

SITE PLAN

FOR MAJOR OR
MINOR SITE PLAN
APPROVAL

City of Wilmington, NC
Planning Division

P. O. Box 1810, 305 Chestnut St, Wilmington, NC 28402
Telephone: (910) 254-0900 FAX: (910)341-3264

Section A. SITE DATA SHEET

DEVELOPMENT NAME: 320 Chestnut Street Additions & Renovations
STREET ADDRESS: 320 Chestnut Street, Wilmington, NC 28402
NEW HANOVER COUNTY TAX PARCEL IDENTIFICATION # (PARID): RO4817-018-004-000
ZONING DISTRICT(S): CBD-HDO TOTAL SITE ACRES: 1.01
PROPOSED ZONING DISTRICT: _____

CLIENT (Owner or Developer):

Name(s) New Hanover County, Attn: Jim Iannucci
Address: 230 Government Center Drive
Wilmington, NC ZIP 28403
Telephone: 910 798 7142 FAX: 910 798 7051
E-Mail Address: jiannucci@nhcgov.com

CONSULTANT/AGENT (Person to contact regarding questions or revisions to the plan):

Name(s) John Sawyer, John Sawyer Architects
Address: 124 Market Street
Wilmington, NC ZIP 28401
Telephone: 910 762 0892 FAX: None
E-Mail Address: John@johnsawyerarchitects.com

NOTE: IF SITE IS IN A CONDITIONAL ZONING DISTRICT OR IF THE SITE HAS SPECIAL USE PERMIT, PLACE THE COMPLETE LIST OF ZONING CONDITIONS ON THE PLAN.

ALL PLANS:

PROPOSED BUILDING USE: Office
TOTAL BUILDING AREA (gross sq. ft.) EXISTING: 45,561 PROPOSED: 48,973
EXISTING AND PROPOSED BUILDING HEIGHT: 82 feet, 7 stories
IF MULTI-FAMILY HOUSING (Apts. / Condo), LIST HEIGHTS OF EACH BUILDING TYPE: NA
NUMBER OF BUILDING(S) EXISTING: 1 PROPOSED: 1
OFF STREET PARKING: REQ'D SPACES: 0 PROVIDED SPACES: 0
PARKING GROUP/STANDARD APPLIED: (i.e. "1 space per 300 s.f. building area"): _____

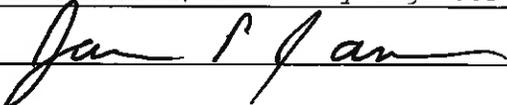
APT./CONDO/TOWNHOME: # 1BR Units: _____ 2BR: _____ 3BR: _____ 4BR: _____

A Traffic Impact Analysis (TIA) is required with the submittal of an application where more than 100 vehicle trips during any peak hour anticipated? The AM PEAK HOUR is: _____ The PM PEAK HOUR is: _____

The ITE Land Use Number used is: No application will be reviewed without the submittal of the TIA, when required.

OWNER'S SIGNATURE: *In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed site plan as approved by the City. I hereby designate John Sawyer Architects to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application. I attest that the information contained in this application and all supplemental materials and documents associated with this project are true and accurate.*

Owner's Name (print): Jim Iannucci, PE. County Engineer

Owner's Signature/Date: 

DATE REC'D:

PLANNER:

CASE FILE #:

FEE PAID \$:

Section B. SUBMITTAL CHECKLIST AND PROCEDURE

(1) PLANS MUST BE SUBMITTED TO THE PLANNING DIVISION, 3RD FLOOR, 305 CHESTNUT STREET, WILMINGTON, NC.

(2) AN APPLICATION WILL NOT BE ACCEPTED WITHOUT MEETING WITH A PLANNER.

Planner must review your submittal package to ensure that the package is complete and all necessary information is shown on the plans.

(3) IF A MINOR SITE PLAN, WITHIN 15 DAYS A PROJECT PLANNER WILL FORWARD COMMENTS TO YOU. IF A MAJOR SITE PLAN, YOU WILL BE SCHEDULED FOR REVIEW BY THE TECHNICAL REVIEW COMMITTEE (TRC) AT ITS NEXT AVAILABLE MEETING, TYPICALLY WITHIN 15 DAYS OF THE PRESCRIBED SUBMITTAL DEADLINE FOR MAJOR SITE PLAN REVIEW.

PLEASE INCLUDE ALL OF THE FOLLOWING (CHECK OFF). Please check the list below carefully before you submit:

- FILING FEE FOR SITE PLANS.**
 - Checks payable to the City of Wilmington.
 - Payments may be made by cash or check
- THIS APPLICATION FORM** completed (Section A) and signed by the **property owner** (agent cannot sign for owner).
- COPIES OF PREVIOUS BOARD OF ADJUSTMENT ACTION, SPECIAL USE PERMIT OR CERTIFICATE OF APPROPRIATENESS** (if applicable).

Section C. DATA TO BE SHOWN ON PLANS

(a) Sheet size The preliminary site plan shall be drawn to scale on 18 x 24 inch or 24 X 36 inch sheets.

(b) Key Information

1. A vicinity sketch or key map at a scale of not more than one thousand (1000) feet to the inch, showing the position of the development /subdivision with its relation to surrounding streets and properties, and oriented in the same direction as the site plan;
2. True north arrow, with north being at the top of the map;
3. Scale of the map using engineer's scale (1"=10', 1"=50', etc.) both graphic and numeric and date of preparation, including all revision dates;

(c) Title Block

1. The name and address of the development, name of the owner, and the name, address and contact information of the designer who prepared the plan;;

(d) Site Data Tabulation

1. Project name ; project address, parcel ID number;
2. Zoning district(s), overlay district(s) designation;
3. Building setbacks, required and proposed;
4. Total amount of acreage within the project boundaries;
5. Building size, both existing and proposed, with square footage(s);
6. Calculations for building lot coverage, existing and proposed;
7. Number of units;
8. Number of buildings;
9. Building height(s), number of stories and square feet per floor;
10. Total amount and percent of impervious surface areas, before and after development;
11. Off street parking calculations, including required amount of parking and proposed amount of parking and the basis for determination;
12. CAMA land use classification;
-

(d) General Information

- 1. Location of existing and proposed boundaries and lot lines;
- 2. Names of property owners of adjacent properties or subdivisions of record;
- 3. Zoning and land use of adjacent properties or subdivisions of record;
- 4. Current, accurate topographical information based on mean sea level datum, with contour interval of 2.0 feet or less;
- 5. Location and dimensions of any easements, public or private rights-of-way, existing and proposed, with book and page number references;
- 6. Location and size of proposed parks, school sites, recreational areas or open spaces, and designation of future ownership and/or dedication;
- 7. Identify if the site is in a special highway overlay district or any other zoning overlay district;
- 8. Location, dimensions and type of construction of all fencing and screening;
- 9. Site inventory map(s) as required by the Land Development Code;
- 10. Tree inventory performed by a qualified professional and the location of regulated vegetation certified by a professional land surveyor;
- 11. Locations of any conservation resources associated with the parcel/site including any rare and endangered species in accordance with the North Carolina Wildlife Resources Commission;

(e) Building, Structure and Use Information

- 1. Location of all buildings (existing and proposed buildings) and all proposed expansions;
- 2. Location of solid waste disposal, utility service areas, and display areas;
- 3. Location of all ground level mechanical equipment such as HVAC, electrical panels and similar mechanical equipment;
- 4. Location of all outdoor uses proposed, including but not limited to accessory uses or structures;

(f) Traffic Engineering

- 1. Existing street names, together with state road numbers if applicable;
- 2. Proposed streets, existing and platted streets on adjoining properties and in the proposed development with right-of-way widths and cross sections;
- 3. General horizontal alignment of existing and proposed streets and thoroughfares, showing centerline minimum radii, pavement width, surface materials, curb and gutter, ditches and shoulder widths;
- 4. Existing and proposed sidewalks, on both public streets and within site;
- 5. Cross-sections of typical proposed streets and parking area;
- 6. Dimensions of medians, median openings, curb radii;
- 7. Vertical alignment of streets only when deemed necessary by the Traffic Engineer to properly determine the safety of proposed streets or driveways;
- 8. Delineation of triangular sight distance on the plan as set forth in Section 18-556 and Article 15, Definitions, of the Land Development Code;
- 9. Any rights-of-way proposed to be closed;
- 10. Proposed private streets, dimensions and curb treatments;
- 11. Existing and proposed parking areas, bay dimensions, aisle dimensions and summary of required and provided parking;
- 12. Cross section and diagram of each floor of a parking structure;
- 13. Wheel stops and other traffic barriers;
- 14. Location and dimensions of loading and unloading areas;
- 15. Location of any off-site parking;
- 16. Show driveways for adjacent lots and lots across the street;
- 17. The proposed driveway must be dimensioned to both property corners;
- 18. Note whether existing driveways will be closed;
- 19. Show or note street intersections within 500' of the site;
- 20. Show appropriate City standard driveway detail on plan;
- 21. Show parking lot and driveway geometric dimensions and radii;
- 22. Show all required turn lanes, with details;
- 23. Show all existing and proposed traffic control devices (including signals, signs, parking meters, and pavement markings);
- 24. Parking lot must meet requirements of standard details SD 15-10 and 15-11 for parking lots under 25 stalls;
- 25. Location and dimensions of on-site pedestrian access ways to and from the site onto public streets;
- 26. Show all pedestrian crossings, existing and proposed;
- 27. Show any other information needed to accurately depict the proposed improvements;

28. An approved NCDOT driveway permits, where applicable. Plans for a NCDOT driveway permit must be drawn to a scale of 1"=20', 1"=30', 1"=40" or 1"=50' only;

(g) Landscaping Plan

1. Date of plan preparation;
2. Project name and description of land use;
3. Project owner and mailing address;
4. Scale of 1" = 100' or less;
5. North arrow;
6. Locations and species of all existing hardwood trees at least eight (8) inches DBH, all conifer trees at least twelve (12) inches DBH, and all dogwoods, magnolias, other ornamental flowering trees, and American Hollies at least four (4) inches DBH. The canopy drip lines of those trees shall be delineated. If groves of protected trees exist that will not be removed or disturbed, it is permitted to label the grove as such on the map, stating the approximate number of protected trees and species mix, without specifying data on each individual tree;
7. Locations, dimensions, and square footages of required buffer strips, street yard plantings, parking lot landscaping, and building foundation plantings;
8. Details of required landscaping showing species, dimensions, and spacing of planted materials and the use and protection of existing vegetation;
9. All existing and proposed utilities and if applicable, their associated easements;
10. Location and square footage of structures and parking lots;
11. Adjacent zoning districts and uses;
12. Locations of all trees greater than eight (8) inches DBH within required buffers and of all areas of natural vegetation to be used as part of the buffer;
13. Setbacks of all structures and specifications and shielding of certain uses, as required;
14. Locations of any conservation resources associated with the parcel/site including any rare and endangered species in accordance with the North Carolina Wildlife Resources Commission;
15. Clearly indicate those protected trees to be retained and those proposed for removal and all trees to be planted on the site to meet mitigation requirements;
16. Calculations for the number of trees proposed per acre disturbed; a minimum of fifteen (15) trees per acre disturbed on site required;
17. Overlay of the proposed site layout, including the location of all existing and proposed buildings, utilities and site improvements;
18. Delineation of the triangular sight distance on the plan as set forth in Section 18-556 and Article 15, Definitions, of the Land Development Code;
19. Tree preservation/removal permit attached or included with the site plan;

(h) Environmental Requirements (where applicable)

1. Floodplain information, including base flood elevation, elevation of lowest floor proposed for development, delineation of the 100-year flood boundary, floodway and floodway fringe areas, indicating source of information;
2. Conservation resource information including type/amount of conservation resource, work table for determining required conservation space and developable land, setbacks from conservation space (both required and proposed);
3. Approximate delineation of any Federally regulated wetlands on the site;
4. Delineation of any State and/or Federally regulated wetlands on the site;
5. Mean high water line;
6. Erosion control plans;

(i) Stormwater Information

A Schematic stormwater drainage plan is required. The detail on the schematic must provide a clear concept of the existing and proposed channels, pipes, watercourses, and retention/detention on and adjacent to the site. Directions of flow are to be included. Sizes are to be approximate. Complete engineering specifications and calculations will be required when an application is made for a stormwater discharge permit or drainage plan approval, as applicable. The following components should appear on the site plan:

1. Existing and proposed site improvements to convey stormwater;
2. Proposed off-site improvements to convey stormwater;
3. Connection to existing public or private systems downstream and upstream;
4. Places where runoff enters the site from adjacent area and how it will be conveyed;
5. Proposed and existing retention/detention systems on or serving the site;
6. Existing and proposed drainage easements indicated as public or private including approximate widths;
7. Existing and proposed contours with intervals of 2' or less;
8. Existing and proposed impervious surface area;

