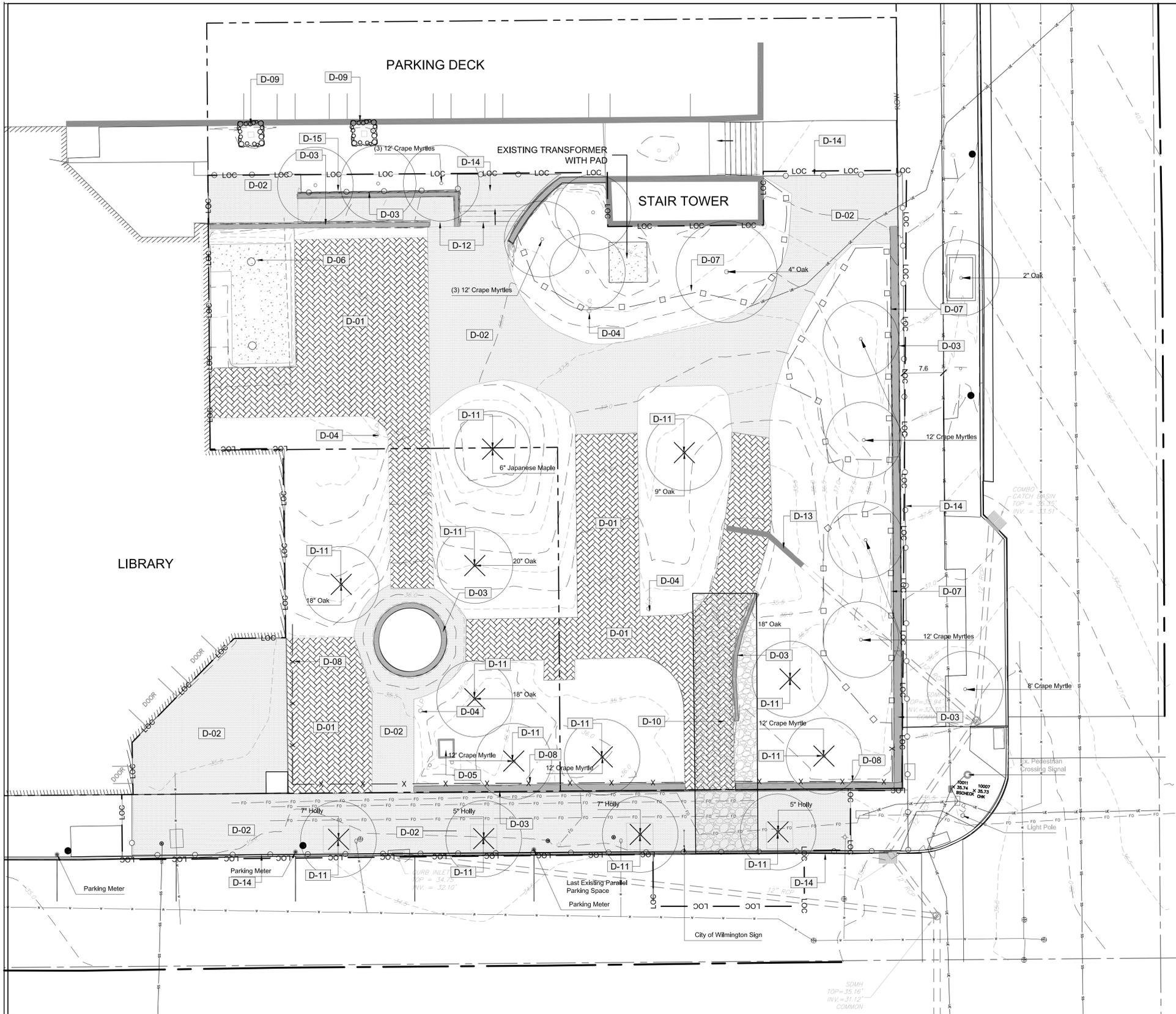
**PRELIMINARY PLAT**  
NOT FOR RECORDATION,  
CONVEYANCES, OR SALES.

DWG PATH  
Public Fac-NHCO Public Library Main Branch  
Improvements-2014 Drawings & Space Bid Drawings  
FILE NAME: NHCO Library existing conditions.dwg

**EXISTING CONDITIONS SURVEY OF  
THE NEW HANOVER COUNTY PUBLIC LIBRARY**

CITY OF WILMINGTON WILMINGTON TOWNSHIP NEW HANOVER COUNTY, NORTH CAROLINA

SCALE  
1" = 10'  
SHEET  
1 of 1



**DEMOLITION SCHEDULE**

CODE	DESCRIPTION	DETAIL
D-01	Remove brick paving in its entirety	
D-02	Remove Concrete Paving in its entirety.	
D-03	Remove Wall in its entirety	
D-04	Remove light pole in its entirety	
D-05	Remove Fountain Pump in its entirety	
D-06	Remove stage, walls, ramp, and paving in its entirety. (Canopy not in contract)	
D-07	Tree Protection Fence	2/D100
D-08	Silt Fence	1/D100
D-09	Inlet Protection	1/D100
D-10	Construction Entrance	1/D100
D-11	Remove tree in its entirety	
D-12	Remove existing ramp and stairs	
D-13	Remove trench drain and pipe to limits shown	
D-14	6' tall, temporary chainlink fence to be kept in place throughout construction at limits of construction (LOC) unless otherwise shown.	
D-15	Following removal of wall and ramp, tree protection fence to be installed around 3 Crape Myrtles.	

Contact the North Carolina One Call Center at 1-800-632-4949 prior to any digging, clearing, or grading.

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Construction Approval Block

Date: \_\_\_\_\_ Name: \_\_\_\_\_

Planning: \_\_\_\_\_

Traffic: \_\_\_\_\_

Fire: \_\_\_\_\_

Engineering: \_\_\_\_\_

Permit #: \_\_\_\_\_



CONSULTANTS:



SEALS:

**Public Library Story Park**  
New Hanover County  
209 Chestnut Street Wilmington, NC

DATE: 02/11/16

DESIGNER: LED

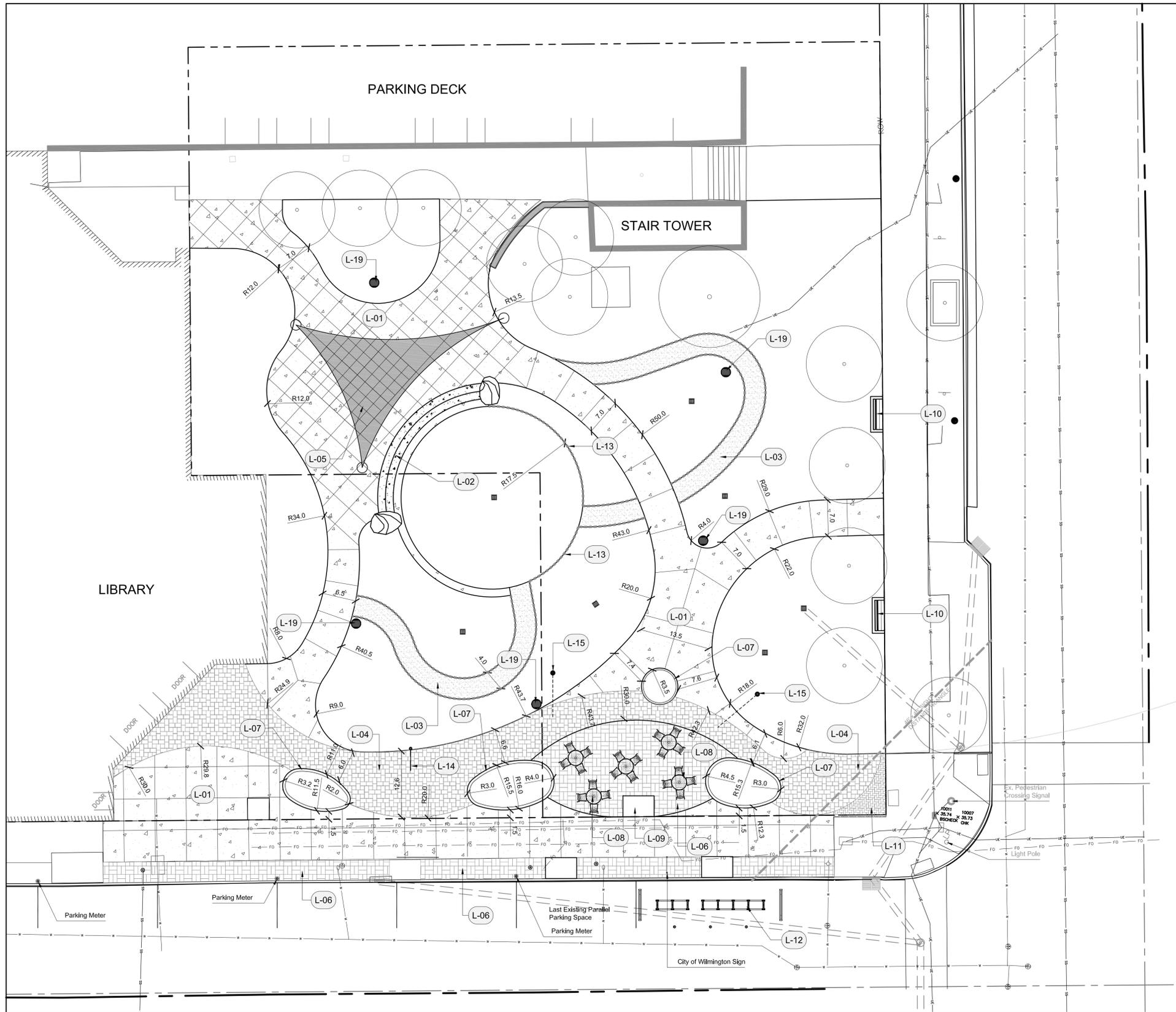
CHECKED BY: BHS

**REVISIONS**

NO.	DATE

SCALES  
HORIZ: 1"=10'  
BID DOCUMENTS  
DEMOLITION PLAN

**L100**



### LAYOUT SCHEDULE

CODE	DESCRIPTION	DETAIL
L-01	Concrete Paving. Concrete paving within right of way to comply with City of Wilmington standards.	4/D100
L-02	Concrete Stairs & Boulders	3/D101
L-03	Grit path with steel edging	5/D100
L-04	Permeable Concrete Pavers	7/D101
L-05	Fabric Shade Canopy Structure. Refer to specifications, this sheet.	
L-06	Brick Paving	6/D100
L-07	Planter Curb	4/D101
L-08	Tables & Chairs (Not in Contract, Purchased by Owner)	
L-09	Tree Pit with Structural Soil & Grate	1/D102
L-10	Bench on concrete pad. 6' C-10 Classic Series bench with center arm rest in Cherry as manufactured by Victor Stanley. Contractor to install per manufacturer's specifications.	5/D101
L-11	Brick Paving to match existing. Herringbone pattern with border.	6/D100
L-12	Streetside bicycle corral. 8 industrial hoop bicycle racks as manufactured by Dero or approved equal.	3/D100
L-13	Steel edging	7/D102
L-14	Observation well for Permeable pavers	6/D101
L-15	Pop-up drain for permeable pavers	6/D101
L-19	Duke Power LED Pedestrian shoebox light fixture.	

### SHADE SAIL SPECIFICATION

**SAIL:**  
 Shade sails shall be a three-point design measuring 40' x 40' x 30' mounted to steel support columns. The sail fabric is to have a minimum shade factor of 85% and a minimum UV factor of 90%. Fabric shall carry a 10 year warranty against significant fading, deterioration, breakdown, mildew and outdoor heat/cold. Entry height to be a minimum of 12' at 2 posts and a minimum height of 16' at the narrow end. The sails shall have a minimum 100mph wind speed rating. The colors for the fabric to be selected from manufacturer's color charts by the Landscape Architect / Owner prior to ordering and installation.

**COLUMNS:**  
 Steel columns shall be powder-coated steel and imbedded in concrete footings per manufacturer's recommendations. The colors for the powder coating to be selected from manufacturer's color charts by Landscape Architect / Owner prior to ordering and installation.

**HARDWARE:**  
 All hardware shall be stainless steel.



Construction Approval Block

Date: \_\_\_\_\_ Name: \_\_\_\_\_

Planning: \_\_\_\_\_

Traffic: \_\_\_\_\_

Fire: \_\_\_\_\_

Engineering: \_\_\_\_\_

Permit #: \_\_\_\_\_



CONSULTANTS:



SEALS:

**Public Library Story Park**  
 New Hanover County  
 209 Chestnut Street Wilmington, NC

DATE: 02/11/16

DESIGNER: LED

CHECKED BY: BHS

#### REVISIONS

NO.	DATE

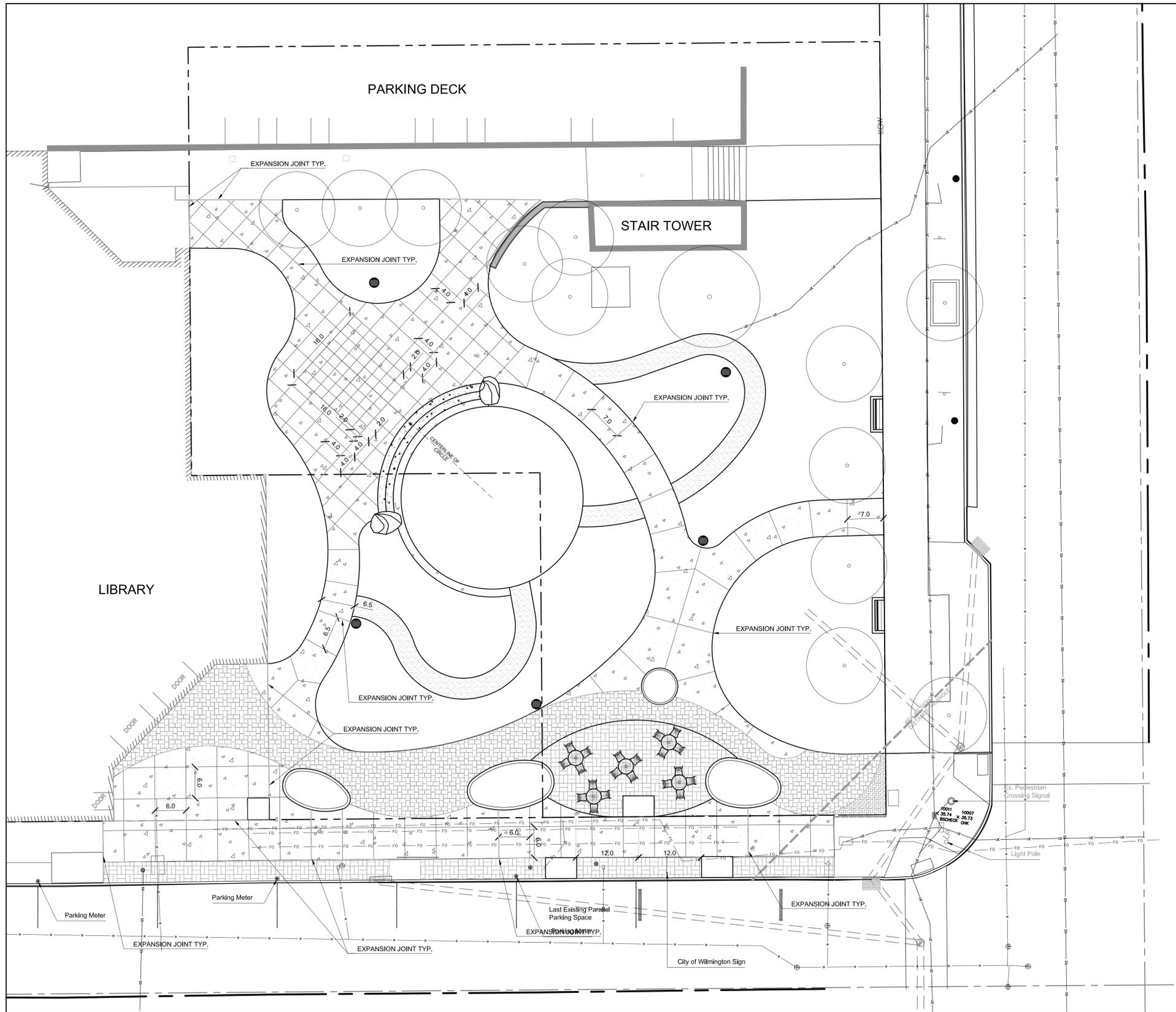
SCALES  
 HORIZ: 1"=10'