- 9. Approximate disturbance area shown and reported;
- 10. Approximate delineation of the 100-year flood plain boundary;
- 11. Approximate delineation of any Federally regulated wetlands on the site;
- 12. Indicate any known drainage problems in and downstream of the site (clogged systems, undersize systems, recurring flooding in the immediate and adjacent area);
- 13. Indicate the classification (SC, SA, etc.) and name of the State regulated water body serving the watershed where the site is located if the site disturbance area equals or exceeds one acre;
- 14. Indicate if innovative or unusual methods will be employed to meet applicable State or Federal requirements;

(j) Public Utility Information

- 1. Location of on-site and proposed tie-in to existing public utilities (water, sewer, culverts, drains, etc.) showing size and direction flow, and soil erosion and sedimentation control measures;
- 2. Existing and proposed sanitary sewers, manholes, clean-outs, water lines, natural gas lines, stubs, fire hydrants, fire lines, valves, backflow prevention devices showing make and model, meters, with pipe sizes and locations indicated as applicable;
- 3. Profiles of sanitary sewer lines only if required by the Cape Fear Public Utility Authority to properly determine the feasibility of a proposed system;
- 4. Well and septic tank locations, community septic system facilities where applicable;
- 5. Force mains, pump stations if applicable;
- 6. Show that all utilities, both public and private, that serve a project shall be underground;

(k) Notes to be included on final site plans

- 1. Prior to any clearing, grading or construction activity, tree protection fencing shall be installed around protected trees or groves of trees. No construction workers, tools, materials, or vehicles are permitted within the tree protection fencing.
 - 2. Any trees and/or areas designated to be protected must be properly barricaded with fencing and protected throughout construction to insure that no clearing, grading or staging of materials will occur in those areas.
 - 3. No equipment is allowed on site until all tree protection fencing and silt fencing is installed and approved. Protective fencing is to be maintained throughout the duration of the project, and contractors shall receive adequate instruction on tree protection methods.
 - 4. All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards.
 - 5. Once streets are open to traffic, contact Traffic Engineering regarding the installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs.
 - 6. Traffic control devices (including signs and pavement markings) in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards.
 - 7. Contact Traffic Engineering at 910-341-7888 to ensure that all traffic signal facilities and equipment are shown on the plan.
 - 8. Call Traffic Engineering at 910-341-7888 forty-eight (48) hours prior to any excavation in the right-of-way.
 - 9. Traffic Engineering must approve of pavement marking prior to actual striping.
 - 10. All parking stall markings and lane arrows within the parking areas shall be white.
 - 11. All traffic control signs and markings off the right-of-way are to be maintained by the property owner.
 - 12. Stop signs and street signs to remain in place during construction.
 - 13. Tactile warning mats will be installed on all wheelchair ramps.
 - 14. A utility cut permit is required for each open cut of a city street.
 - 15. Any broken or missing sidewalk panels will be replaced.
 - 16. Contact Karen Dixon at 910-341-7888 to discuss street lighting options.
 - 17. Water and sewer service shall meet Cape Fear Public Utility Authority (CFPUA) details and specifications.
 - 18. Project shall comply with CFPUA Cross Connection Control requirements. Water meter(s) cannot be released until all requirements are met and the State has given their final approval. Call 910-343-3910 for information.
 - 19. If the contractor desires CFPUA water for construction, he shall apply in advance for this service and must provide a reduced pressure zone (RPZ) backflow prevention device on the developer's side of the water meter box.
 - 20. Any irrigation system supplied by CFPUA water shall comply with the CFPUA Cross Connection Control regulations. Call 919-343-3910 for information.
 - 21. Any irrigation system shall be equipped with a rain and freezer sensor.
 - 22. Any backflow prevention devices required by the CFPUA will need to be on the list of approved devices by USCFCCCHR or ASSE.
 - 23. Contractor to field verify existing water and sewer service locations, sizes and materials prior to construction. Engineer to be notified of any conflicts.
 - 24. Contractor shall maintain all-weather access for emergency vehicles at all times during construction.
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- 25. Underground fire line(s) must be permitted and inspected by the Wilmington Fire Department from the public right-of-way to the building. Contact the Wilmington Fire Department Division of Fire and Life Safety at 910-341-0696.
- 26. No obstructions are permitted in the space between thirty (30) inches and ten (10) feet above the ground within the triangular sight distance.
- 27. Contact the North Carolina One Call Center at 1-800-632-4949 prior to doing any digging, clearing, or grading

COA

City of Wilmington

Historic Preservation Commission

CERTIFICATE OF APPROPRIATENESS



To: New Hanover County, owner Location: 320 Chestnut Street
John Sawyer, architects
Date: November 9, 2013 (extension issued October 18, 2013)
Expires: May 9, 2014 COA Number: MJW-13-35 (modification for time extension)

DESCRIPTION OF APPROVED PROPOSAL:

This COA is an extension of the original COA granted on May 9, 2013 to: **(1)** install replacement window; **(2)** install new storefront windows; **(3)** replace sliding door entrance with doors with new doors the reflect the design and style of the original doors, **(4)** restore the ground floor projecting canopy; **North 3rd Street elevation** **(5)** remove fire escape and mechanical room door; **(6)** existing window wall on floors 3-6 each floor will be extend to the west (3rd Street) a new aluminum an glass walls will enclose the new space; **(7)** create a new main, materials include cast stone, painted aluminum and steel canopy; **Princess Street elevation:** **(8)** remove fire escape, mechanical room door will be removed and door opening will be enclosed with bricks to match the existing bricks and **(9)** wall enclosing new exit stair in metal wall panels all as shown on the drawings, photographs and narrative statements contained in the application and supplemental materials and statements made at the May 9, 2013 HPC meetings unless otherwise noted.

Applicant must secure all necessary permits and approvals before work may commence.

This C.O.A. shall become null and void if commencement of the proposed changes as specified above have not commenced within six (6) months of November 9, 2013 and will expire on **May 9, 2014**. **The secretary of the commission or his designee may not grant any further extensions of the original C.O.A.** The Secretary shall inform the Commission of any extension of time. The Historic Preservation Commission may grant an extension of a C.O.A., for any length of time deemed appropriate, provided an application for such extension is submitted in writing to the commission prior to the expiration of the original C.O.A. or any extension.

PLEASE POST

Contact Code Enforcement at 341-3266 prior to making any approved changes to determine if a permit is required.

320 Chestnut Street Additions & Renovations New Hanover County

TRC SUBMITTAL
February 28, 2014

INDEX OF DRAWINGS

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- AC1.0 Site & Adjacent Property Owners
- AC1.1 Construction Fence & Off Site Improvements
- C 1.1 Site Staking Plan
- C 2.1 Existing Conditions and Demolition Plan
- AC1.2 Impervious Surface Area
- C 3.1 Site Grading and Erosion Control Plan
- C 4.1 Site Planting Plan
- C 5.1 Site Details
- C 5.2 Site Details
- PE 1 Existing Site Work
- PE 2 New Site Work
- AC 1.3 Communications Service Conduit
- SSD-1 CFPWA Sanitary Sewer Notes
- SSD-2 CFPWA Sanitary Sewer
- SSD-3 CFPWA Sanitary Sewer
- SSD-4 CFPWA Sanitary Sewer
- WSD-1 CFPWA Water Distribution System
- WSD-2 CFPWA Water Distribution System

Abbreviations

- A.C.T. - ACOUSTICAL CEILING TILE
- ADJ. - ADJUSTABLE
- A.F.F. - ABOVE FINISHED FLOOR
- ALUM. - ALUMINUM
- AHU - AIR HANDLING UNIT
- BLDG. - BUILDING
- B.O.S. - BOTTOM OF STEEL
- B.R. - BACKER ROD
- C.J. - CONTROL JOINT
- C.M.U. - CONCRETE MASONRY UNIT
- CONC. - CONCRETE
- C.O. - CLEAN OUT
- CONT. - CONTINUOUS
- CP - CONCRETE PIPE
- C.L. - CENTER LINE
- DIA. - DIAMETER
- DIM. - DIMENSION
- D.S. - DOWN SPOUT
- E.C. - ELECTRICAL CONTRACTOR
- E.J. - EXPANSION JOINT
- ELEV. - ELEVATION
- EQ. - EQUAL
- EQUIP. - EQUIPMENT
- EXIST. - EXISTING
- EXP. JT. - EXPANSION JOINT
- F.F.E. - FINISH FLOOR ELEVATION
- GALV. - GALVANIZED
- GA. - GAUGE
- G.C. - GENERAL CONTRACTOR
- GWB-GYPSUM WALL BOARD
- HT. - HEIGHT
- INSUL. - INSULATION
- INV. - INVERT
- JT. - JOINT
- MAS. - MASONRY
- MAX. - MAXIMUM
- MECH. - MECHANICAL
- MFG. - MANUFACTURER
- MIN. - MINIMUM
- NOM. - NOMINAL
- O.C. - ON CENTER
- PERF. - PERFORATED
- HPL - HIGH PRESSURE LAMINATE
- PLYWD - PLYWOOD
- P.S.I. - POUNDS PER SQUARE INCH
- R. - RADIUS
- R/A - RETURN AIR
- R.A.G. - RETURN AIR GRILL
- R.C.P. - REINFORCED CONCRETE PIPE
- RD. - ROOF DRAIN
- REINF. - REINFORCEMENT
- REQD. - REQUIRED
- R.O. - ROUGH OPENING
- S/A - SUPPLY AIR
- S.S. - STAINLESS STEEL
- T.O.M. - TOP OF MASONRY
- STRUCT. - STRUCTURAL
- T.O.S. - TOP OF STEEL
- TRTD - TREATED
- TYP. - TYPICAL
- V.B. - VAPOR BARRIER
- V.C.T. - VINYL COMPOSITE TILE
- VERT. - VERTICAL
- W. - WITH
- @ - AT, AROUND, REGARDING

Symbols Legend

- DRAWING TITLE
 - INDICATES DRAWING #
 - Drawing Title
 - Scale
 - INDICATES SHEET WHERE DRAWING IS SHOWN
- BUILDING SECTION REFERENCE
 - INDICATES SECTION #
 - INDICATES SHEET WHERE DRAWING IS SHOWN
- WALL SECTION REFERENCE
 - INDICATES SHEET WHERE SECTION IS SHOWN
 - INDICATES SECTION #
- ELEVATION REFERENCE
 - INDICATES SHEET WHERE ELEVATION IS SHOWN
 - INDICATES ELEVATION #
- PLAN DETAIL REFERENCE
 - INDICATES ENLARGED DETAIL
- DOOR # ROOM #
- WINDOW TYPE
- VERTICAL ELEVATION ABOVE REFERENCE POINT

SITE LOCATION MAP



PROJECT LOCATION

2012 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES) (Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: 320 Chestnut Street Additions & Renovations
Address: 320 Chestnut Street, Wilmington, N.C. Zip Code 28401
Proposed Use: Business
Owner/Authorized Agent: John Sawyer Architects Phone # (910) 762-0892 E-Mail john@johnsawyerarchitects.com
Owned By: new Hanover County City/County Private State
Code Enforcement Jurisdiction: City County New Hanover State

LEAD DESIGN PROFESSIONAL: John Sawyer Architects, PC - John R. Sawyer, AIA

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	John Sawyer Architects	John R. Sawyer	3428	(910) 762-0892	john@johnsawyerarchitects.com
Civil	N/A				
Electrical	David Sims & Assoc.	David B. Sims Jr.	7138	(910) 791-8016	david@dsaeng.com
Fire Alarm	David Sims & Assoc.	David B. Sims Jr.	7138	(910) 791-8016	david@dsaeng.com
Plumbing	David Sims & Assoc.	David B. Sims Jr.	7138	(910) 791-8016	david@dsaeng.com
Mechanical	David Sims & Assoc.	David B. Sims Jr.	7138	(910) 791-8016	david@dsaeng.com
Sprinkler-Standpipe	David Sims & Assoc.	David B. Sims Jr.	7138	(910) 791-8016	david@dsaeng.com
Structural	W.D. Jones Engineering	Doug Jones	025852	(910) 523-5381	wjengineer@ec.rr.com
Retaining Walls >5' High	N/A				
Other	N/A				