BID DOCUMENTS

LAYOUT PLAN

**L200**





**CITY OF WILMINGTON**  
NORTH CAROLINA

Construction Approval Block

Date: \_\_\_\_\_ Name: \_\_\_\_\_

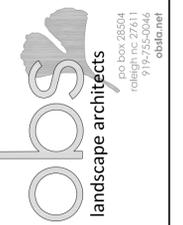
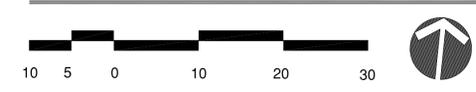
Planning: \_\_\_\_\_

Traffic: \_\_\_\_\_

Fire: \_\_\_\_\_

Engineering: \_\_\_\_\_

Permit #: \_\_\_\_\_



CONSULTANTS:



SEALS:

**Public Library Story Park**  
New Hanover County  
209 Chestnut Street Wilmington, NC

DATE: 02/11/16

DESIGNER: LED

CHECKED BY: BHS

**REVISIONS**

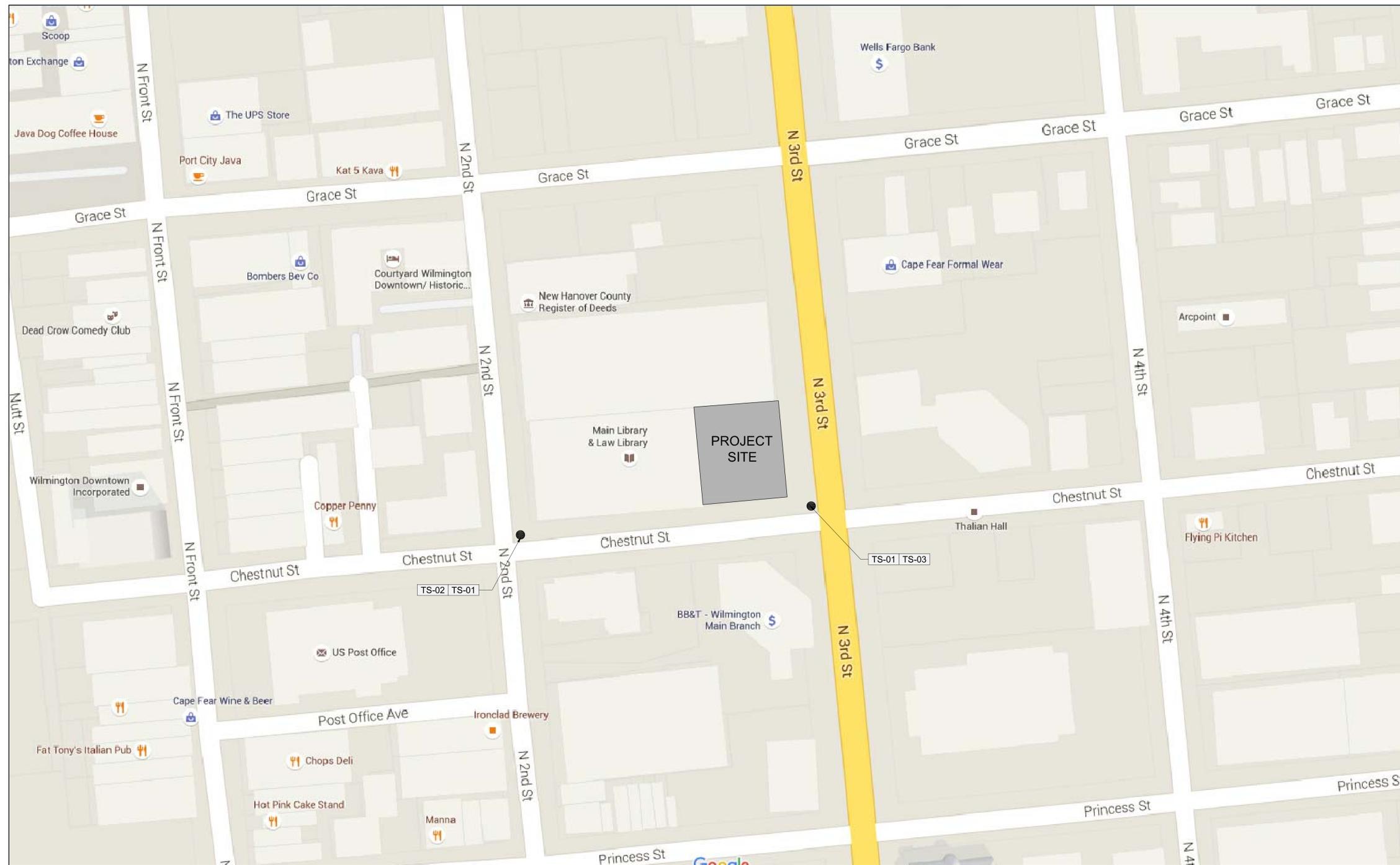
NO.	DATE

SCALES  
HORIZ: 1"=10'

SITE PLAN APPROVAL

PAVEMENT SCORING PLAN

**L201**



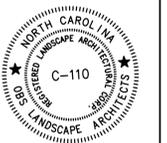
**TS TEMPORARY SIGNAGE SCHEDULE**

CODE	DESCRIPTION
TS-01	Temporary Sign for pedestrian control during construction. Contractor to install R9-9 (Sidewalk Closed) per MUTCD standards until the work within the Right of Way of Chestnut Street is complete.
TS-02	Temporary Sign for pedestrian control during construction. Contractor to install sign M4-9aR (Detour Right) per MUTCD standards until the work within the Right of Way of Chestnut Street is complete.
TS-03	Temporary Sign for pedestrian control during construction. Contractor to install sign M4-9aL (Detour Left) per MUTCD standards until the work within the Right of Way of Chestnut Street is complete.

  
 Construction Approval Block  
 Date: \_\_\_\_\_ Name: \_\_\_\_\_  
 Planning: \_\_\_\_\_  
 Traffic: \_\_\_\_\_  
 Fire: \_\_\_\_\_  
 Engineering: \_\_\_\_\_  
 Permit #: \_\_\_\_\_



CONSULTANTS:



SEALS:

**Public Library Story Park**  
 New Hanover County  
 209 Chestnut Street Wilmington, NC

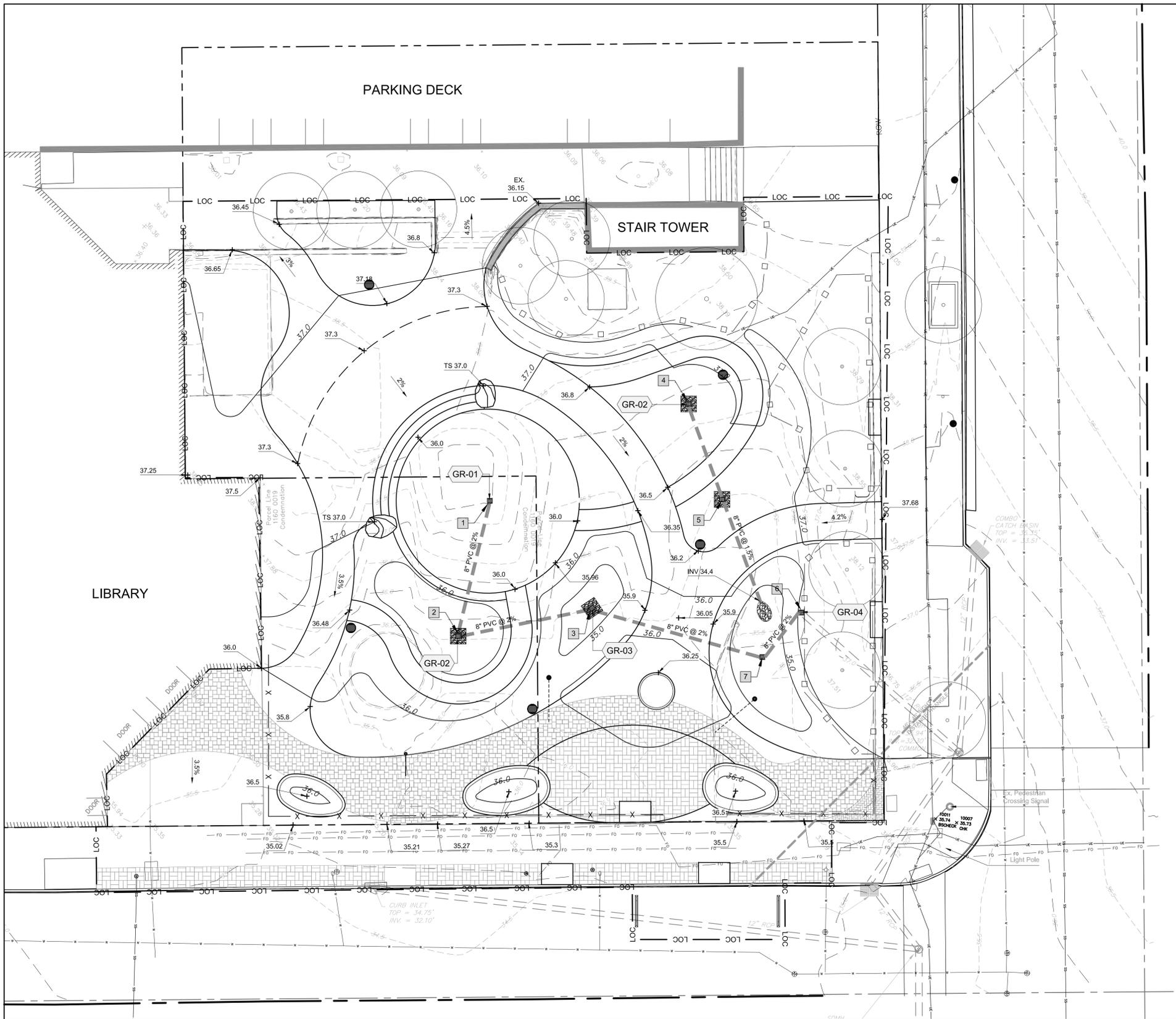
DATE: 02/11/16  
 DESIGNER: LED  
 CHECKED BY: BHS

**REVISIONS**

NO.	DATE

SCALES  
 HORIZ: NTS  
 BID DOCUMENTS  
 PEDESTRIAN PLAN

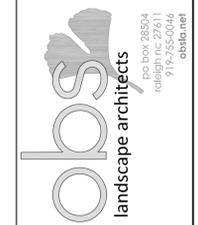
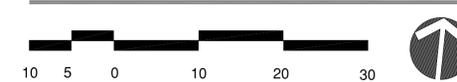
**L202**



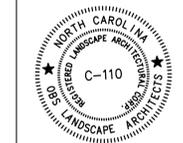
GR Grading SCHEDULE		
CODE	DESCRIPTION	DETAIL
GR-01	12" Catch Basin (in lawn)	1/D101
GR-02	12" Storm Inlet with Stone Surround	9/D101
GR-03	Catch Basin / Riser	
GR-04	Junction Box	

STORM SEWER SCHEDULE			
STRUCTURE	RIM	INVERT IN	INVERT OUT
1	35.65	-	34.6
2	35.75	34.1	34.1
3	34.75	33.6	33.6
4	36.0	-	35.0
5	36.0	35.73	35.73
6	36.5	32.7	32.7
7	35.5	32.9	32.9

  
 Construction Approval Block  
 Date: \_\_\_\_\_ Name: \_\_\_\_\_  
 Planning: \_\_\_\_\_  
 Traffic: \_\_\_\_\_  
 Fire: \_\_\_\_\_  
 Engineering: \_\_\_\_\_  
 Permit #: \_\_\_\_\_



CONSULTANTS:



SEALS:

**Public Library Story Park**  
 New Hanover County  
 209 Chestnut Street Wilmington, NC

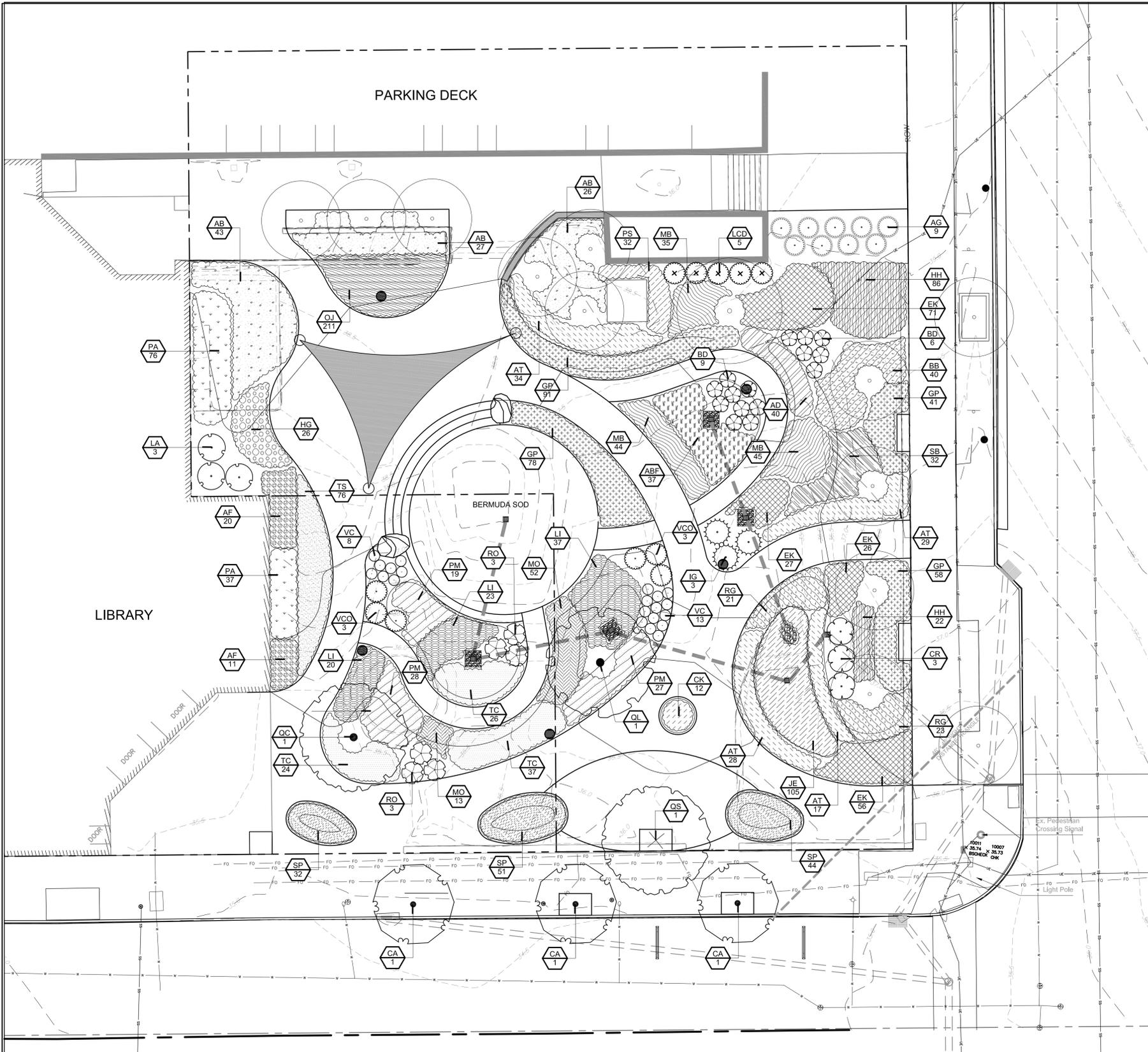
DATE: 02/11/16  
 DESIGNER: LED  
 CHECKED BY: BHS

REVISIONS	
NO.	DATE

SCALES  
 HORIZ: 1"=10'  
 BID DOCUMENTS

GRADING & DRAINAGE PLAN

L300



### PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	REMARKS
CA	3	Carpinus caroliniana / American Hornbeam	B & B	4"Cal	Single Straight Leader, Uniform Canopy
QC	1	Quercus coccinea / Scarlet Oak	B & B	4"Cal	Single Straight Leader, Uniform Canopy
QL	1	Quercus lyrata / Overcup Oak	B & B	4"Cal	Single Straight Leader, Uniform Canopy
QS	1	Quercus shumardii / Shumard Red Oak	B & B	4"Cal	Single Straight Leader, Uniform Canopy

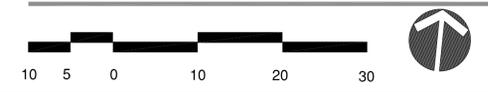
  

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	HT.	REMARKS
AG	9	Abella x grandiflora 'Canyon Creek' / Glossy Abella	3 gal	18" Min	Fully Rooted, 4' OC
BD	15	Buddleia davidii 'Blue Chip' / Dwarf Butterfly Bush	3 gal.		Fully Rooted, 3' OC
CR	3	Clethra alnifolia 'Ruby Spice' / Ruby Spice Clethra	3 gal	18" Min	Fully Rooted, 5' OC
IG	3	Ilex glabra 'Shamrock' / Inkberry	3 gal	18" Min	Fully Rooted, 5' OC
LA	3	Leucothoe axillaris / Coastal Leucothoe	3 gal	18" Min	Fully Rooted, 5' OC
LCD	5	Loropetalum chinense 'Daruma' / Daruma Dwarf Loropetalum	3 gal.	18" Min	Fully Rooted, 4' OC
RO	6	Rosmarinus officinalis 'Roman Beauty' / Roman Beauty Rosemary	1 gal		Fully Rooted, 4' OC
VCO	6	Vaccinium corymbosum / Highbush Blueberry	3 gal	18" Min	Fully Rooted, 4' OC
VC	21	Vaccinium crassifolium 'Wells Delight' / Creeping Blueberry	3 gal.		Fully Rooted, 2' OC

GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT	REMARKS
ABF	37	Agastache x 'Blue Fortune' / Anise Hyssop	1 gal	Fully Rooted, 24" OC
AB	96	Ajuga reptans 'Bronze Beauty' / Bronze Beauty Bugleweed	1 gal	Fully Rooted, 30" OC
AT	108	Asclepias tuberosa / Butterfly Milkweed	Qt	Fully Rooted, 24" OC
AD	40	Aster dumosus 'Wood's Pink' / Wood's Aster	1 gal	Fully Rooted, 18" OC
AF	31	Astilbe x arendsi 'Fanal' / Fanal Astilbe	1 gal	Fully Rooted, 24" OC
BB	40	Baptisia bracteata / Cream Wild Indigo	1 gal.	Fully Rooted, 24" OC
CK	12	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	3" pot	Fully Rooted, 18" OC
EK	180	Echinacea purpurea 'Kim's Knee High' TM / Purple Coneflower	1 gal	Fully Rooted, 18" OC
GP	268	Gaillardia pulchella / Firewheel	Qt	Fully Rooted, 18" OC
HH	108	Helenium autumnale Helena Red / Sneezeweed	Qt	Fully Rooted, 18" OC
HG	26	Heuchera villosa 'Georgia Peach' / Georgia Peach Coral Bells	1 gal	Fully Rooted, 24" OC
JE	105	Juncus effusus / Soft Rush	3" pot	Fully Rooted, 18" OC
LI	80	Lavandula x intermedia 'Phenomenal' / Lavender	Qt	Fully Rooted, 24" OC
MO	65	Melissa officinalis / Lemon Balm	Qt	Fully Rooted, 18" OC
MB	124	Monarda bradburiana / Eastern Bee Balm	Qt	Fully Rooted, 18" OC
OJ	211	Ophiopogon japonicus / Mondo Grass	1 gal	Fully Rooted, 12" OC
PS	32	Panicum virgatum 'Shenendoah' / Burgundy Switch Grass	3" pot	Fully Rooted, 18" OC
PA	113	Polystichum acrostichoides / Christmas Fern	Qt	Fully Rooted, 18" OC
PM	74	Pycnanthemum muticum / Clustered Mountainmint	Qt	Fully Rooted, 24" OC
RG	44	Rudbeckia fulgida 'Goldstrum' / Coneflower	Qt	Fully Rooted, 24" OC
SP	127	Schizachyrium scoparium 'Prairie Blues' / Little Bluestem Grass	3" pot	Fully Rooted, 18" OC
SB	32	Symphotrichum laeve 'Bluebird' / Smooth Aster	Qt	Fully Rooted, 24" OC
TC	87	Thymus serpyllum 'Coccineum' / Creeping Red Thyme	Qt	Fully Rooted, 24" OC
TS	76	Tradescantia virginiana / Virginia Spiderwort	Qt	Fully Rooted, 18" OC

CITY OF WILMINGTON
   
 NORTH CAROLINA
   
 Construction Approval Block
   
 Date: \_\_\_\_\_ Name: \_\_\_\_\_
   
 Planning: \_\_\_\_\_
   
 Traffic: \_\_\_\_\_
   
 Fire: \_\_\_\_\_
   
 Engineering: \_\_\_\_\_
   
 Permit #: \_\_\_\_\_



CONSULTANTS:



SEALS:

**Public Library Story Park**  
 New Hanover County  
 209 Chestnut Street Wilmington, NC

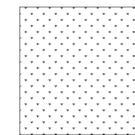
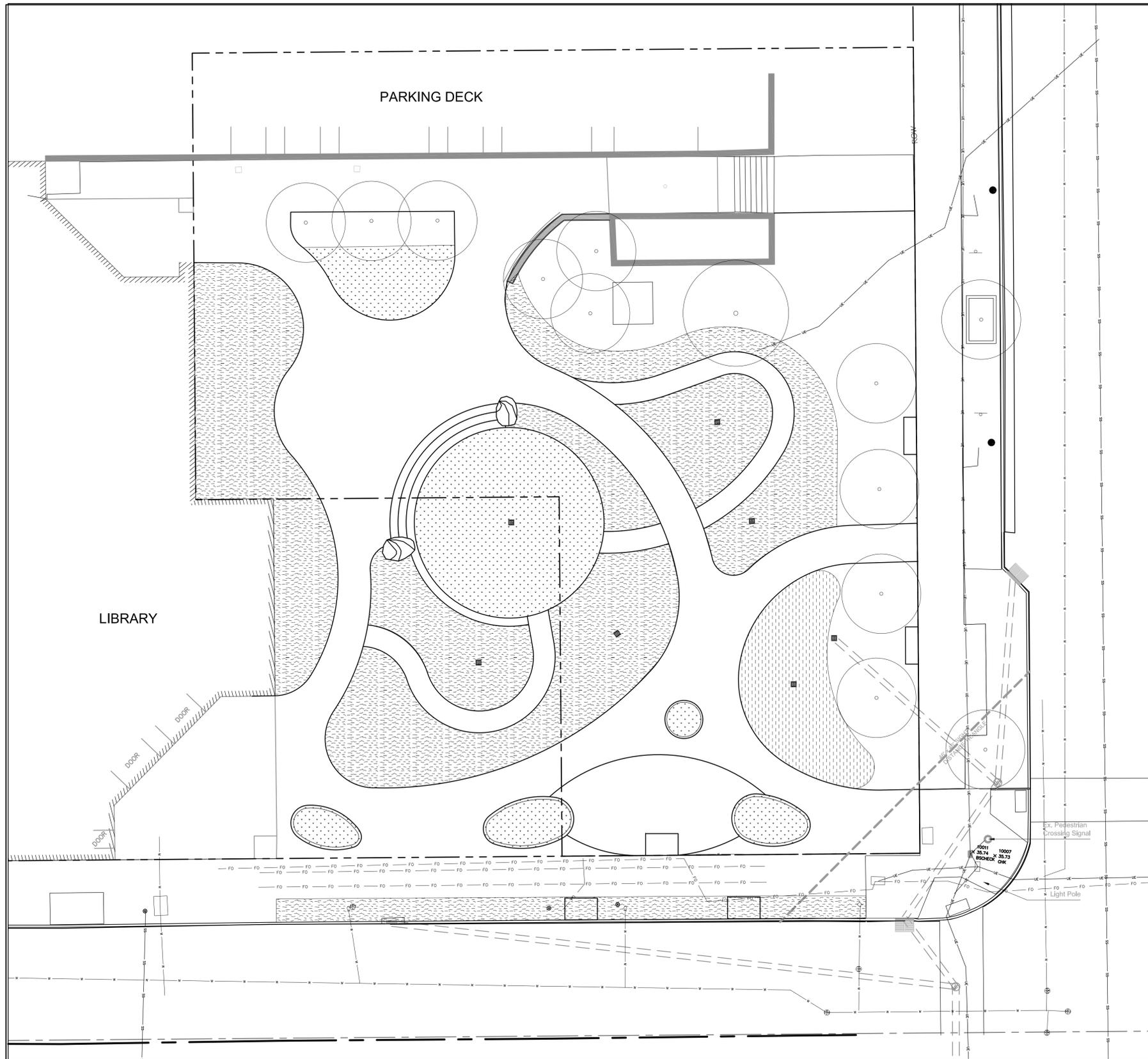
DATE: 02/11/16  
 DESIGNER: LED  
 CHECKED BY: BHS

REVISIONS

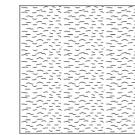
NO.	DATE

SCALES  
 HORIZ: 1"=10'  
 BID DOCUMENTS  
 PLANTING PLAN

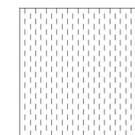
L400



**LAWN & GRASED AREAS**  
Contractor is responsible for tilling in 2" of compost to a depth of 6". Compost to meet the requirements in the specifications.

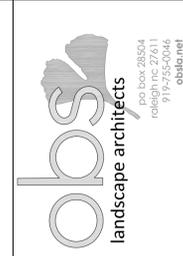
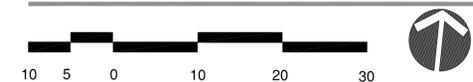


**GARDEN AREAS**  
Contractor is responsible for tilling 4" of compost to a depth of 12". Compost to meet the requirements in the specifications.



**RAIN GARDEN MEDIA**  
Contractor is to place rain garden media per detail 7/D-100.

  
 Construction Approval Block  
 Date: \_\_\_\_\_ Name: \_\_\_\_\_  
 Planning: \_\_\_\_\_  
 Traffic: \_\_\_\_\_  
 Fire: \_\_\_\_\_  
 Engineering: \_\_\_\_\_  
 Permit #: \_\_\_\_\_



CONSULTANTS:



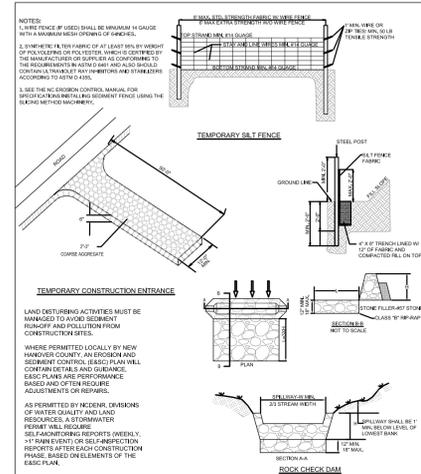
SEALS:

**Public Library Story Park**  
New Hanover County  
209 Chestnut Street Wilmington, NC

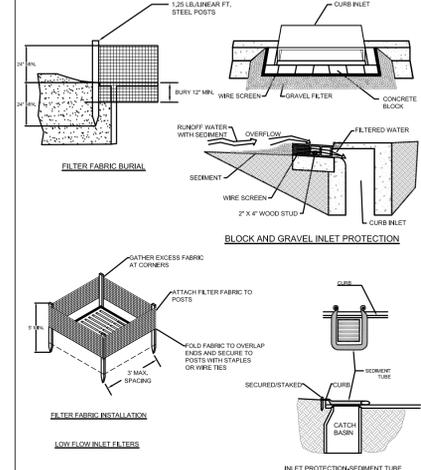
DATE:	02/11/16
DESIGNER:	LED
CHECKED BY:	BHS
<b>REVISIONS</b>	
NO.	DATE