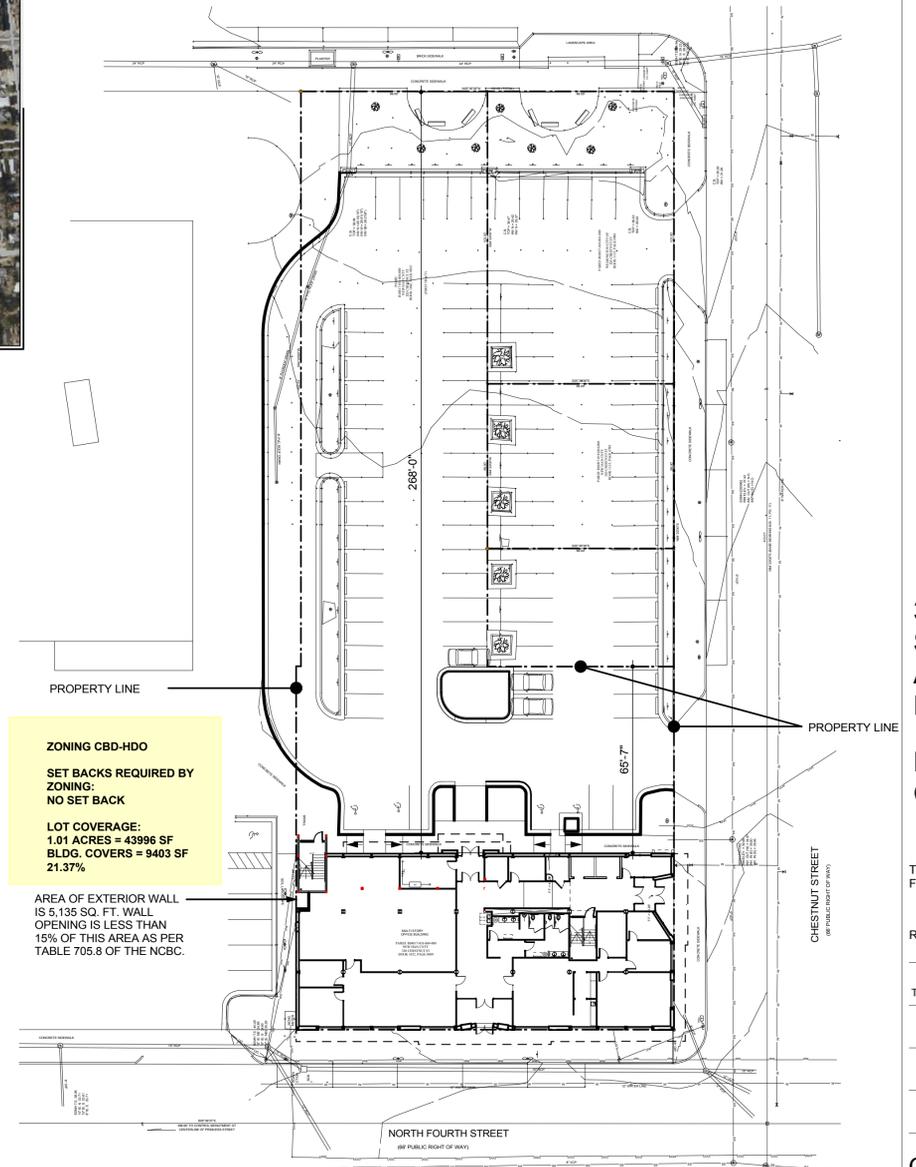
2012 EDITION OF NC CODE FOR: New Construction Addition Uplift
EXISTING: Reconstruction Alteration Repair Renovation
CONSTRUCTED: (date) 1950 **ORIGINAL USE(S)** (Ch. 3): Business
RENOVATED: (date) Various dates **CURRENT USE(S)** (Ch. 3): Business
PROPOSED USE(S) (Ch. 3): Business

BASIC BUILDING DATA
Construction Type: I-A II-A III-A IV V-A
 I-B II-B III-B V-B
(check all that apply)
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Yes Class I II III Wet Dry
Fire District: No Yes (Primary) **Flood Hazard Area:** No Yes
Building Height: (feet) 82

Gross Building Area:

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
7 th Floor	1773	112	1885
6 th Floor	6812	802	7614
5 th Floor	6812	802	7614
4 th Floor	6812	802	7614
3 rd Floor	6812	802	7614
2 nd Floor	8290	46	8336
1 st Floor	9357	46	9403
TOTAL	45561	3412	48973

2012 NC Administrative Code and Policies

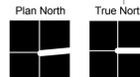


ZONING CBD-HDO
SET BACKS REQUIRED BY ZONING:
NO SET BACK

LOT COVERAGE:
1.01 ACRES = 43996 SF
BLDG. COVERS = 9403 SF
21.37%

AREA OF EXTERIOR WALL IS 5,135 SQ. FT. WALL OPENING IS LESS THAN 15% OF THIS AREA AS PER TABLE 705.8 OF THE NCBC.

9 Zoning & Lot Coverage
G1.0 Scale: 1" = 30 ft



John Sawyer Architects

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STAFFORD CONSULTING ENGINEERS
A TERRACON COMPANY
Building Envelope Systems Specialists



320 Chestnut Street
Additions & Renovations

New Hanover County

TRC Submittal
February 24, 2014

Revisions:

TRC Review 01/09/14

Cover

G1.0

of
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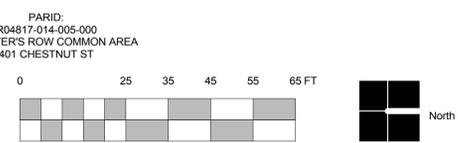
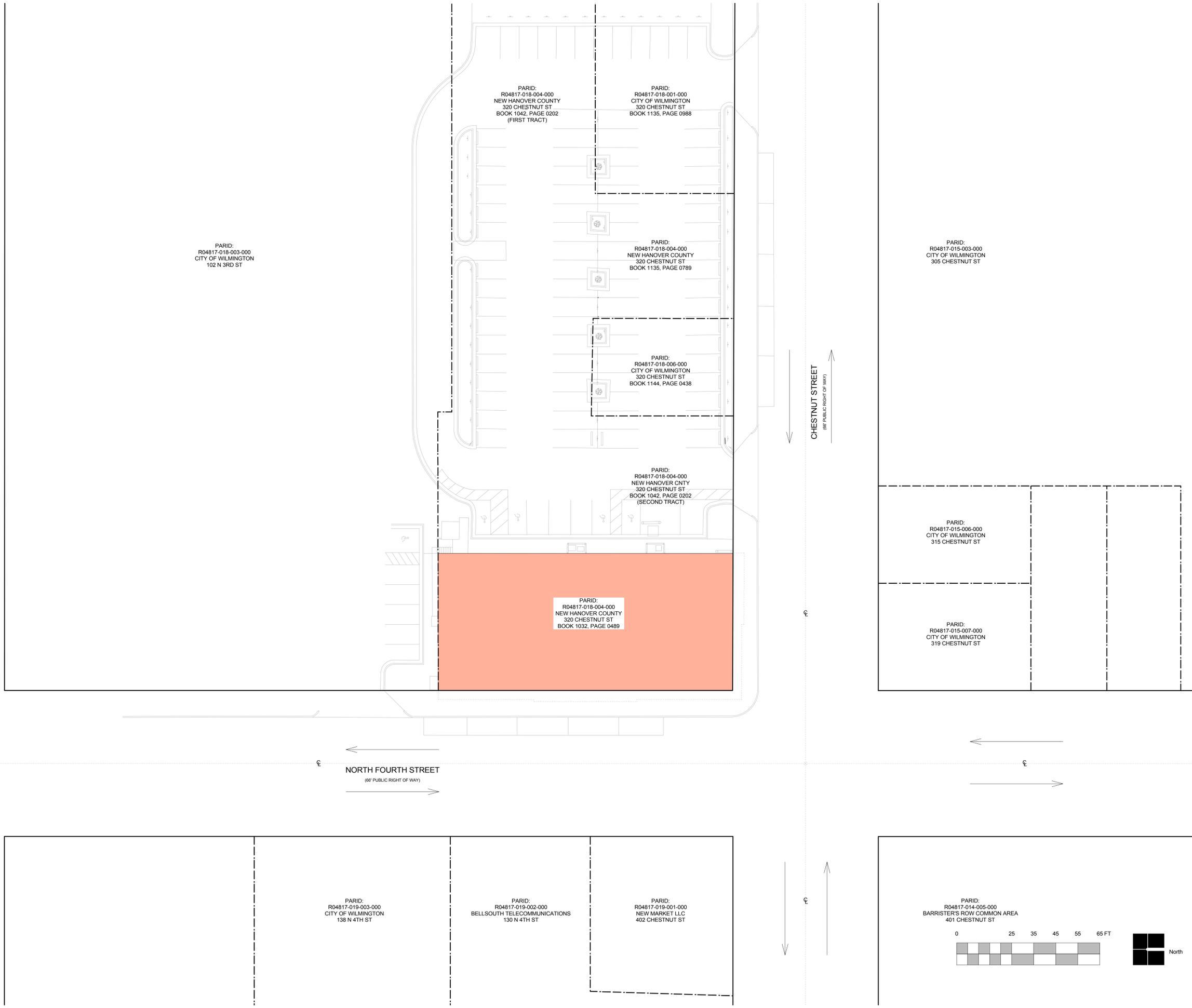
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320 Chestnut Street Additions & Renovations
New Hanover County

Revisions:

Site & Adjacent Property Owners





320 Chestnut Street Additions & Renovations

New Hanover County

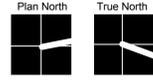
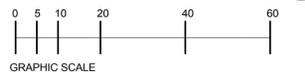
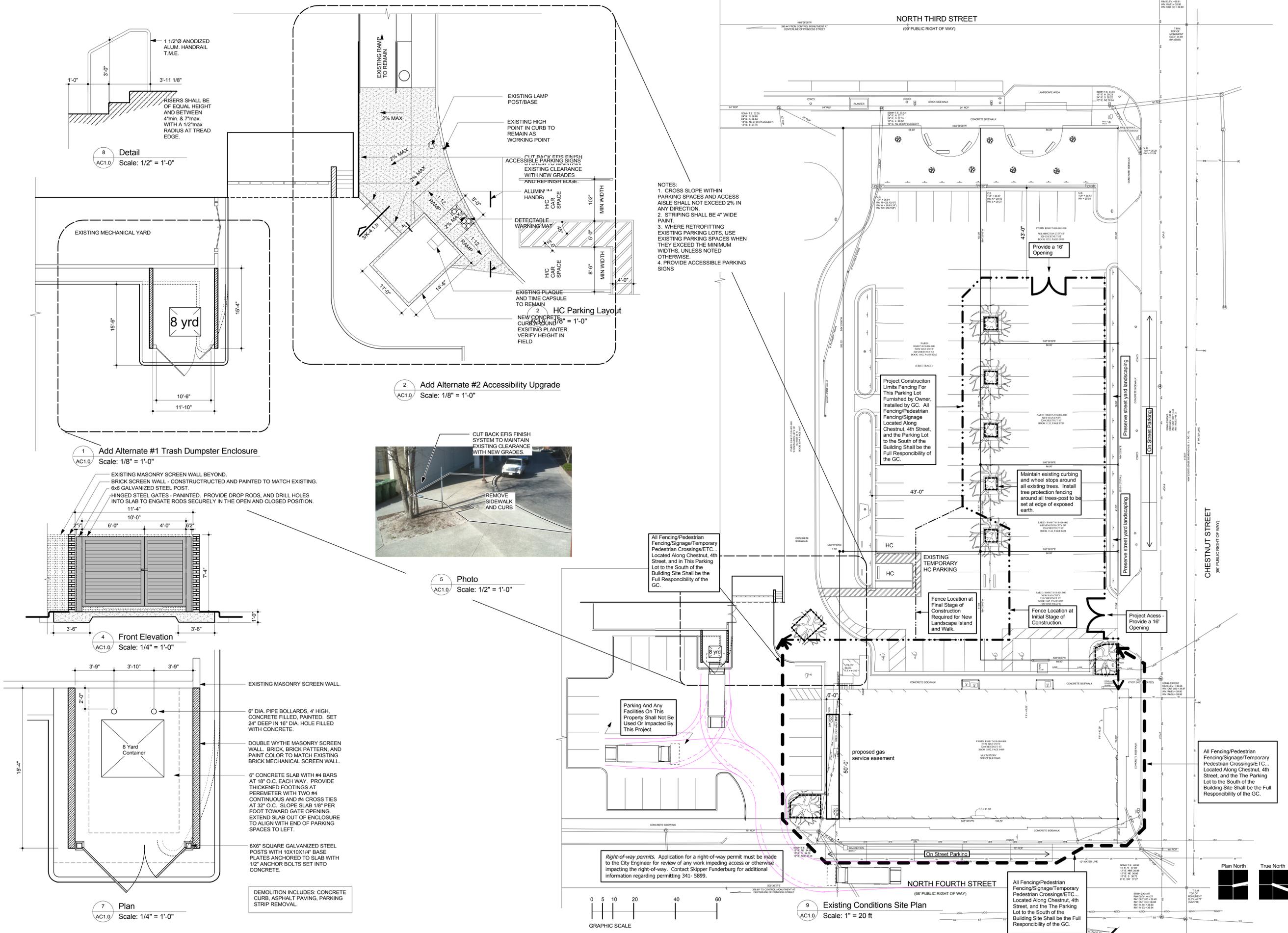
Construction Drawings
January 24, 2014

Revisions:

Construction Fence Plan and Off Site Improvements

AC1.1
of 1 Sheets

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PARID: R04817-018-006-000
 WILMINGTON CITY OF
 320 CHESTNUT ST
 BOOK 1144, PAGE 0438

PARID: R04817-018-004-000
 NEW HAN CNTY
 320 CHESTNUT ST
 BOOK 1042, PAGE 0202
 (SECOND TRACT)

PARID: R04817-018-004-000
 NEW HAN CNTY
 320 CHESTNUT ST
 BOOK 1032, PAGE 0489

NORTH FOURTH STREET
 66' PUBLIC R/W

CHESTNUT STREET
 66' PUBLIC R/W

KEY NOTES

- (A) CONCRETE WHEEL STOPS, SEE DETAIL SHEET C5.1.
- (B) CONCRETE SIDEWALK, SEE DETAIL SHEET C5.1.
- (C) ACCESSIBLE CURB RAMP, SEE DETAIL SHEET C5.1.
- (D) 24" CURB AND GUTTER, SEE DETAIL SHEET 5.1.
- (E) WHITE PARKING SPACE MARKING, SEE TRAFFIC CONTROL NOTES THIS SHEET.
- (F) ACCESSIBLE PARKING SIGNAGE MOUNTED ON BUILDING, SEE DETAIL SHEET C5.1.
- (G) DIRECTIONAL ARROWS, SEE TRAFFIC CONTROL NOTES THIS SHEET
- (H) ASPHALT PAVEMENT, SEE DETAIL SHEET C5.1.
- (I) BOLLARD, SEE DETAIL SHEET C5.1. CONFIRM CLEARANCES WITH DUKE ENERGY PRIOR TO INSTALLATION.
- (J) ACCESSIBLE RAMP, SEE DETAIL SHEET C5.1
- (K) CROSSWALK, SEE DETAIL SHEET C5.1
- (L) 8"x8" CONCRETE PAVERS, SEE DETAIL SHEET C5.1
- (M) REPLACE EXISTING CURB TO CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.

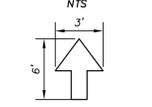
GENERAL NOTES

1. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB AND FACE OF BUILDING WALL, UNLESS OTHERWISE INDICATED.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
3. CONSTRUCTION STAKE OUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF WILMINGTON AND LOCAL STANDARDS AND SPECIFICATIONS.
5. ALL EXISTING ITEMS TO REMAIN: SUCH AS PLANT MATERIAL, IRRIGATION, SOD, SITE WALLS, FENCES, HARDSCAPE, ASPHALT, ETC. THAT ARE DISTURBED OR DAMAGED, SHALL BE REPLACED AND RESTORED TO MATCH PRE-CONSTRUCTION CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
6. EXISTING SITE SURVEY INFORMATION WAS TAKEN FROM TOPOGRAPHIC SURVEY BY ARNOLD W. CARSON, PLS, PC DATED 2-11-13. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING WORK.
7. CONTRACTOR SHALL SUBMIT SCORING PATTERN LAYOUT FOR APPROVAL FOR ALL NEW WALKS PRIOR TO CONCRETE PLACEMENT. EXPANSION AND CONTROL JOINTS SHALL BE SPACED ACCORDING TO SPECIFICATIONS.

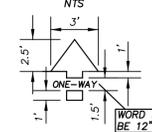
TRAFFIC CONTROL NOTES

1. ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
2. ALL SIGNS SHALL BE MOUNTED ON EXISTING BUILDING.
3. ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND NCDOT STANDARDS AND THE PROJECT SPECIFICATIONS.
4. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC TYPE WITH REFLECTIVE GLASS BEADS, THERMOPLASTIC MATERIAL SHALL BE SPECIALLY FORMULATED FOR PERMANENT ADHESION TO CONCRETE.
5. ALL SIGNAGE SHALL BE FIELD STAKED AND THE LOCATIONS APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
6. CENTER ALL DIRECTIONAL ARROWS WITHIN TRAVEL LANE.
7. COORDINATE AND INSTALL FIRE LANE MARKINGS AS REQUIRED BY CITY OF WILMINGTON FIRE MARSHAL.
8. ALL PAVEMENT MARKINGS ON CITY STREETS OR ENTRANCE TO RIGHT OF WAY WILL BE THERMO-PLASTIC STOP/YIELD BARS MUST BE 4' BEHIND THE CROSSWALK.
9. ALL TRAFFIC CONTROL DEVICES SHALL MEET THE MUTCD, NC SUPPLEMENT TO THE MUTCD, AND THE CITY OF JACKSONVILLE MSSD STANDARDS.

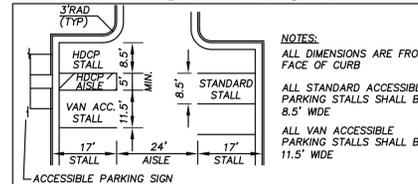
STANDARD DIRECTIONAL ARROW DIAGRAM



ONE-WAY DIRECTIONAL ARROW DIAGRAM



TYP. PARKING DIMENSIONS



NOTES:
 ALL DIMENSIONS ARE FROM FACE OF CURB
 ALL STANDARD ACCESSIBLE PARKING STALLS SHALL BE 8.5' WIDE
 ALL VAN ACCESSIBLE PARKING STALLS SHALL BE 11.5' WIDE

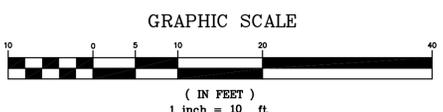
SEE ARCHITECTURAL PLANS FOR ALTERNATE WORK IN THIS AREA.

CONSTRUCTION FENCE SEE ARCHITECTURAL DRAWINGS FOR LIMITS

RESTRIPE TO MATCH EXISTING PAVEMENT MARKINGS. REPAIR ANY DAMAGE TO TRAFFIC CONTROL LOOPS.

MATCH EXISTING SCORE LINES

S05°36'37"E
 CONTROL MONUMENT AT LINE OF PRINCESS STREET



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320 Chestnut Street Additions & Renovations

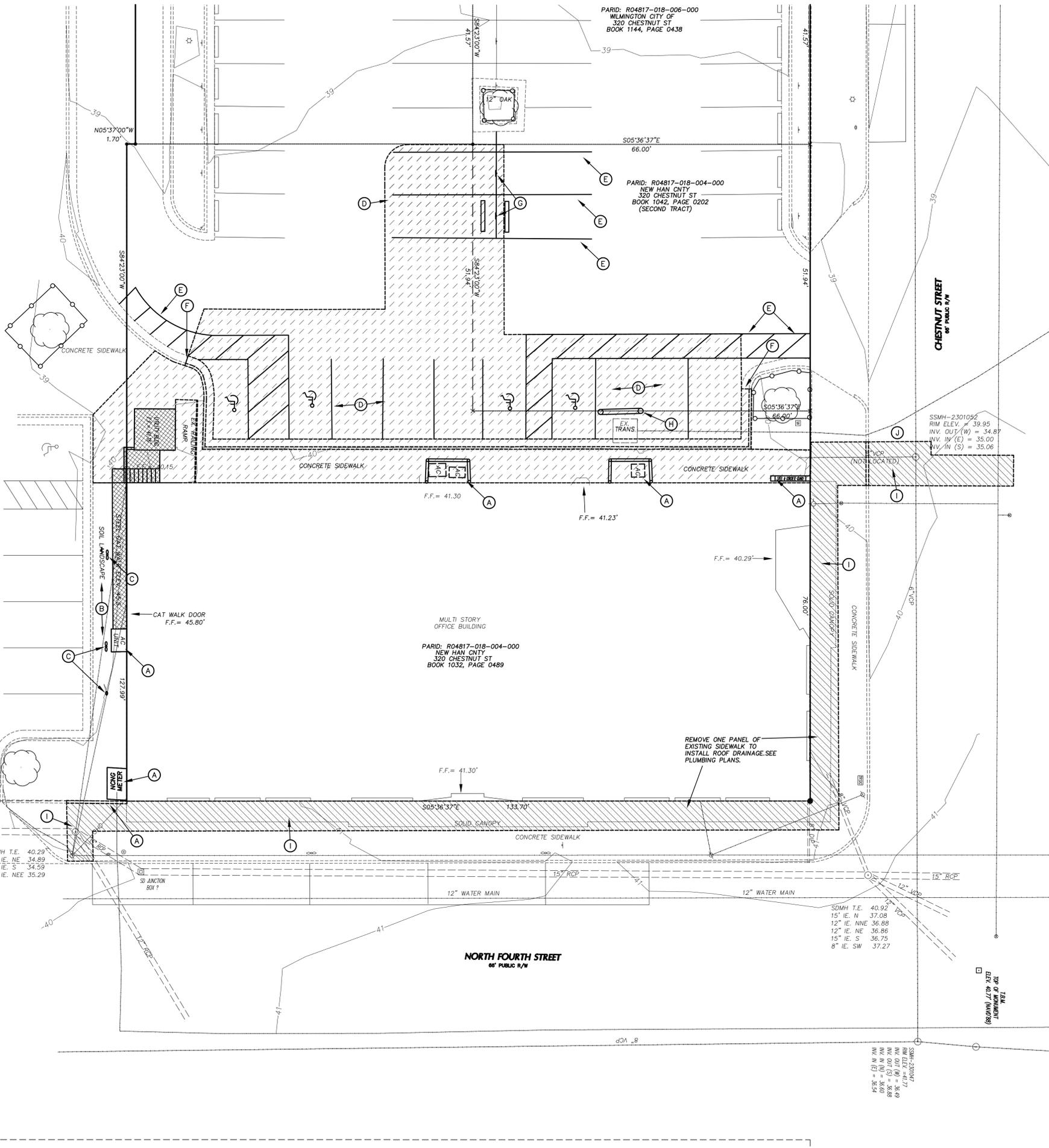
Construction Drawings
 January 24, 2014

Revisions:

SITE STAKING PLAN

C1.1
 1 of 6

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LEGEND - STRUCTURES/UTILITIES TO REMAIN

OVERHEAD ELECTRICAL	----- E -----	LIGHT POLE	☆ LP
UNDERGROUND ELECTRICAL	----- UE -----	UTILITY POLE	⊗ PP
GAS	----- G -----	MANHOLE	⊙ MH
SANITARY SEWER	----- SS -----	CLEAN OUT	⊙ CO
TELEPHONE	----- T -----	DROP INLET, CATCH BASIN	□ DI, CB
UNDERGROUND TELEPHONE	----- UT -----	FIRE HYDRANT	⊙ FH
FIRE PROTECTION	----- FP -----	WATER VALVE	⊙ WV
WATER	----- W -----	TREE PROTECTION FENCING	SEE DETAIL SHEET C8.1.
FORCE MAIN	----- FM -----	INDIVIDUAL TREE TO REMAIN.	⊙
STORM DRAIN	===== ST =====		
IRRIGATION	----- IW -----		

LEGEND - STRUCTURES/UTILITIES TO BE REMOVED

OVERHEAD ELECTRICAL	----- E -----	LIGHT POLE	☆ LP
UNDERGROUND ELECTRICAL	----- UE -----	UTILITY POLE	⊗ PP
GAS	----- G -----	MANHOLE	⊙ MH
SANITARY SEWER	----- SS -----	CLEAN OUT	⊙ CO
TELEPHONE	----- T -----	DROP INLET, CATCH BASIN	□ DI, CB
UNDERGROUND TELEPHONE	----- UT -----	FIRE HYDRANT	⊙ FH
FIRE PROTECTION	----- FP -----	WATER VALVE	⊙ WV
WATER	----- W -----	C&G TO BE REMOVED, PAVEMENT, SIDEWALK, CONCRETE.	▨
FORCE MAIN	----- FM -----	INDIVIDUAL TREE TO BE REMOVED.	⊗
STORM DRAIN	===== ST =====		
IRRIGATION	----- IW -----		

KEY NOTES

- (A) UTILITY/STRUCTURE TO BE REMOVED (SEE ARCHITECTURAL PLANS).
- (B) EXISTING SHRUBS & LANDSCAPE AREA TO BE REMOVED.
- (C) EXISTING SIGNS TO BE REMOVED BY CITY OF WILMINGTON PRIOR TO CONSTRUCTION.
- (D) SIDEWALK/PAVEMENT/CURB AND GUTTER TO BE REMOVED.
- (E) REMOVE EXISTING STRIPING AND MILL 1/2". REFER TO STAKING PLAN FOR ADDITIONAL INFORMATION.
- (F) SAW CUT AND REMOVE EXISTING GUTTER.
- (G) REMOVE SIGNS.
- (H) REMOVE BOLLARDS.
- (I) SIDEWALK/PAVEMENT TO BE REMOVED TO INSTALL NEW UTILITIES AND ROOF DRAINAGE. SEE PLUMBING DRAWINGS FOR INFORMATION REGARDING INSTALLATION OF NEW UTILITIES.
- (J) REMOVE, STORE AND PROTECT EXISTING CURBING FOR REUSE. REMOVE ONLY AS REQUIRED FOR INSTALLATION OF NEW UTILITIES.
- (K) TREE PROTECTION FENCING, PROTECT EXISTING TREES FROM DAMAGE, SEE DETAIL SHEET.