SCALES  
 HORIZ: 1"=10'  
 BID DOCUMENTS  
 SOIL PREPARATION PLAN

**L401**

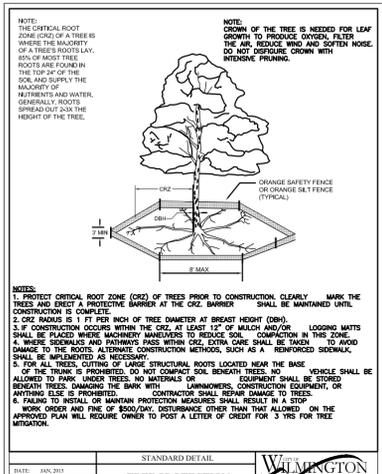


STANDARD DETAIL	
DATE: SEPTEMBER 2012	SD 3-104
GUIDELINES FOR SEDIMENT CONTROL BMPs	
DRAWN BY: JRM	
CHECKED BY: BJK, P.E.	
SCALE: NOT TO SCALE	



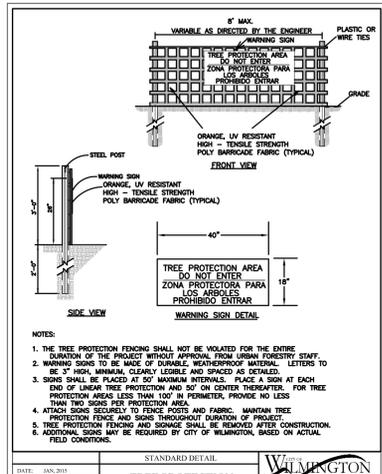
STANDARD DETAIL	
DATE: SEPTEMBER 2012	SD 3-104
GUIDELINES FOR SEDIMENT CONTROL BMPs	
DRAWN BY: JRM	
CHECKED BY: BJK, P.E.	
SCALE: NOT TO SCALE	

**1 SEDIMENT CONTROL (CITY OF WILMINGTON)**  
NOT TO SCALE



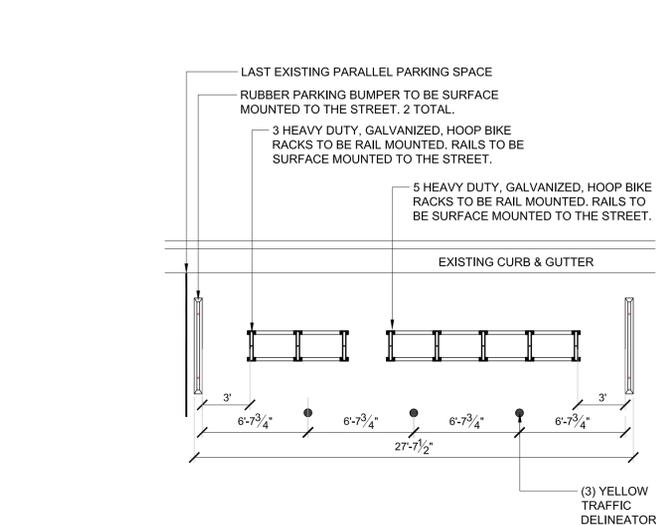
STANDARD DETAIL	
DATE: JAN 2012	SD 15-09
TREE PROTECTION DURING CONSTRUCTION	
DRAWN BY: JRM	
CHECKED BY: BJK, P.E.	
SCALE: NOT TO SCALE	

**2 TREE PROTECTION (CITY OF WILMINGTON STANDARD)**  
NOT TO SCALE

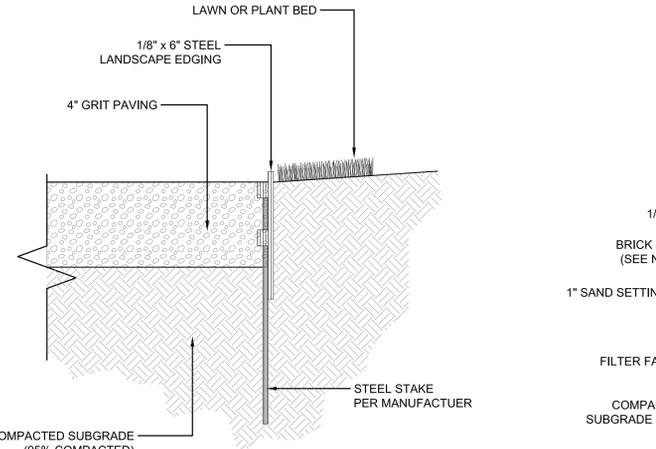


STANDARD DETAIL	
DATE: JAN 2012	SD 15-09
TREE PROTECTION DURING CONSTRUCTION	
DRAWN BY: JRM	
CHECKED BY: BJK, P.E.	
SCALE: NOT TO SCALE	

**4 CONCRETE PAVING (STANDARD DUTY)**  
1 1/2" = 1'-0"

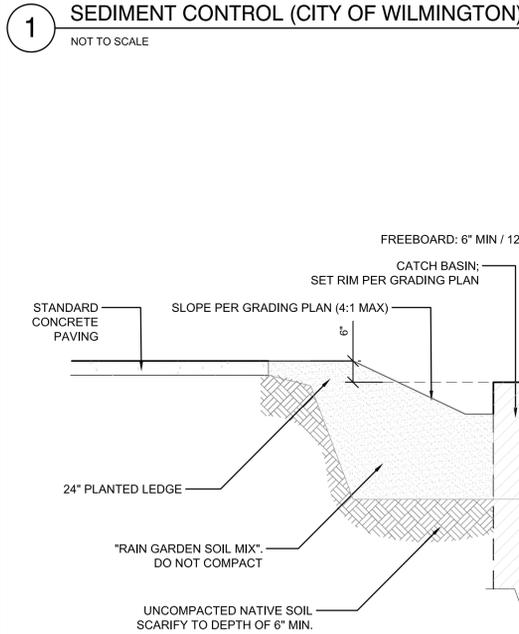


**3 STREETSIDE BICYCLE CORRAL**  
3/16" = 1'-0"

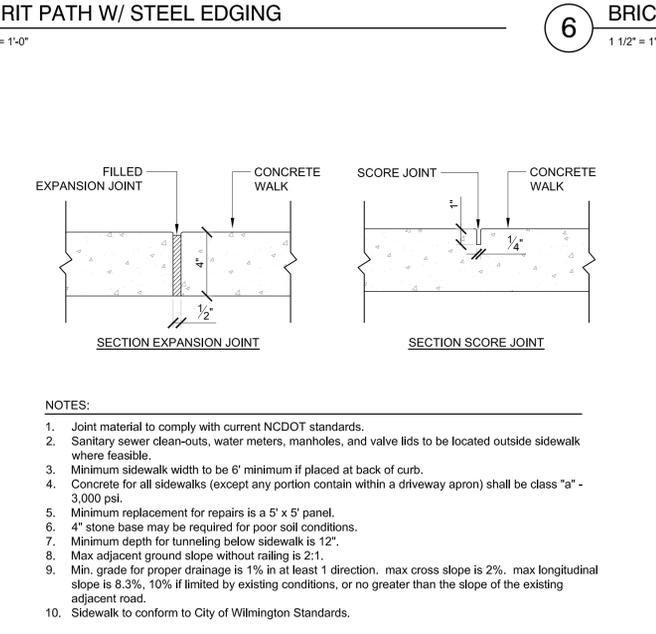


**6 BRICK PAVING**  
1 1/2" = 1'-0"

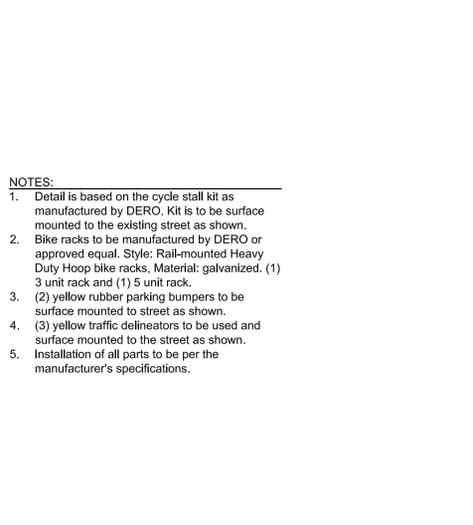
**5 GRIT PATH W/ STEEL EDGING**  
3" = 1'-0"



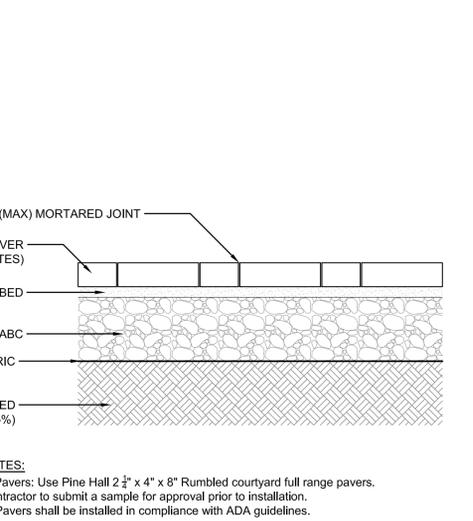
**7 RAIN GARDEN**  
1/2" = 1'-0"



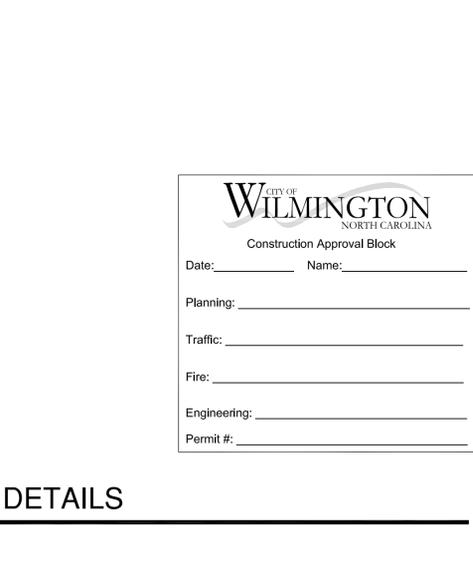
**8 SIDEWALK JOINTS - CITY OF WILMINGTON**  
3/16" = 1'-0"



**3 STREETSIDE BICYCLE CORRAL**  
3/16" = 1'-0"



**6 BRICK PAVING**  
1 1/2" = 1'-0"



**7 RAIN GARDEN**  
1/2" = 1'-0"



CONSULTANTS:



SEALS:

**Public Library Story Park**  
New Hanover County  
209 Chestnut Street Wilmington, NC

**WILMINGTON NORTH CAROLINA**  
Construction Approval Block

Date: \_\_\_\_\_ Name: \_\_\_\_\_

Planning: \_\_\_\_\_

Traffic: \_\_\_\_\_

Fire: \_\_\_\_\_

Engineering: \_\_\_\_\_

Permit #: \_\_\_\_\_

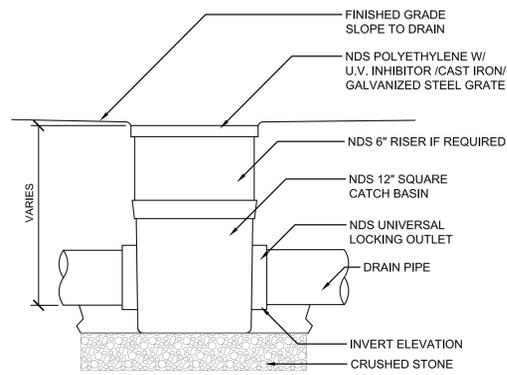
DATE: 02/11/16	
DESIGNER: LED	
CHECKED BY: BHS	
REVISIONS	
NO.	DATE

SCALES  
HORIZ: NTS  
BID DOCUMENTS  
DETAILS

**D100**

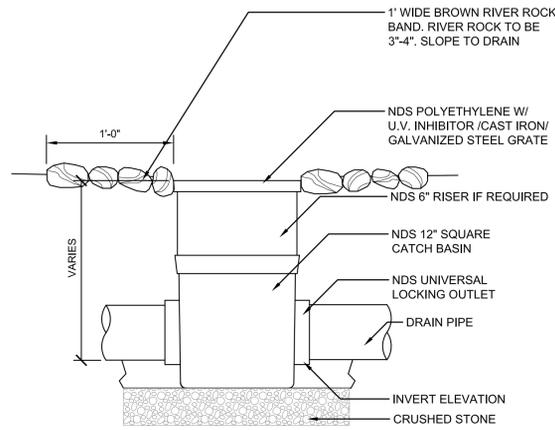
**DETAILS**

- NOTES:**
- Joint material to comply with current NCDOT standards.
  - Sanitary sewer clean-outs, water meters, manholes, and valve lids to be located outside sidewalk where feasible.
  - Minimum sidewalk width to be 6' minimum if placed at back of curb.
  - Concrete for all sidewalks (except any portion contain within a driveway apron) shall be class "a" - 3,000 psi.
  - Minimum replacement for repairs is a 5' x 5' panel.
  - 4" stone base may be required for poor soil conditions.
  - Minimum depth for tunneling below sidewalk is 12".
  - Max adjacent ground slope without railing is 2:1.
  - Min. grade for proper drainage is 1% in at least 1 direction, max cross slope is 2%, max longitudinal slope is 8.3%, 10% if limited by existing conditions, or no greater than the slope of the existing adjacent road.
  - Sidewalk to conform to City of Wilmington Standards.



**1 12" HDP INLET (IN LAWN)**

1 1/2" = 1'-0"

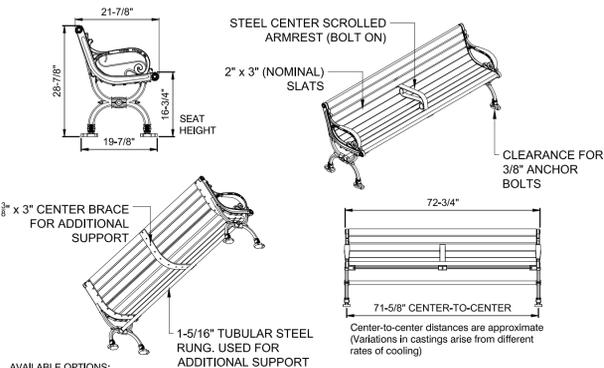


**2 12" HDP INLET (STONE SURROUND)**

1 1/2" = 1'-0"

**VICTOR STANLEY, INC.**  
Manufacturers of Quality Site Furnishings since 1952.  
P.O. DRAWER 330 - DUNKIRK, MD 20754 USA  
TOLL FREE: (800) 368-2573 (USA & CANADA)  
TEL (301) 855-6300 - FAX (410) 257-7579  
WEB SITE: HTTP://WWW.VICTORSTANLEY.COM

\* ALL DIMENSIONS ARE IN INCHES \*



**AVAILABLE OPTIONS:**  
**POWDER COATING**  
10 Standard colors, 2 optional metallic colors, Custom colors (including the ral range)  
**SLAT TYPES**  
Woods: Philippine mahogany and teak  
2nd site systems® reinforced recycled PLASTIC SLATS  
Colors: gray, maple, cherry, and walnut (not available in 8-foot lengths)  
**Intermediate armrests (bolt-on) & center scrolled armrests (bolt-on) 4', 6', & 8' available with optional armrests**  
**LENGTHS**  
Standard 4'  
Standard 6' (as shown)  
Standard 8'

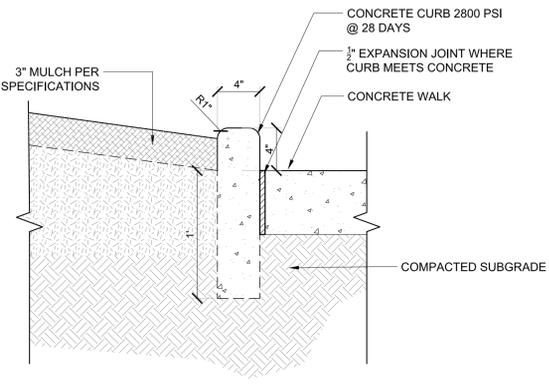
**NOTES:**  
1. Drawings not to scale, do not scale drawings.  
2. All fabricated metal components are steel shotblasted, etched, phosphatized, preheated, and electrostatically powder-coated with a g.i.c. polyester powder coating. Products are fully cleaned and pretreated, preheated and coated white hot to fill crevices and build coating film. Coated parts are then fully cured to coating manufacturer's specifications. The thickness of the resulting finish averages 8-10 mils (200-250 microns).  
3. It is not recommended to locate anchor bolts until bench is in place, this victor stanley, inc. product must be permanently affixed to the ground. Consult your local codes for regulations.  
4. Anchor bolts not provided by Victor Stanley, Inc.  
5. For high salt abusive climates, hot-dip galvanizing before powder coating is available. hot-dip galvanizing is performed for Victor Stanley, Inc. by an experienced qualified firm to which products are shipped for galvanizing. Hot-dip galvanizing includes an aggressive pre-treatment and immersion in a tank of charged liquid zinc at or around 860°F (460°C). The resulting surface is resistant to rust but has some unevenness resulting from the bonding of the zinc to the steel surface, as a result, the powder-coating surface finish over that galvanized surface may exhibit bumps, unevenness, and may not be as smooth as the standard finish; this uneven and inconsistent finish is normal for galvanizing. Contact manufacturer for details.  
6. All specifications are subject to change. Contact manufacturer for details.  
7. This product is shipped partially unassembled.