GENERAL NOTES

1. ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
2. LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. NOTIFY OWNER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THOSE SHOWN ON THE PLAN.
3. ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS. OWNER HAS FIRST RIGHT OF REFUSAL, CONTRACTOR SHALL DELIVER TO AREA DESIGNATED BY OWNER; OTHERWISE IT IS THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE.
4. INSTALL TREE PROTECTION FENCING PRIOR TO BEGINNING CLEARING OPERATIONS. CLEAR AS NEEDED WITHIN CONSTRUCTION LIMITS PER SPECIFICATIONS AND DRAWINGS. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL WHICH WILL NEW CONSTRUCTION SHALL BE REMOVED (WHETHER OR NOT SHOWN ON THE DRAWINGS) FOLLOWING APPROVAL OF OWNER/ARCHITECT COORDINATE WITH OWNER'S GROUND'S DEPARTMENT ON SALVAGE OF REMOVED LANDSCAPE MATERIAL. BY SUBMITTING A BID, CONTRACTOR ACKNOWLEDGES THAT THE SITE HAS BEEN INVESTIGATED TO DETERMINE TYPE, SIZE AND QUANTITY OF CLEARING REQUIRED FOR CONSTRUCTION. COORDINATE TREE PROTECTION FENCING WITH NEW HANOVER COUNTY GROUNDS DEPARTMENT.
5. ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE.
LIMITS OF PAVEMENT REMOVAL SHOWN ARE MINIMUM REQUIRED. ADDITIONAL PAVEMENT MAY BE REMOVED AND REPLACED AS DEEMED NECESSARY BY THE CONTRACTOR FOR CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER. ALL EXISTING PAVEMENT & STRIPING DAMAGED DURING CONSTRUCTION SHALL BE REPLACED OR REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
6. VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
7. PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, NOTIFY ARCHITECT IMMEDIATELY.
8. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND OSHA REGULATIONS.

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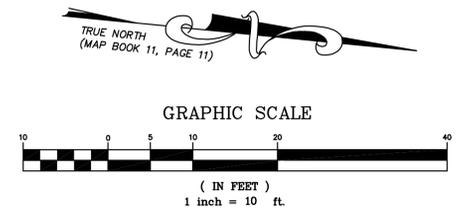
320 Chestnut Street Additions & Renovations

Construction Drawings
January 24, 2014

Revisions:

EXISTING CONDITIONS AND DEMOLITION PLAN

C2.1





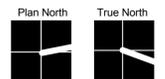
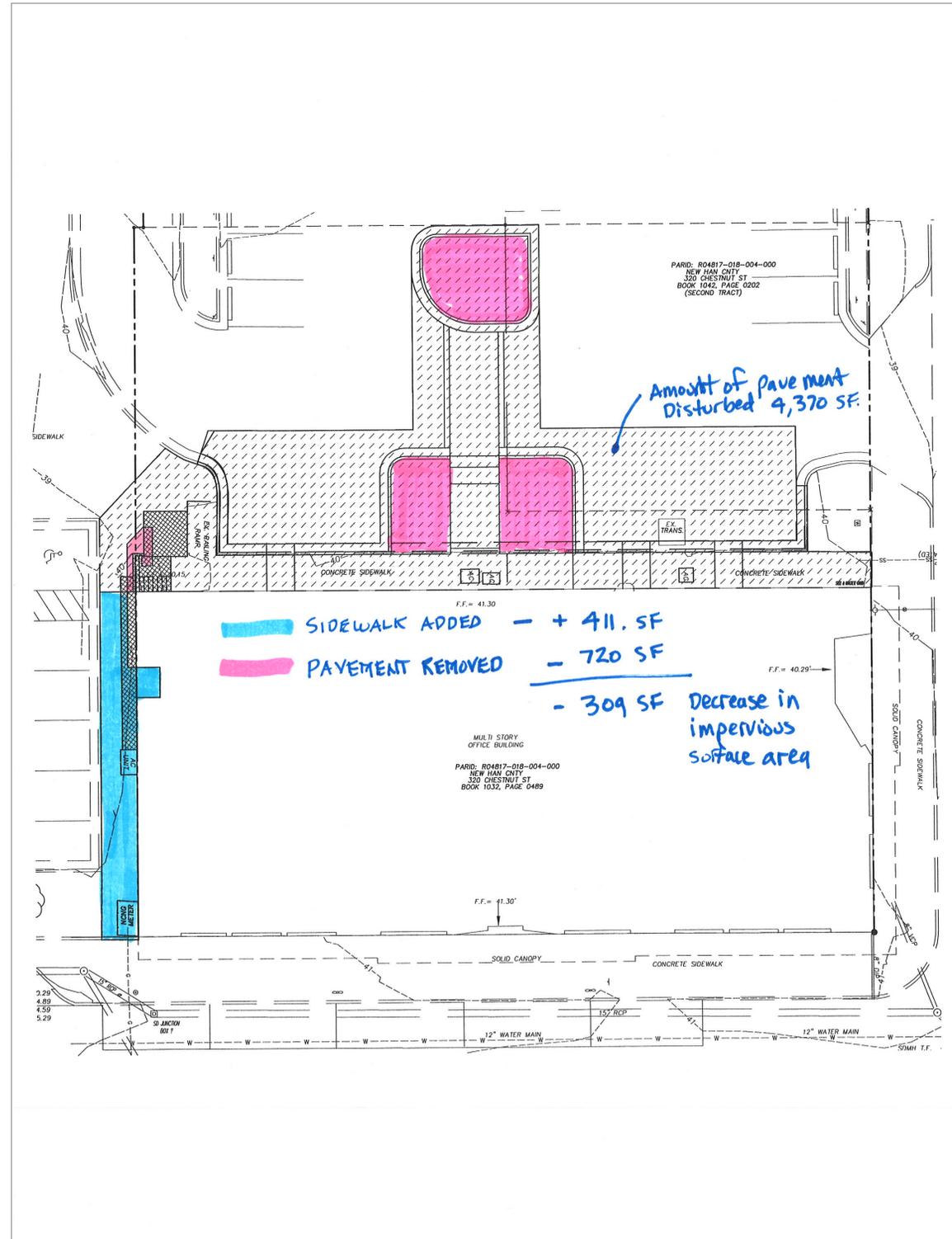
320 Chestnut Street Additions & Renovations

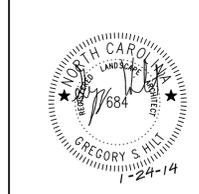
New Hanover County

Construction Drawings
January 24, 2014

Revisions:

Impervious Surface Calc.





LEGEND

EXISTING CONTOURS	
FINISH CONTOURS	
EXISTING SPOT ELEVATION	69.3+
PROPOSED SPOT ELEVATION	70.50
PROPOSED SPOT ELEVATION (TOP OF CURB)	57.80
EXISTING STORM PIPE	
TREE PROTECTION FENCE	
TEMPORARY SILT FENCE	

GRADING GENERAL NOTES

1. ALL SPOT ELEVATIONS INDICATED AT CURB AND GUTTER ARE TO TOP OF CURB, UNLESS OTHERWISE SHOWN. ALL OTHER SPOT ELEVATIONS INDICATE GROUND/PAVEMENT GRADE.
2. CONSTRUCTION LIMITS: 0.36 AC. TOTAL DISTURBED AREA: 0.11 AC.
3. CONTRACTOR SHALL ADJUST ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. TO MATCH FINISH GRADE (WHETHER OR NOT SHOWN ON THE DRAWINGS).
4. ALL BACKFILL, COMPACTION, SOILS TESTING, ETC. SHALL BE PERFORMED BY THE OWNERS INDEPENDENT TESTING LABORATORY (SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION).
5. ALL STORM DRAIN PIPES SHALL BE PROTECTED WITH STONE FILTER PROTECTION AFTER STOPPAGE OF WORK EACH DAY. SEE DETAIL SHEET.
6. EXISTING VEGETATION WITHIN TREE PROTECTION AREAS SHALL REMAIN UNDISTURBED, UNLESS NOTED OTHERWISE.
7. THE GRADING CONTRACTOR SHALL COMPLY WITH ALL STATE CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF-SITE.
8. THE GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY STATE AUTHORITIES OR THE ARCHITECT.
9. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE DISPOSAL OF ALL CLEARING AND GRADING WASTE MATERIALS GENERATED DURING HIS PHASE OF WORK AND FOR OBTAINING ALL APPLICABLE PERMITS FOR OFF-SITE STOCKPILES AND/OR WASTE AREAS.
10. ANY AND ALL LANDSCAPING AND EXISTING TREES & SHRUBS TO REMAIN WHICH ARE DAMAGED DURING GRADING OPERATIONS SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.

EROSION CONTROL GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF SITE. ALL OFF-SITE SOIL BORROW AND WASTE SITES SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITIES.
2. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY LOCAL AUTHORITIES OR ARCHITECT.
3. ALL OPEN STORM PIPES SHALL BE PROTECTED WITH STONE FILTER PROTECTION AFTER WORK STOPPAGE EACH DAY.
4. ALL STORM DRAINAGE PIPES SHALL BE THOROUGHLY FLUSHED OF ALL SEDIMENT FOLLOWING SITE STABILIZATION. INTERIOR FLUSHING OF SYSTEM SHALL BE PERFORMED AS NEEDED TO MAINTAIN PROPER FUNCTIONING OF THE SYSTEM.
5. SOIL AND OTHER MATERIALS SHALL ONLY BE TEMPORARILY STOCKPILED WITHIN THE CONSTRUCTION LIMITS PROTECTED BY SEDIMENT AND EROSION CONTROL DEVICES AND MEASURES. STOCKPILES SHALL BE STABILIZED AS REQUIRED AS INDICATED IN THE SLOPE & SURFACE STABILIZATION NOTES.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL NCDENR, NEW HANOVER COUNTY STANDARDS AND PROJECT SPECIFICATIONS.

MAINTENANCE PLAN

1. DURING ALL PHASES OF CONSTRUCTION, GROUND COVER ON EXPOSED SLOPES SHALL BE PROVIDED ACCORDING TO GROUND STABILIZATION TABLE (THIS SHEET) FOLLOWING COMPLETION OF ANY PHASE OF GRADING.
2. FINAL PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE PROVIDED ON ALL DISTURBED OR DEVELOPMENT AREAS ACCORDING TO GROUND STABILIZATION TABLE (THIS SHEET) FOLLOWING COMPLETION OF CONSTRUCTION.
3. THE ABOVE REQUIREMENTS ARE THE MINIMUM NECESSARY TO MEET EROSION AND SEDIMENT CONTROL AND SCHEDULES WHICH MAY EXCEED THOSE ABOVE. REGULATIONS. THE CONTRACT DOCUMENTS INCLUDE ADDITIONAL SEEDING AND STABILIZATION REQUIREMENTS.