**C-10**  
CLASSIC SERIES Bench with ductile iron and frames  
show: standard 6-foot length optional center scrolled armrest (bolt-on)  
NOTE: Color to be Cherry. Contractor to supply 6' bench with armrest to match existing streetscape.

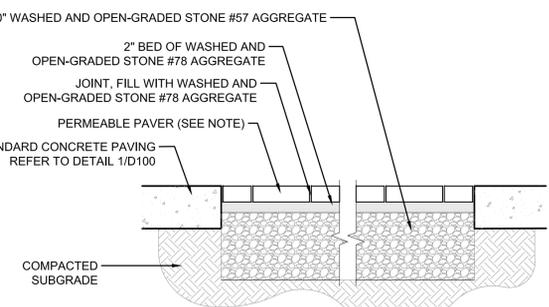
**5 BENCH**  
NOT TO SCALE

COPYRIGHT 2014 VICTOR STANLEY, INC.® ALL RIGHTS RESERVED  
REV.11/18/14 DRAWN L.D.L. 2014-884



**4 PLANTER CURB**

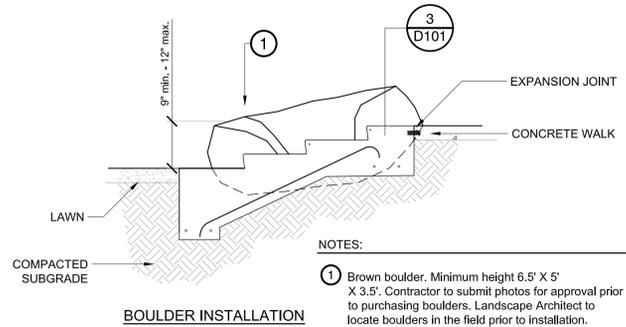
1 1/2" = 1'-0"



**PERMEABLE PAVERS:**  
1) Eco Dublin permeable paver as manufactured by Belgard or approved equal. Color: Ardennese.  
3) All permeable pavers to be installed per ICPI standards and specifications.

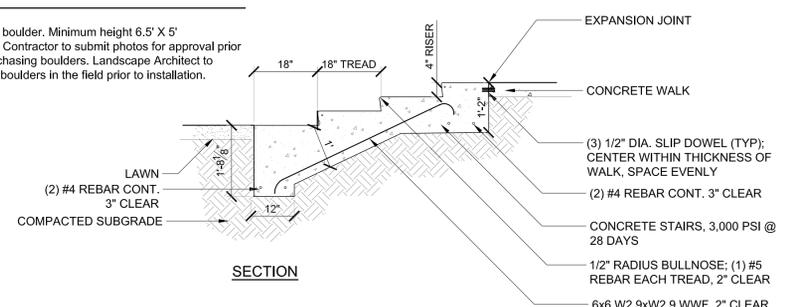
**7 PERMEABLE CONCRETE PAVERS**

1" = 1'-0"



**BOULDER INSTALLATION**

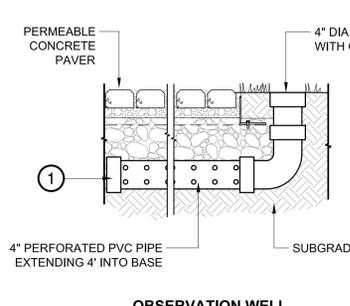
**NOTES:**  
1 Brown boulder. Minimum height 6.5' X 5' X 3.5'. Contractor to submit photos for approval prior to purchasing boulders. Landscape Architect to locate boulders in the field prior to installation.



**SECTION**

**3 CONCRETE STAIRS**

1/2" = 1'-0"

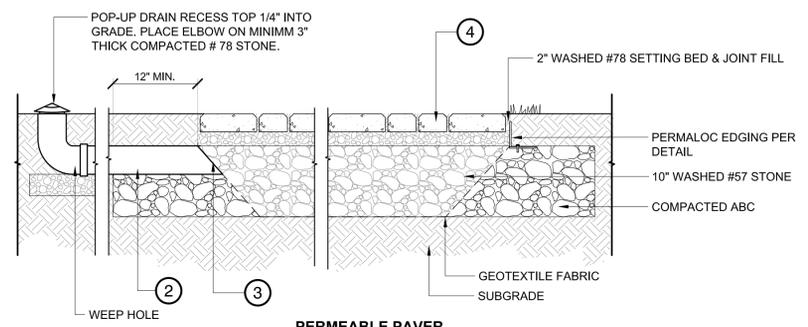


**OBSERVATION WELL**

**CALLOUTS**  
1 Perforated PVC pipe to be smooth-walled. Minimum perforation size to be 1/2".  
2 4" PVC pipe. Minimum 2% slope. Top of PVC level with top of #57 stone.  
3 Cover pipe opening with 16 mesh fiberglass screen and fasten to pipe.  
4 Eco Dublin permeable concrete paver as manufactured by Belgard or approved equal.

**6 PERMEABLE PAVERS**

1" = 1'-0"



**PERMEABLE PAVER**

**NOTES:**  
1. Design, material and construction guidelines to follow ICPI guide specifications  
2. Daylight drain pipe as shown on plans.

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Construction Approval Block

Date: \_\_\_\_\_ Name: \_\_\_\_\_

Planning: \_\_\_\_\_

Traffic: \_\_\_\_\_

Fire: \_\_\_\_\_

Engineering: \_\_\_\_\_

Permit #: \_\_\_\_\_

**DETAILS**



CONSULTANTS:



SEALS:

**Public Library Story Park**  
New Hanover County  
209 Chestnut Street Wilmington, NC

DATE: 02/11/16

DESIGNER: LED

CHECKED BY: BHS

**REVISIONS**

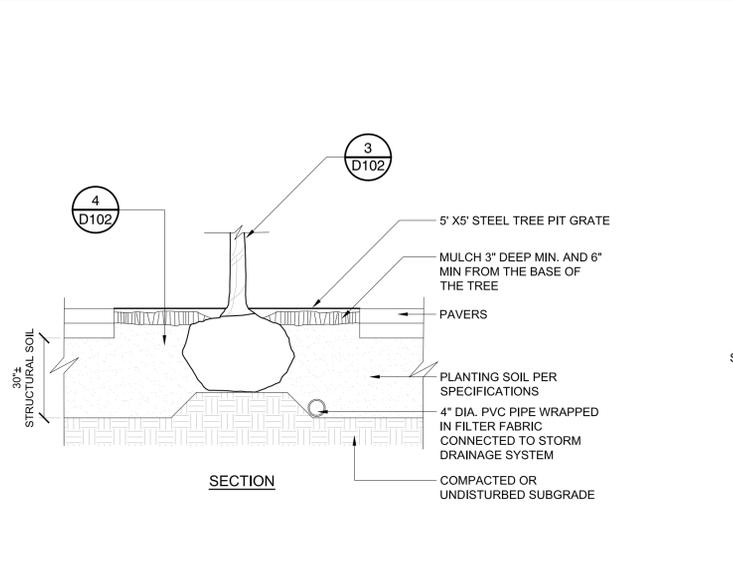
NO.	DATE

SCALES  
HORIZ: NTS

BID DOCUMENTS

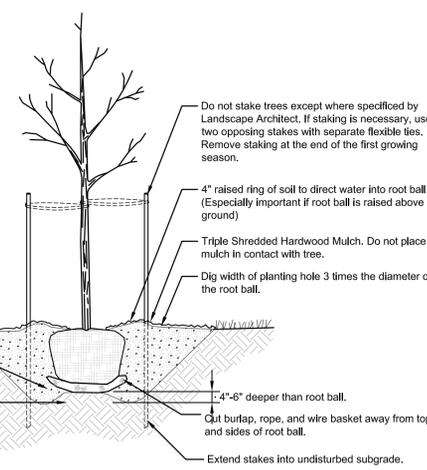
DETAILS

**D101**

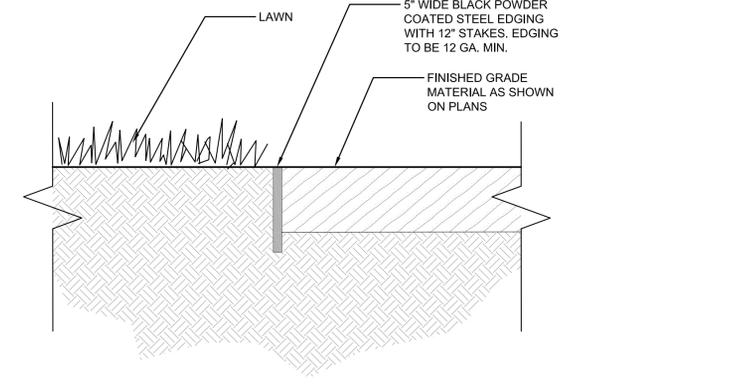


**1 TREE PIT WITH STRUCTURAL SOIL & GRATE**  
3/8" = 1'-0"

- NOTES:**
- Where several trees will be planted close together such that they will likely share root space, till in soil amendments to a depth of 4'-6" (10-15cm) over the entire area.
  - For container-grown trees, use fingers or small hand tools to pull the roots out of the outer layer of potting soil; then cut or pull apart any roots circling the perimeter of the container.
  - During the design phase, confirm that water drains out of the soil; use lowered planting hole depth and design alternate drainage system as required.
  - Thoroughly soak root ball and adjacent prepared soil several times during first month after planting and regularly throughout the following two summers.
  - The planting process is similar for deciduous and evergreen trees.
  - Do not wrap trunk; Mark the north side of the tree in the nursery and locate to the north in the field.
  - Avoid purchasing trees with two leaders or remove one at planting. Otherwise, do not prune tree at planting except for specific structural corrections.
  - Before planting, add 3-4" of well-composted leaves, recycled yard waste or other compost and till into top 6" of prepared soil. Add compost at 20-35% by volume to backfill soil. Add compost at 20-35% by volume to backfill.

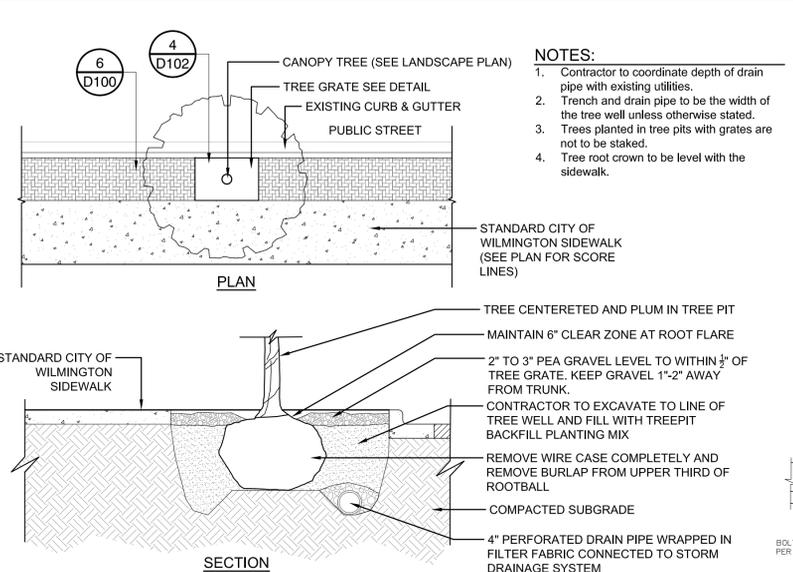


**3 TREE PLANTING**  
NOT TO SCALE



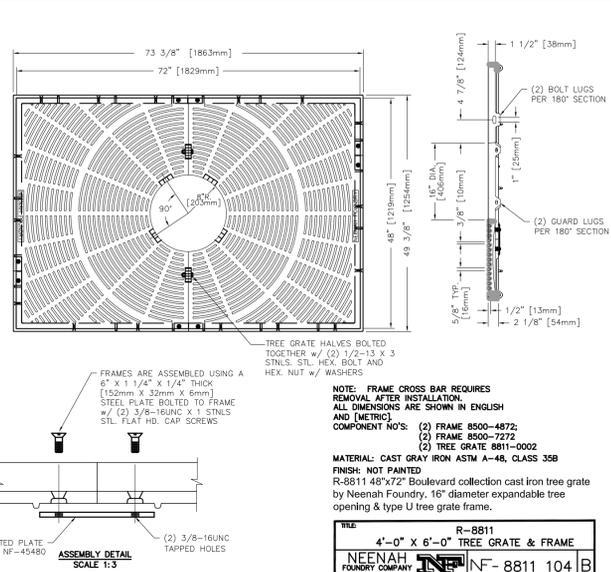
- NOTES:**
- CONTRACTOR TO PROVIDE LANDSCAPE ARCHITECT WITH STEEL EDGING SAMPLE AND MANUFACTURER'S INSTALLATION DETAIL FOR APPROVAL PRIOR TO INSTALLATION.
  - EDGING COLOR TO BE BLACK.