SLOPE & SURFACE STABILIZATION

GROUND STABILIZATION SHALL BE PROVIDED ON ALL DISTURBED AREAS ACCORDING TO FOLLOWING SCHEDULE:

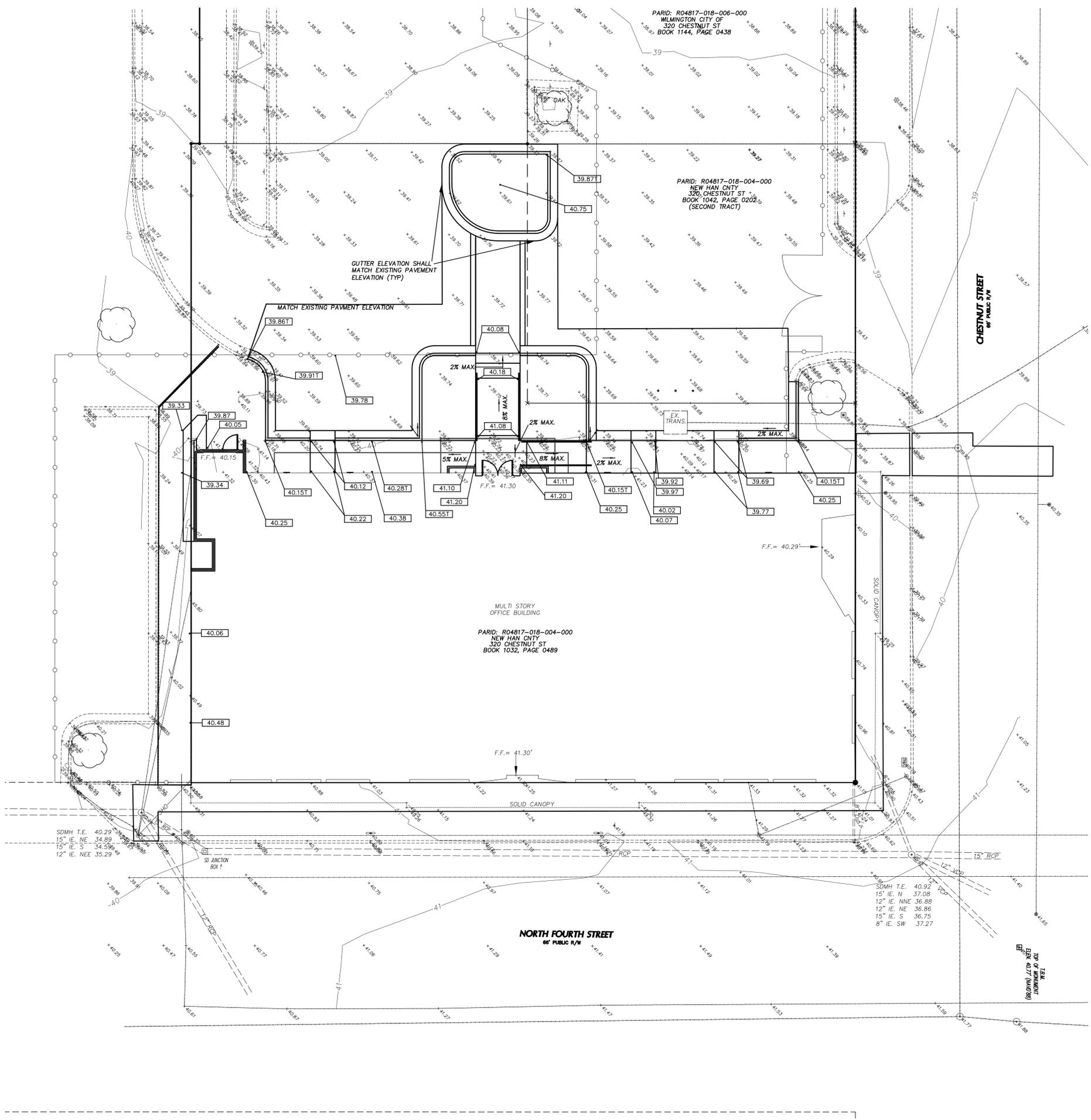
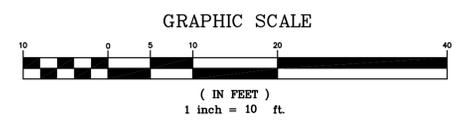
SITE AREA DESCRIPTION	GROUND STABILIZATION	
	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH.
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES).

EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE-SPECIFIC CONDITIONS THAT MAKE COMPLIANCE IMPRACTICABLE (SECTION II.B(2) (b)).

THE ABOVE REQUIREMENTS ARE THE MINIMUM NECESSARY TO MEET EROSION AND SEDIMENT CONTROL REGULATIONS. THE CONTRACT DOCUMENTS INCLUDE ADDITIONAL SEEDING AND STABILIZATION REQUIREMENTS AND SCHEDULES WHICH MAY EXCEED THOSE ABOVE.

INSTALL SLOPE EROSION CONTROL MATTING FOR TEMPORARY STABILIZATION DURING THE ESTABLISHMENT OF VEGETATIVE COVER ON ALL STEEP SLOPES (3:1 OR STEEPER). REFER TO SPECIFICATION SECTION 311000 FOR MATERIAL SPECIFICATIONS. INSTALL MATTING PER MANUFACTURER'S INSTRUCTIONS.

INSTALL GROUND COVER ON EXPOSED SLOPES WITHIN 21 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING; PERMANENT GROUND COVER FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT



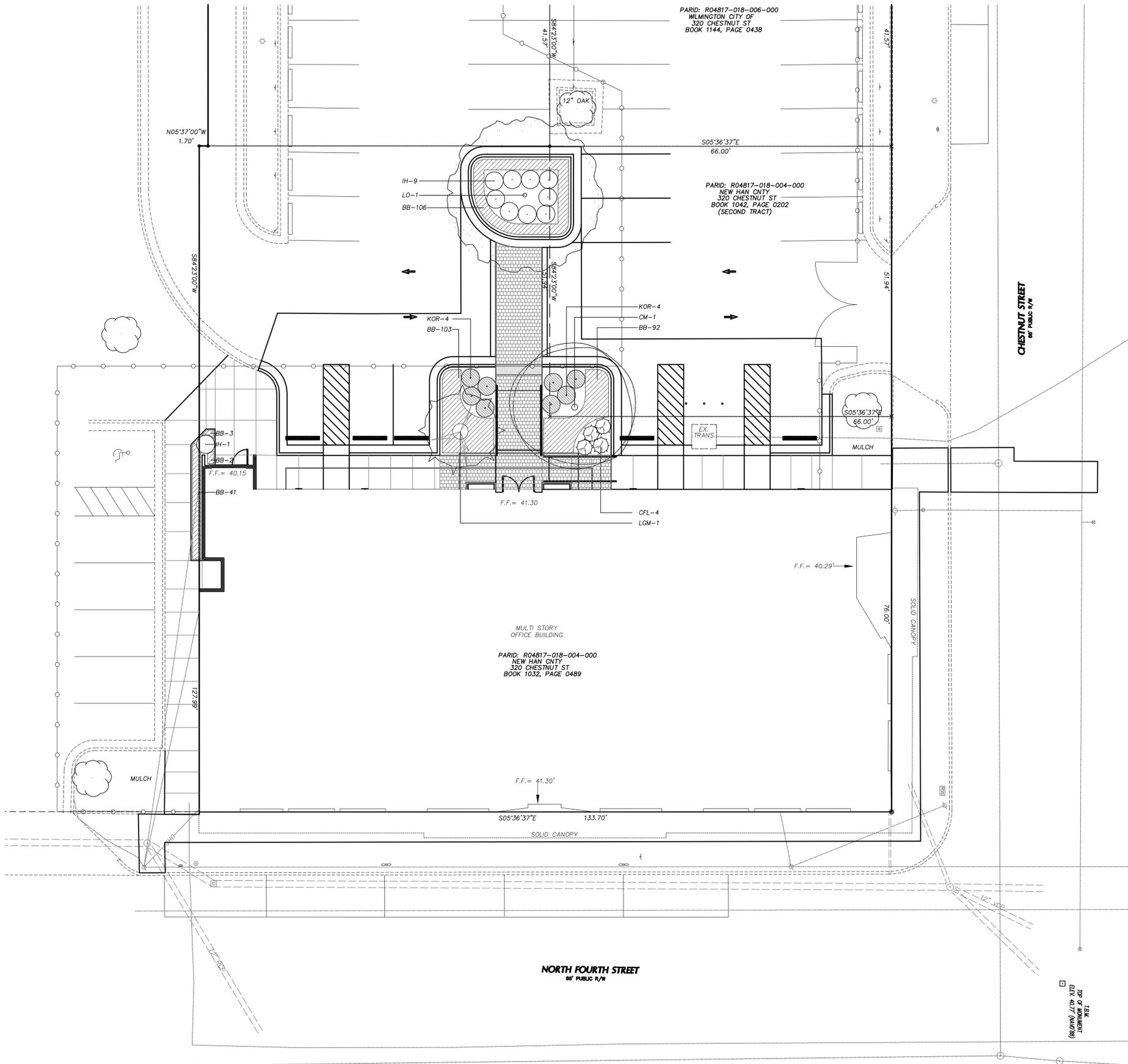
320 Chestnut Street
Additions & Renovations

Construction Drawings
January 24, 2014

Revisions:

SITE GRADING AND EROSION CONTROL PLAN
C3.1

3 of 6



PLANT LIST

KEY	QTY.	PLANT NAME	SIZE	REMARKS
TREES, SHRUBS AND GROUNDCOVERS				
BB	347	BIG BLUE LIRIOPE LIRIOPE MUSCARI 'BIG BLUE'	5-7 BIBS CONT.	SPACING 12" O.C.
CFL	4	CRIMSON FIRE LOROPETALUM LOROPETALUM CHINENSE 'CRIMSON FIRE'	15"-18" HT. CONT.	FULL PLANTS SPACING 3' O.C.
CM	1	CRAPE MYRTLE LAGERSTROEMIA INDICA x FAURIEI 'MUSKOGEE'	8'-9" HT. CONT.	J-5 TRUNK SPECIMEN
IH	9	SNOW WHITE INDIAN HAWTHORN RHAPHIOLEPIS UMBELLATA 'SNOW WHITE'	15"-18" HT CONT.	FULL PLANTS MATCHING 42" O.C.
KOR	8	DOUBLE KNOCK OUT ROSE ROSA 'RADTKO'	15"-18" HT CONT.	FULL PLANTS MATCHING 42" O.C.
LGM	1	LITTLE GEM MAGNOLIA MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CAL. 8'-10" HT., B&B	FULL CROWN, MATCHING, STRAIGHT TRUNK
LO	1	LIVE OAK QUERCUS VIRGINIANA	2" CAL. 10'-12" HT., B&B	FULL CROWN, MATCHING, STRAIGHT TRUNK

GRAPHIC SYMBOLS SUPERSEDE WRITTEN QUANTITIES WHERE DISCREPANCIES OCCUR.

LANDSCAPE NOTES

- LOCATE ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PLANT MATERIAL. NOTIFY OWNER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THOSE SHOWN ON THE PLAN.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE TOTAL QUANTITIES SHALL BE AS SHOWN ON THE PLAN.
- ALL PLANT MATERIAL SHALL CONFORM WITH THE STANDARDS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERMEN AND THE WRITTEN SPECIFICATIONS.
- PLANTING BEDS TO BE MULCHED WITH A MINIMUM OF 3" OF TRIPLE SHREDDED HARDWOOD. ALL PLANT GROUPINGS SHALL BE MULCHED AS ONE BED.
- ESTABLISH POSITIVE DRAINAGE IN ALL PLANTING BEDS AND AWAY FROM BUILDINGS.
- APPLY PRE-EMERGENT HERBICIDE TO ALL NEW PLANTING BEDS AT MANUFACTURER'S RECOMMENDED RATE PRIOR TO INSTALLATION OF MULCH.
- DO NOT INSTALL PLANT MATERIAL IN IMPERVIOUS SOILS (i.e. HOLES WHICH, WHEN FILLED WITH WATER, DO NOT COMPLETELY DRAIN WITHIN TWO HOURS.)
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ALL PLANTS AT HIS COST FROM HIS OWN WATER SOURCE INCLUDING DURING PERIODS OF DROUGHT UNTIL PROJECT ACCEPTANCE. ANY WATERING OR MAINTENANCE REQUIRED AFTER PROJECT ACCEPTANCE SHALL BE AT OWNERS COST.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL EQUIPMENT & SUBCONTRACTORS AWAY FROM PLANTED AREAS. IF DAMAGE OCCURS, THROUGH NO FAULT OF THE OWNER, AREAS SHALL BE RE-PLANTED IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL WATER AND MAINTAIN THOSE AREAS UNTIL THEY ARE AT 95-100% COVERAGE OR HAVE PROJECT ACCEPTANCE.
- SUBSTITUTIONS OF PLANT MATERIAL SHALL ONLY BE ACCEPTED 60 DAYS PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS. SUBSTITUTION REQUESTS MUST BE IN WRITING AND WILL ONLY BE ACCEPTED FOR LACK OF AVAILABILITY REASONS WHICH CAN BE SUBSTANTIATED OR FOR SUPERIOR STOCK SUBSTITUTIONS.
- ANY AND ALL LANDSCAPING AND EXISTING TREES & SHRUBS SHOWN TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED IN KIND BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADD'L COST TO THE OWNER.

TOPSOIL

TOPSOIL IS TO BE PROVIDED FOR THE CONTRACT AND INSTALLED BY THE CONTRACTOR PRIOR TO THE SITE BEING TURNED OVER TO OWNER.

TOPSOIL SHALL BE PREMIXED AND PRESCREENED PRIOR TO PLACING.

TOPSOIL SHALL BE 3 PARTS SANDY-LOAM WITH A pH OF 5.5-6.5 RANGE AND 1 PART COMPOSTED PINE BARK ORGANIC MATERIAL.

A MINIMUM OF 4" TOPSOIL SHALL BE APPLIED IN DISTURBED AREAS AND A MINIMUM OF 12" TOPSOIL IS TO BE APPLIED IN ALL LANDSCAPE PLANT BED AREAS.

PRIOR TO TOPSOIL APPLICATION, THE CONTRACTOR SHALL SCARIFY THE SOIL AREAS WHERE TOPSOIL IS TO BE APPLIED TO A DEPTH OF 1 FOOT AND REMOVE AND HAUL OFF ALL CONSTRUCTION DEBRIS BEFORE SPREADING THE TOPSOIL.

NO SCARIFICATION OR SUBSOILING SHALL BE DONE WITHIN THE DRIPLINE OF ANY EXISTING TREE TO REMAIN.

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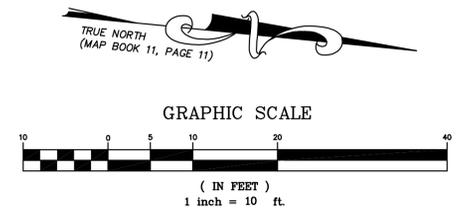
320 Chestnut Street Additions & Renovations

Construction Drawings
January 24, 2014

Revisions:

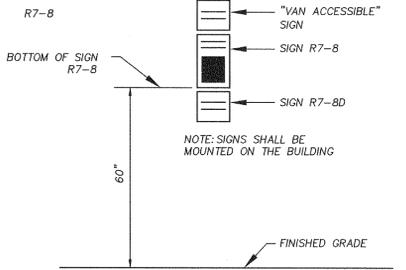
SITE PLANTING PLAN

C4.1
4 of 6





NOTE: MAXIMUM PENALTY SHALL BE PER LATEST FINE AMOUNT AS SPECIFIED BY LOCAL AUTHORITIES.



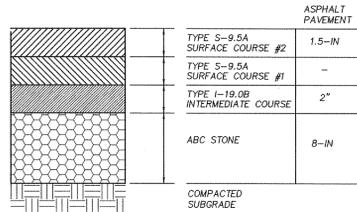
ALL SIGNS SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES SPECIFICATIONS AND REQUIREMENTS

ACCESSIBLE PARKING SIGNAGE

N.T.S.

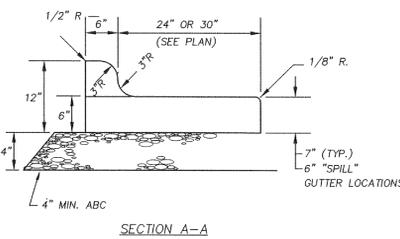
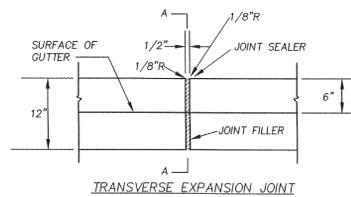
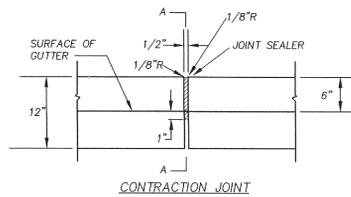
NOTES:

- SEE SPECIFICATIONS FOR PROOFROLLING, COMPACTION & TESTING REQUIREMENTS.
- DETAIL IS FOR ON-SITE PAVING OPERATIONS ONLY.
- THE CONTRACTOR MAY CHOOSE TO INSTALL INTERMEDIATE COURSES OF PAVEMENT TO STABILIZE THE SITE DURING CONSTRUCTION AT NO ADDITIONAL COST.
THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ADEQUATE THICKNESS REQUIRED FOR INTERMEDIATE PAVING. INCREASES IN THE DESIGN PAVEMENT SECTION TO FACILITATE INTERMEDIATE PAVING SHALL BE PROVIDED AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGES TO SUBGRADE, INSTALLED BASE COURSE AND/OR INTERMEDIATE PAVING PRIOR TO PLACING SUBSEQUENT PAVEMENT LIFTS AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING PAVEMENT DURING ALL PHASES OF WORK. THE FINAL SURFACE OF PAVEMENT SHALL BE FREE OF ALL DEFECTS OR DAMAGE.



ASPHALT PAVEMENT

N.T.S.

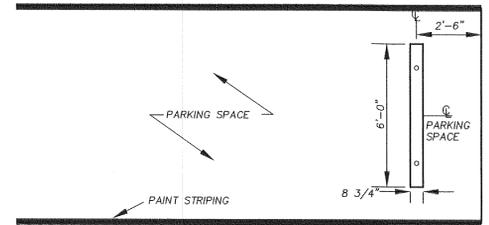
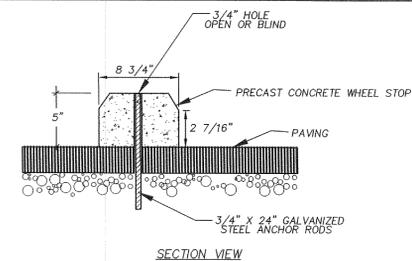


STANDARD CONCRETE CURB AND GUTTER

N.T.S.

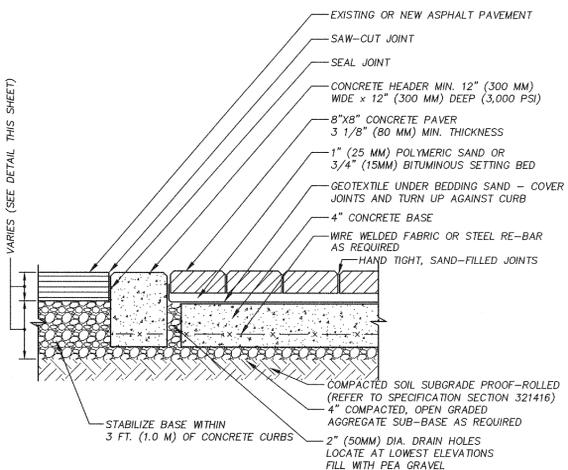
NOTES:

- ALL CONCRETE SHALL BE 3,000 P.S.I.
- CONTRACTION JOINTS SHALL BE SPACED AT 10' INTERVALS, SPACING MAY BE INCREASED TO 15' IF MACHINE IS USED.
- CONTRACTION JOINTS SHALL BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS, WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1-1/2" SHALL BE OBTAINED.
- EXPANSION JOINTS SHALL BE SPACED AT 90' MAX INTERVALS, AND ADJACENT TO ALL RIGID OBJECTS.
- ALL JOINTS SHALL BE FILLED WITH JOINT FILLER AND SEALER.
- COMPACTED ABC SHALL BE PLACED BENEATH ALL CURB AND GUTTER. SUBGRADE ELEVATION BENEATH STONE SHALL MATCH SUBGRADE ELEVATION OF ADJACENT PAVEMENT, BUT NO LESS THAN 4-IN BELOW BOTTOM OF GUTTER.



PRE-CAST CONCRETE WHEELSTOP

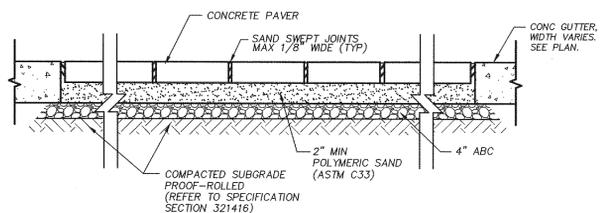
N.T.S.



- NOTE:
- BASE THICKNESS AND REINFORCING VARIES WITH TRAFFIC, CLIMATE, AND SUBGRADE CONDITIONS.
 - CONCRETE BASE MINIMUM 2% SLOPE FROM CENTERLINE TO CURB.
 - DO NOT PROVIDE DRAIN HOLES TO SUBGRADE WHEN WATER TABLE IS LESS THAN 2 FT. (0.6 M) FROM TOP OF SOIL SUBGRADE. PROVIDE DRAIN HOLES TO CATCH BASINS.

CONCRETE UNIT PAVERS—CROSSWALK

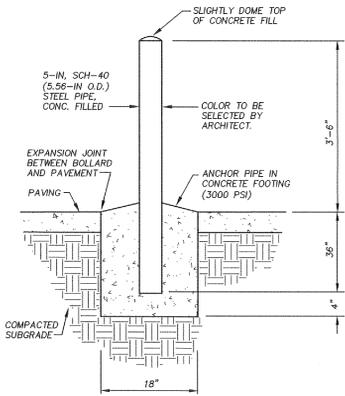
N.T.S.



- SECTION - CONCRETE PAVER
- NOTES:
- UNIT PAVERS COLOR SHALL BE A WARM GRAY AND SUBMITTED TO ARCHITECT FOR APPROVAL.
 - UNIT PAVER SHALL BE LIGHT-TRAFFIC PAVING BRICK: SOLID BRICK COMPLYING WITH ASTM C902 AND THE FOLLOWING:
WEATHER CLASS: SX
TRAFFIC TYPE: I
APPLICATION: PS
 - PROVIDE EXPANSION JOINT WHERE UNIT PAVERS ABUT A RIGID OBJECT (CURB AND GUTTER, CONCRETE WALLS, ETC.). SEE CURB AND GUTTER DETAIL FOR EXPANSION JOINT REQUIREMENTS.

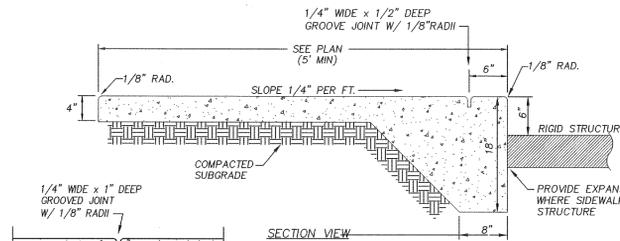
CONCRETE UNIT PAVERS—SIDEWALK

N.T.S.



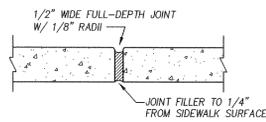
STEEL BOLLARD

N.T.S.



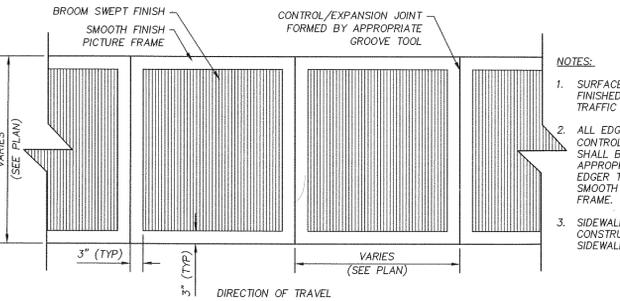
TYPICAL CONTROL JOINT

N.T.S.



TYPICAL EXPANSION JOINT

N.T.S.

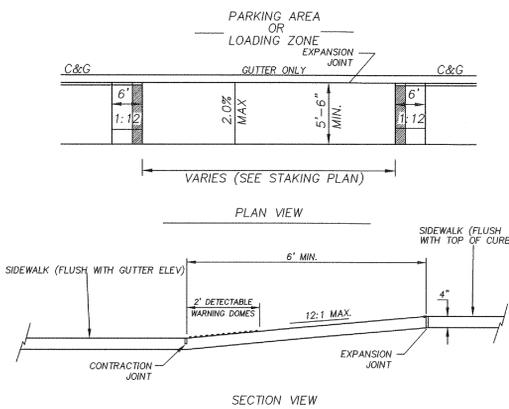


NOTES:

- SURFACE SHALL BE BROOM FINISHED PERPENDICULAR TO TRAFFIC FLOW.
- ALL EDGES AND CONTROL/EXPANSION JOINTS SHALL BE FORMED WITH APPROPRIATE GROOVER OR EDGER TOOL CREATING A SMOOTH FINISH PICTURE FRAME.
- SIDEWALK SHALL BE CONSTRUCTED PER CONCRETE SIDEWALK DETAIL ABOVE.

ON-SITE CONCRETE SIDEWALK WITH PICTURE FRAME FINISH

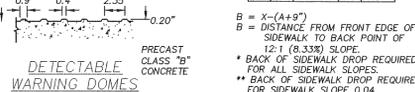
N.T.S.



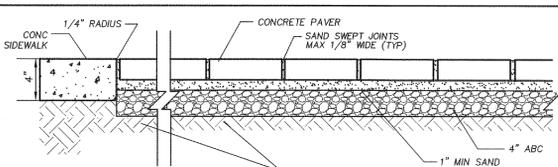
NOTES:

- DETECTABLE WARNING DOMES SHALL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON THE DETAILS.
- THE RAMP MAY BE BLACK IN COLOR OR ANY COLOR WITH A 70% CONTRAST RATIO.
- REFER TO NCDOT STANDARD DETAIL 848005 FOR ADDITIONAL INFORMATION.
- RAMP SHALL HAVE BRUSHED SLIP RESISTANT SURFACE.
- ALL CONCRETE SHALL BE 3,000 P.S.I. WITH FIBER REINFORCING.
- ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 50' INTERVALS.