**7 STEEL PLANT BED EDGING**  
NOT TO SCALE

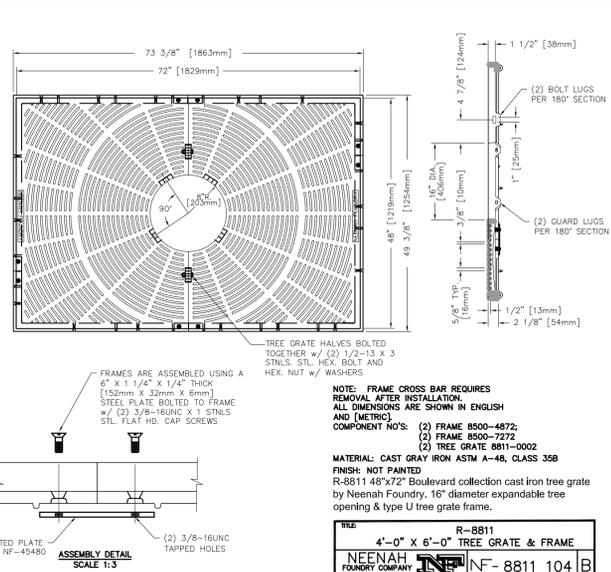


**2 STREET TREE PLANTING - CITY OF WILMINGTON**  
NOT TO SCALE

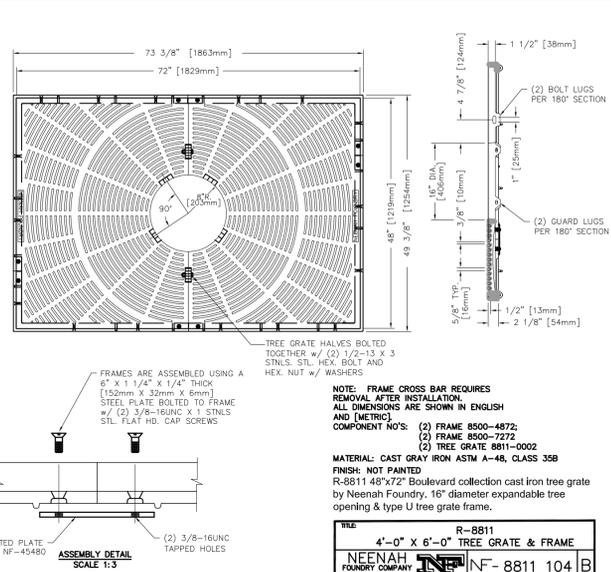
- NOTES:**
- Contractor to coordinate depth of drain pipe with existing utilities.
  - Trench and drain pipe to be the width of the tree well unless otherwise stated.
  - Trees planted in tree pits with grates are not to be staked.
  - Tree root crown to be level with the sidewalk.



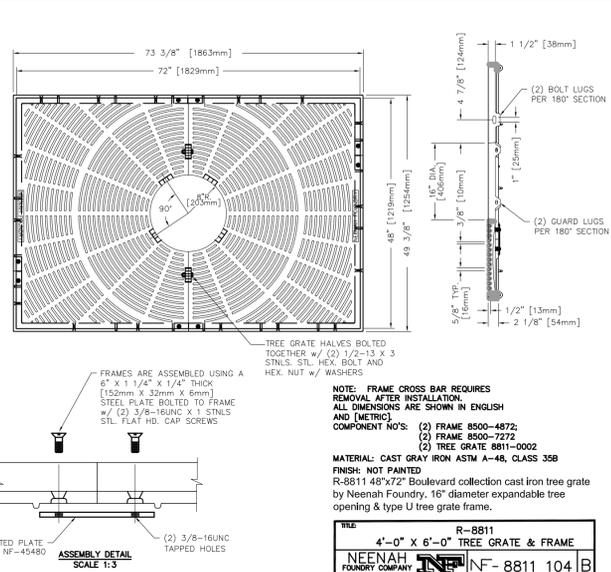
**5 SHRUB PLANTING**  
NOT TO SCALE



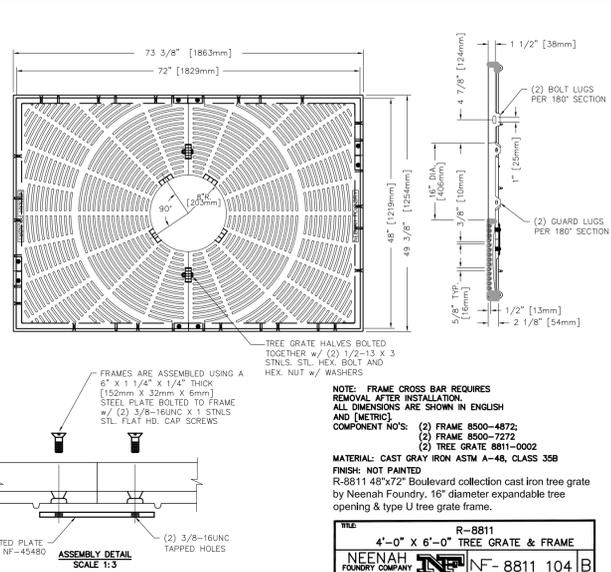
**6 GROUNDCOVER PLANTING**  
NOT TO SCALE



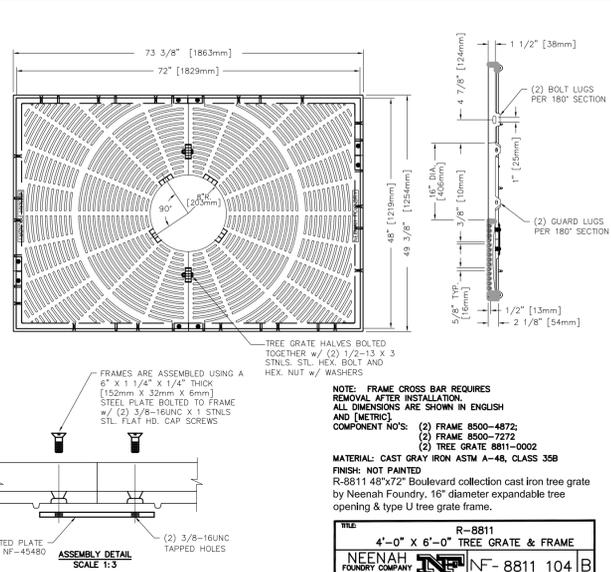
**4 ROOT PATHS**  
3/8" = 1'-0"



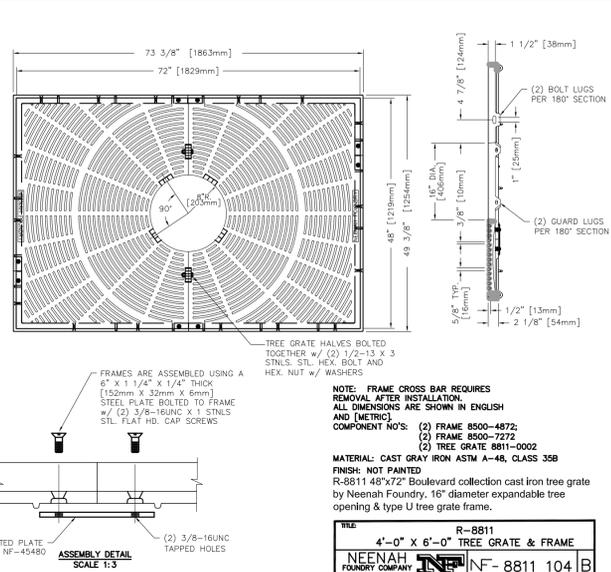
**6 GROUNDCOVER PLANTING**  
NOT TO SCALE



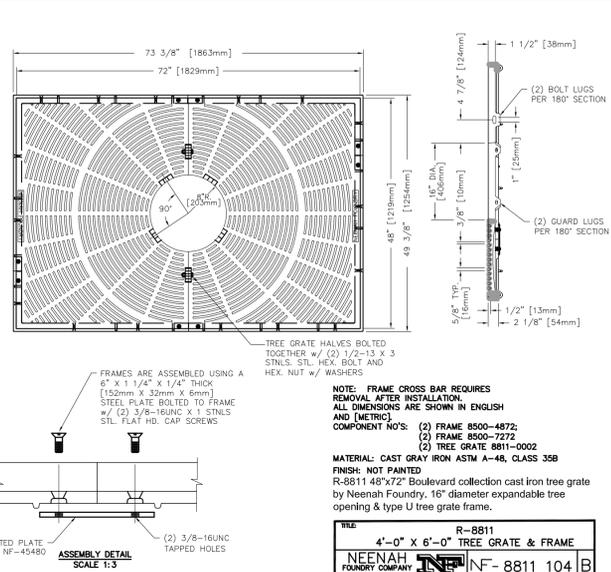
**5 SHRUB PLANTING**  
NOT TO SCALE



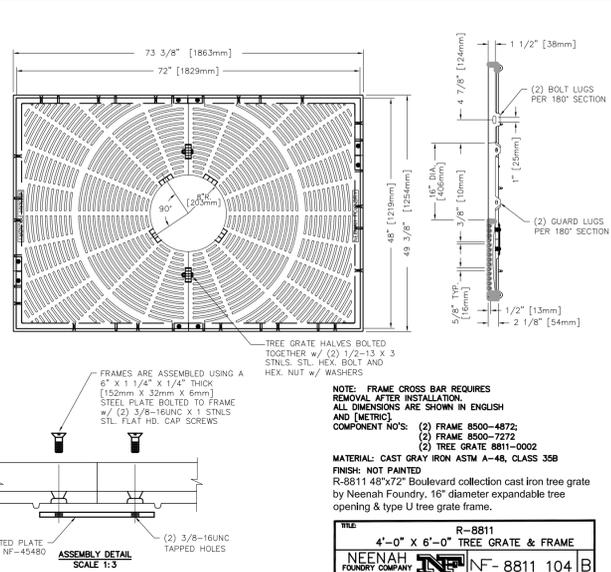
**4 ROOT PATHS**  
3/8" = 1'-0"



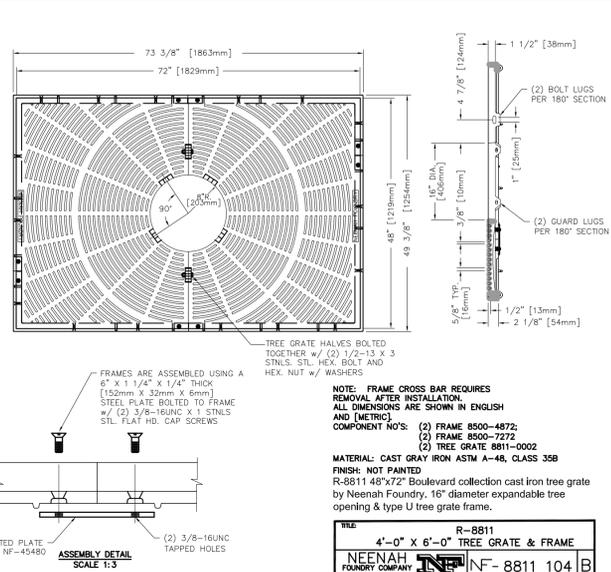
**6 GROUNDCOVER PLANTING**  
NOT TO SCALE



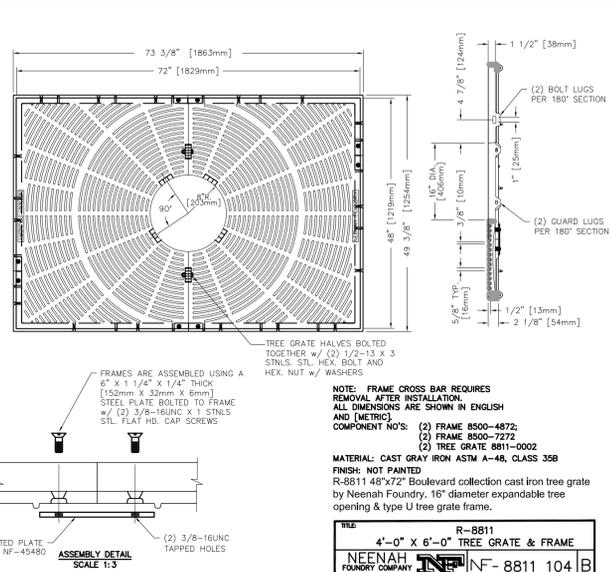
**5 SHRUB PLANTING**  
NOT TO SCALE



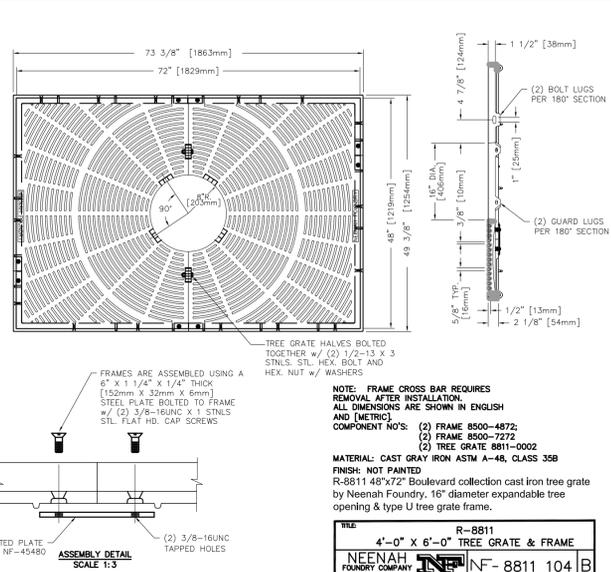
**4 ROOT PATHS**  
3/8" = 1'-0"



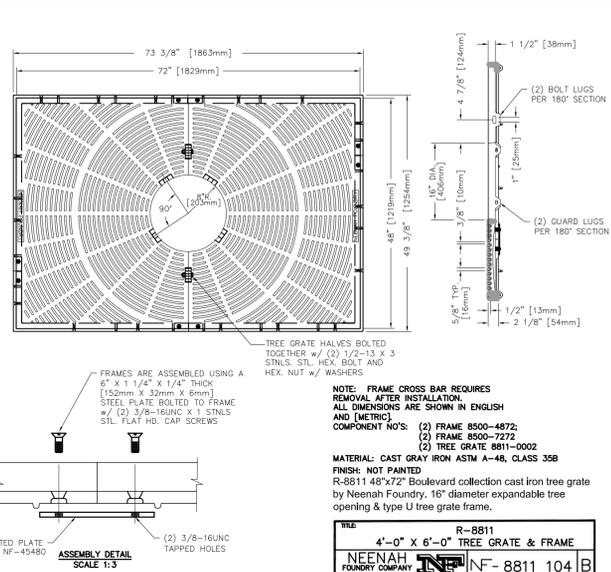
**6 GROUNDCOVER PLANTING**  
NOT TO SCALE



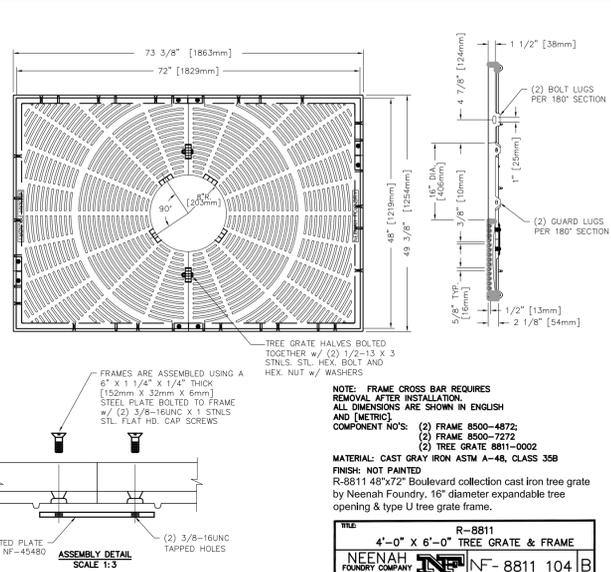
**5 SHRUB PLANTING**  
NOT TO SCALE



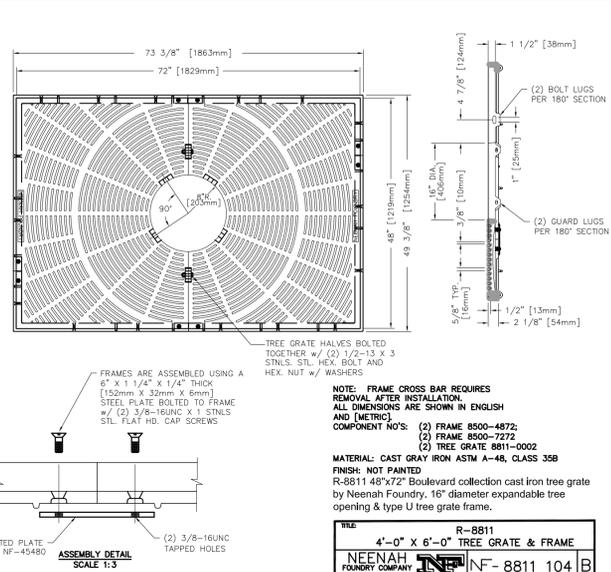
**4 ROOT PATHS**  
3/8" = 1'-0"



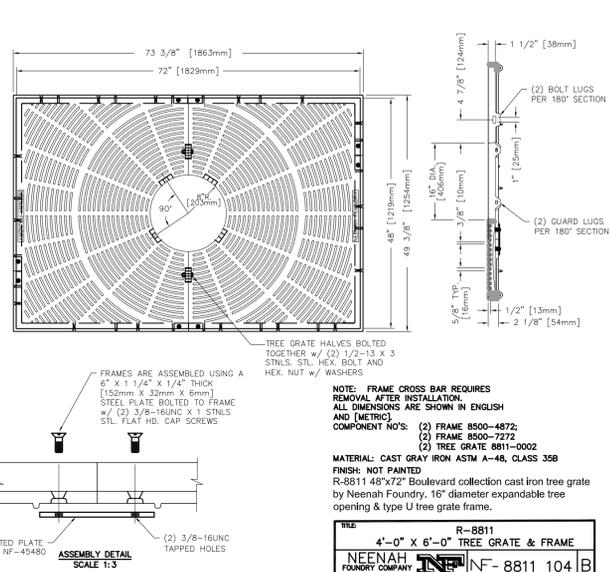
**6 GROUNDCOVER PLANTING**  
NOT TO SCALE



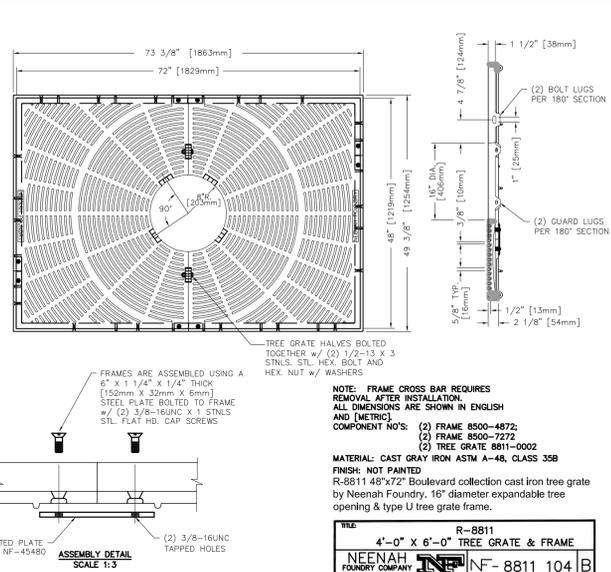
**5 SHRUB PLANTING**  
NOT TO SCALE



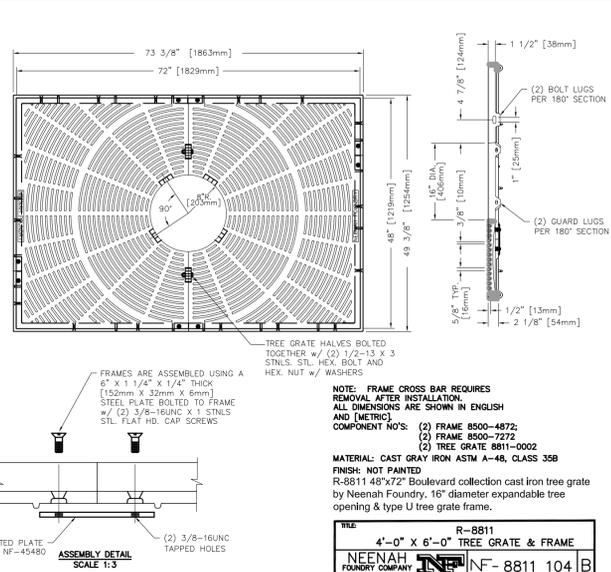
**4 ROOT PATHS**  
3/8" = 1'-0"



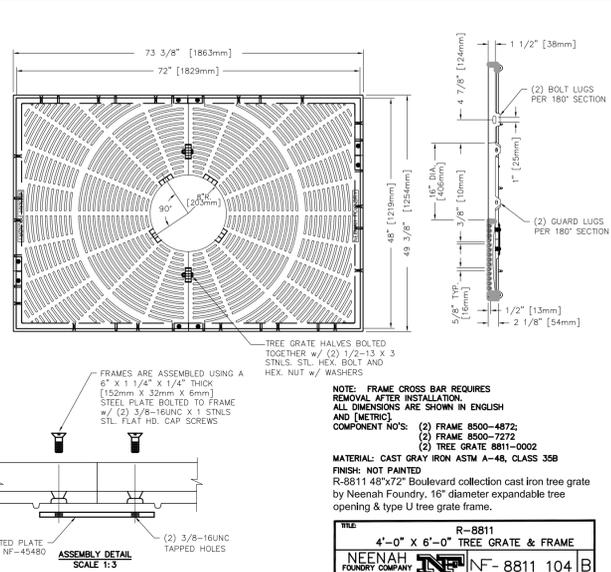
**6 GROUNDCOVER PLANTING**  
NOT TO SCALE



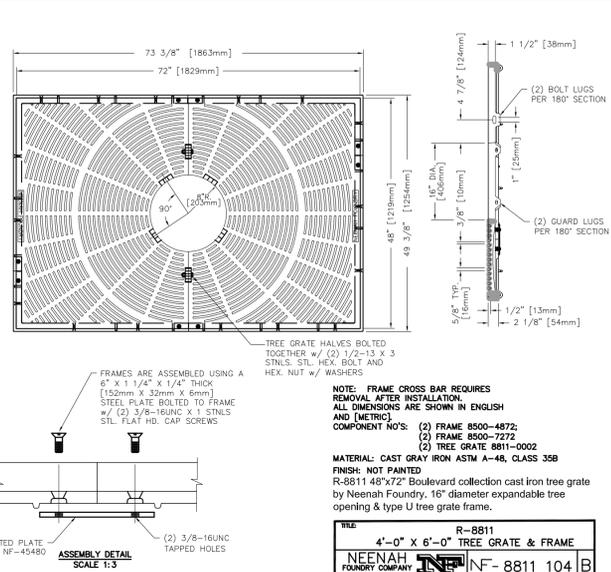
**5 SHRUB PLANTING**  
NOT TO SCALE



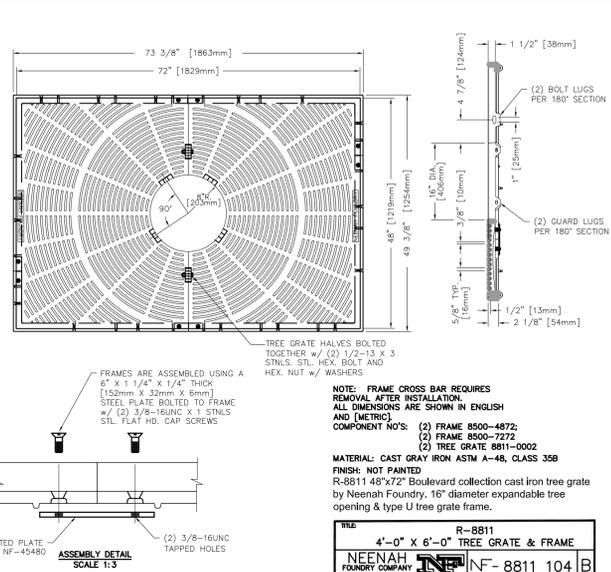
**4 ROOT PATHS**  
3/8" = 1'-0"



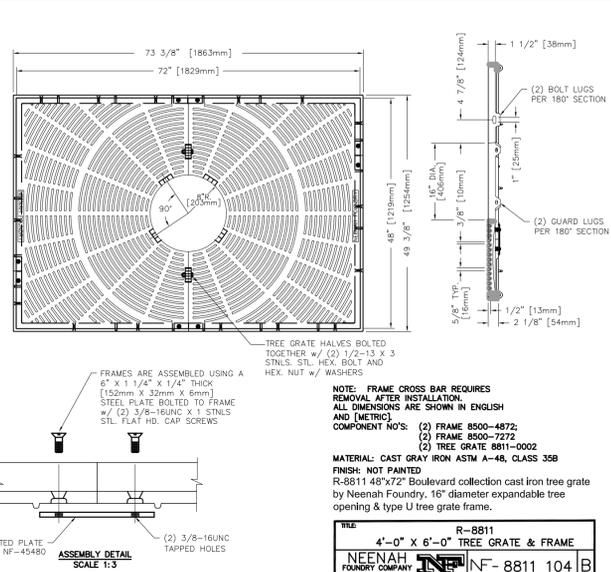
**6 GROUNDCOVER PLANTING**  
NOT TO SCALE



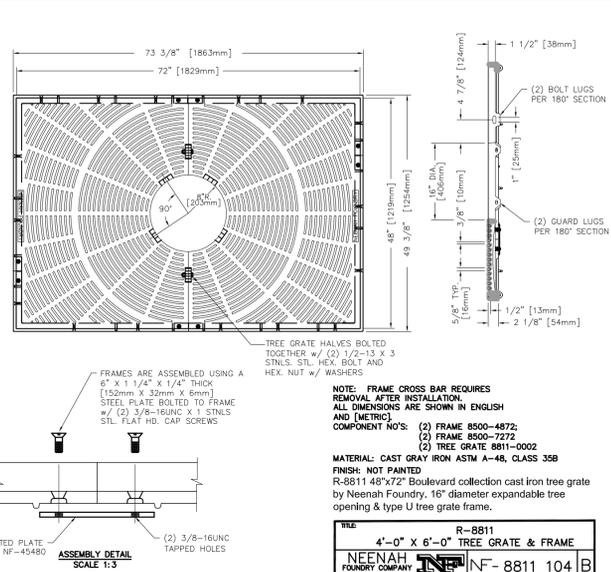
**5 SHRUB PLANTING**  
NOT TO SCALE



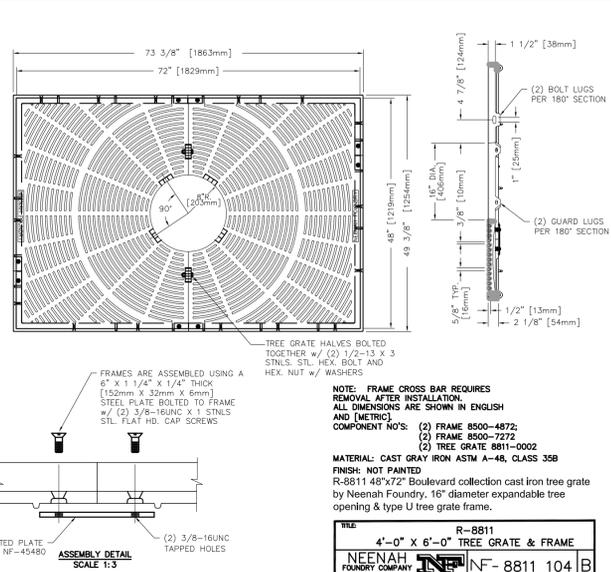
**4 ROOT PATHS**  
3/8" = 1'-0"



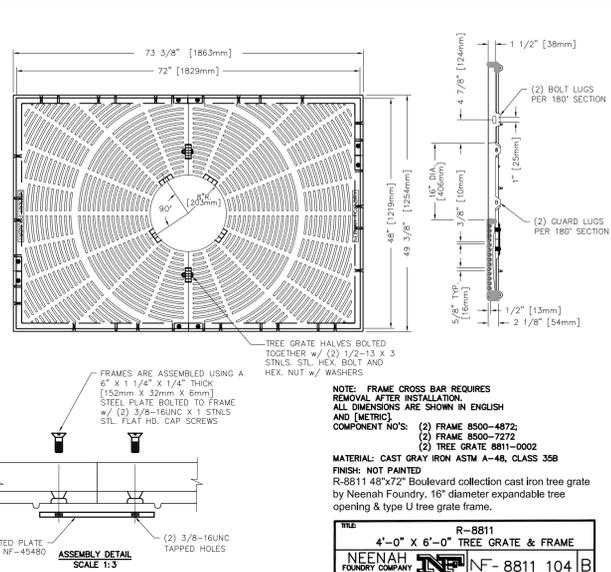
**6 GROUNDCOVER PLANTING**  
NOT TO SCALE



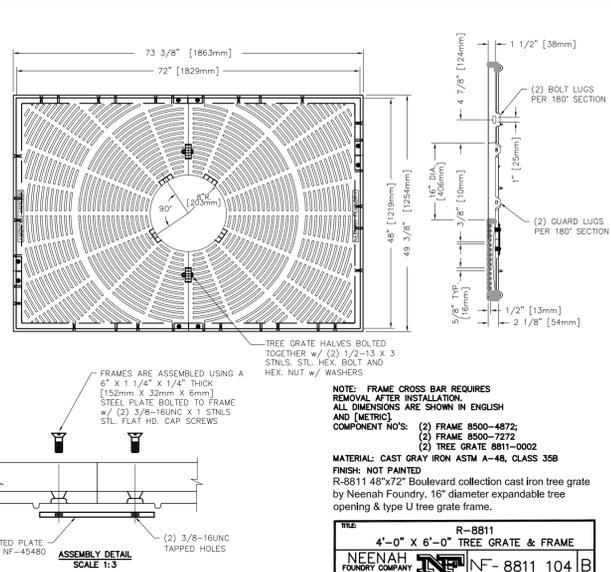
**5 SHRUB PLANTING**  
NOT TO SCALE



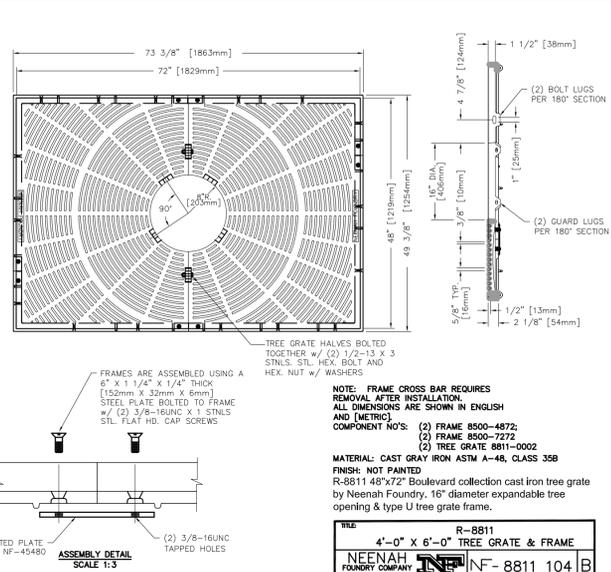
**4 ROOT PATHS**  
3/8" = 1'-0"



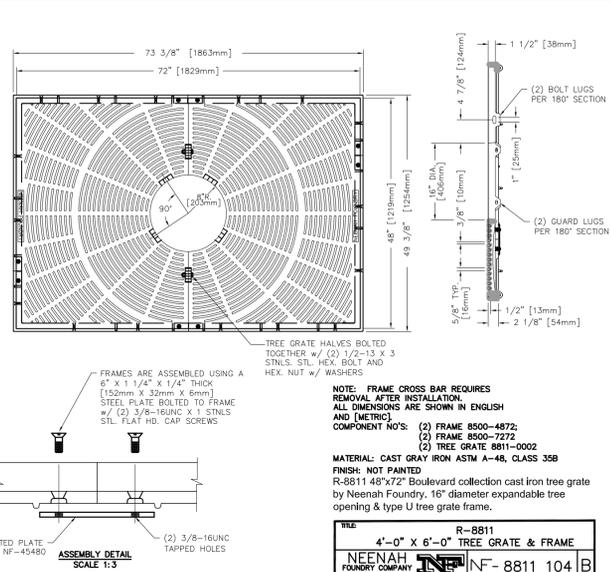
**6 GROUNDCOVER PLANTING**  
NOT TO SCALE



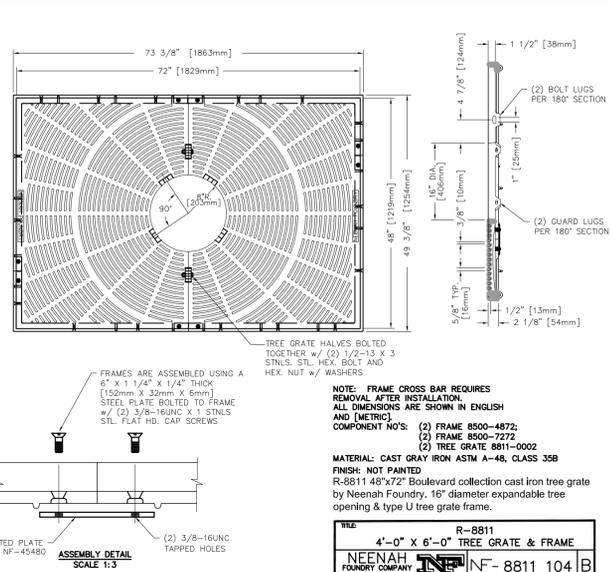
**5 SHRUB PLANTING**  
NOT TO SCALE



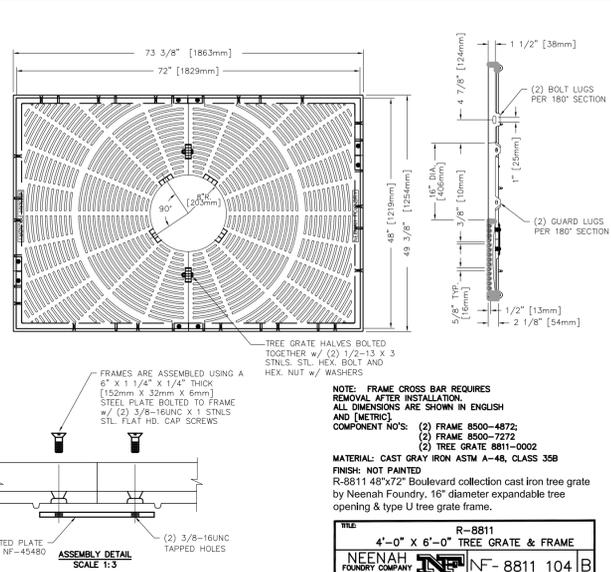
**4 ROOT PATHS**  
3/8" = 1'-0"



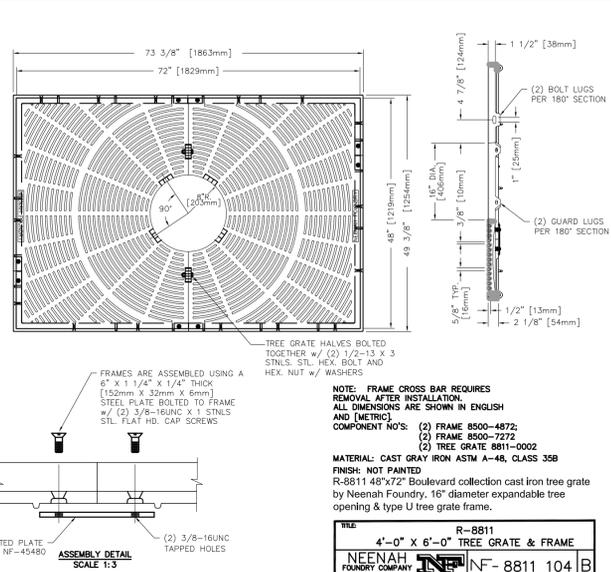
**6 GROUNDCOVER PLANTING**  
NOT TO SCALE



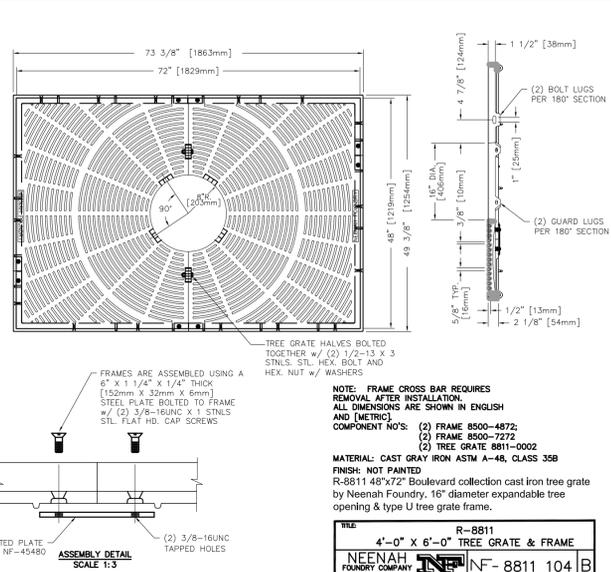
**5 SHRUB PLANTING**  
NOT TO SCALE



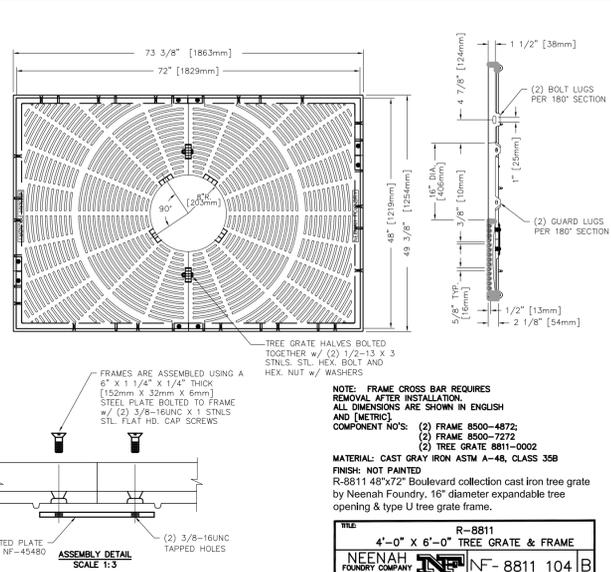
**4 ROOT PATHS**  
3/8" = 1'-0"



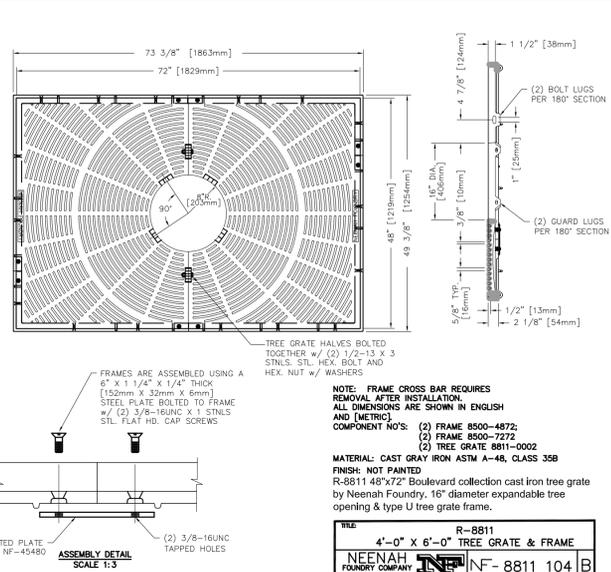
**6 GROUNDCOVER PLANTING**  
NOT TO SCALE



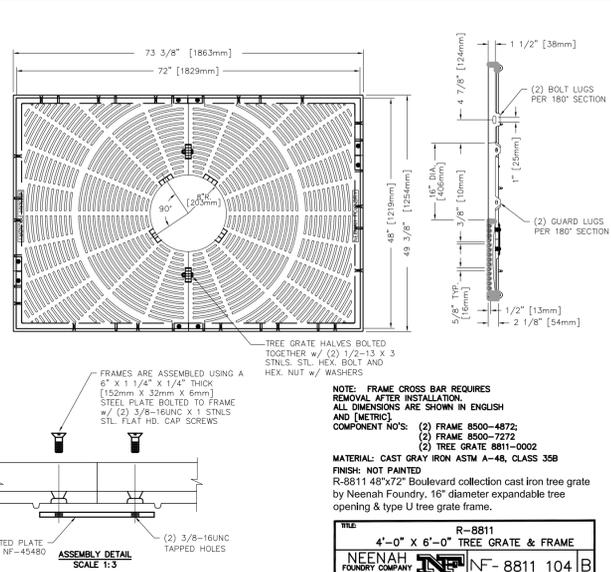
**5 SHRUB PLANTING**  
NOT TO SCALE



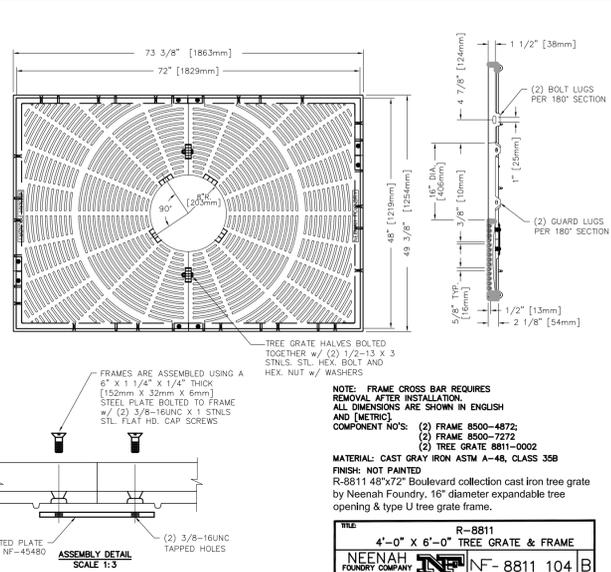
**4 ROOT PATHS**  
3/8" = 1'-0"



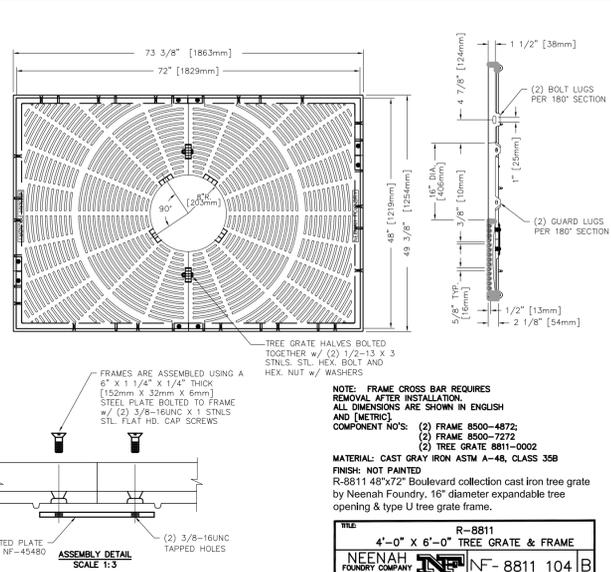
**6 GROUNDCOVER PLANTING**  
NOT TO SCALE



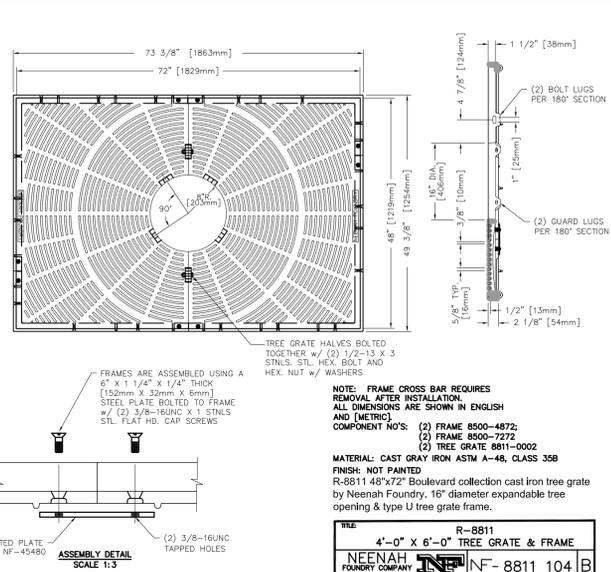
**5 SHRUB PLANTING**  
NOT TO SCALE



**4 ROOT PATHS**  
3/8" = 1'-0"



**6 GROUNDCOVER PLANTING**  
NOT TO SCALE



**5 SHRUB PLANTING**  
NOT TO SCALE