RAMP WIDTH	AREA	W	A	W+A+9'	X	B
5'	0.0'	5.8'	5.8'	6.0'	5.0'	6.0'
6'	0.0'	6.8'	6.8'	7.0'	6.0'	7.0'
7'	0.0'	7.8'	7.8'	8.0'	7.0'	8.0'
8'	0.0'	8.8'	8.8'	9.0'	8.0'	9.0'
9'	2.0'	7.8'	7.8'	8.0'	8.0'	8.0'
10'	2.5'	8.3'	8.3'	9.1'	8.8'	9.1'
11'	3.0'	8.8'	8.8'	9.9'	9.4'	9.9'
12'	3.5'	9.3'	9.3'	10.4'	10.1'	10.4'
13'	4.0'	9.8'	9.8'	10.9'	10.6'	10.9'
14'	4.5'	10.3'	10.3'	11.4'	11.1'	11.4'
15'	5.0'	10.8'	10.8'	11.9'	11.6'	11.9'



ACCESSIBLE PARKING CURB RAMPS WHERE SIDEWALK IS FLUSH WITH PAVEMENT



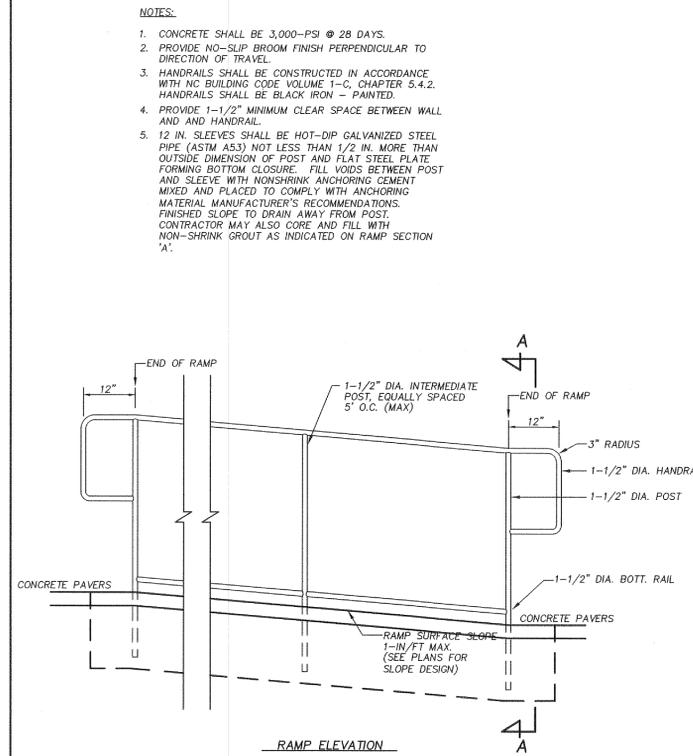
SECTION - CONCRETE PAVER

NOTES:

- UNIT PAVERS TO MATCH THE COLUMN STONE AND SUBMITTED TO ARCHITECT FOR APPROVAL.
- UNIT PAVER SHALL BE LIGHT-TRAFFIC PAVING BRICK: SOLID BRICK COMPLYING WITH ASTM C902 AND THE FOLLOWING:
WEATHER CLASS: SX
TRAFFIC TYPE: I
APPLICATION: PS
- PROVIDE EXPANSION JOINT WHERE UNIT PAVERS ABUT A RIGID OBJECT (CURB AND GUTTER, CONCRETE WALLS, ETC.). SEE CURB AND GUTTER DETAIL FOR EXPANSION JOINT REQUIREMENTS.

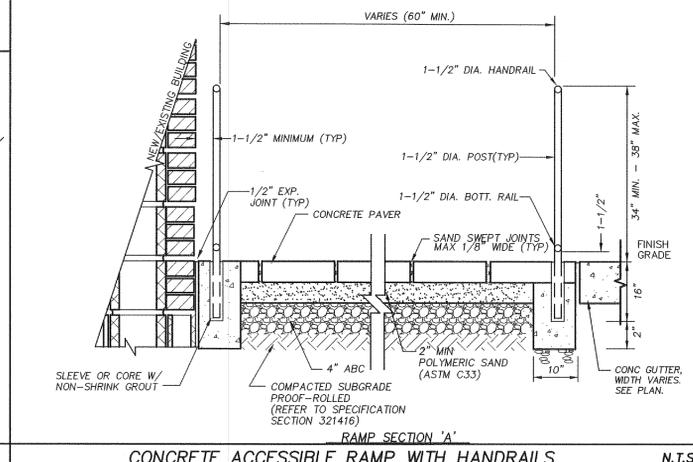
CONCRETE UNIT PAVERS

N.T.S.



NOTES:

- CONCRETE SHALL BE 3,000-PSI @ 28 DAYS.
- PROVIDE NO-SLIP BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAVEL.
- HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NC BUILDING CODE VOLUME 1-C, CHAPTER 5.4.2. HANDRAILS SHALL BE BLACK IRON - PAINTED.
- PROVIDE 1-1/2" MINIMUM CLEAR SPACE BETWEEN WALL AND HANDRAIL.
- 12 IN. SLEEVES SHALL BE HOT-DIP GALVANIZED STEEL PIPE (ASTM A53) NOT LESS THAN 1/2 IN. MORE THAN OUTSIDE DIMENSION OF POST AND FLAT STEEL PLATE FORMING BOTTOM CLOSURE. FILL VOIDS BETWEEN POST AND SLEEVE WITH NONSHRINK ANCHORING CEMENT MIXED AND PLACED TO COMPLY WITH ANCHORING MATERIAL MANUFACTURER'S RECOMMENDATIONS. FINISHED SLOPE TO DRAIN AWAY FROM POST. CONTRACTOR MAY ALSO CORE AND FILL WITH NON-SHRINK GROUT AS INDICATED ON RAMP SECTION 'A'.



CONCRETE ACCESSIBLE RAMP WITH HANDRAILS

N.T.S.

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320 Chestnut Street Additions & Renovations

Construction Drawings
January 24, 2014

Revisions:

SITE DETAILS

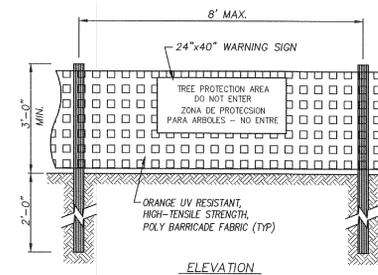


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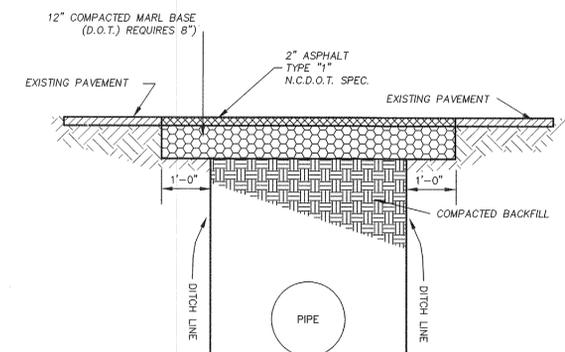
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NOTES:

1. INSTALL TREE PROTECTION FENCING PRIOR TO PERFORMING ANY CLEARING OF THE SITE.
2. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
3. LETTERS TO BE 3" TALL AND CLEARLY LEGIBLE.
4. SIGNS SHALL BE PLACED AT 100' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 100' ON CENTER THEREAFTER.
5. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
6. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
7. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.

TREE PROTECTION FENCE N.T.S.



NOTES:

- * BACKFILL TO BE INSTALLED IN 6" LIFTS (MAXIMUM) AND COMPACTED TO A MINIMUM DENSITY OF 95% AS DETERMINED BY THE MODIFIED A.A.S.H.T.O. STANDARD METHOD T-99
- * CUT - BACK TO BE PREPARED AFTER TRENCH BACKFILLING AND COMPACTION

STANDARD SHOWING METHOD MAKING PAVEMENT REPAIRS WHERE PIPE IS INSTALLED

PAVEMENT REPAIRS

SD-1-05 N.T.S.

320 Chestnut
Street
Additions &
Renovations

Construction Drawings
January 24, 2014

Revisions:

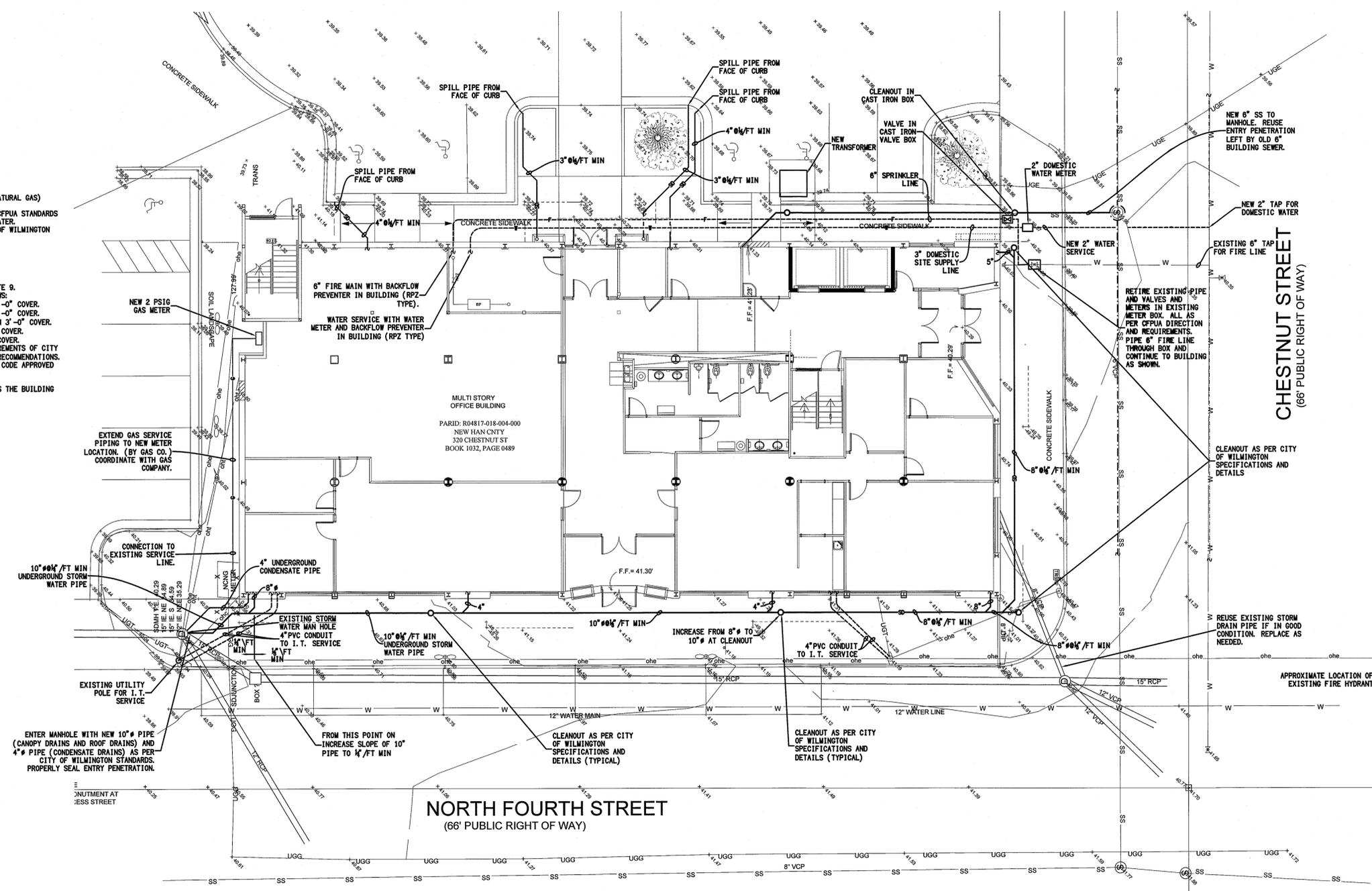
SITE DETAILS



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- NOTES:
1. ALL NATURAL GAS PIPING SHALL BE INSTALLED BY GAS COMPANY (PIEDMONT NATURAL GAS) STRICTLY AS PER GAS COMPANY STANDARDS.
 2. ALL WASTE AND WATER PIPING IN RIGHT OF WAY SHALL BE STRICTLY AS PER OFPIA STANDARDS AND SPECIFICATIONS. SEE SHEETS FOR ALL OFPIA DETAILS FOR WASTE AND WATER.
 3. ALL STORM WATER AND CONDENSATE PIPING SHALL BE STRICTLY AS PER CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.
 4. SITE PIPING ON PRIVATE PROPERTY SHALL BE AS FOLLOWS:
 SPRINKLER WATER - C900 PVC CLASS 150 (DR 18) - PUSH JOINT.
 DOMESTIC WATER - SCH 40 PVC PRESSURE PIPE - SOLVENT WELD JOINTS.
 SANITARY SEWER - SCH 40 PVC, ASTM D1785 - SOLVENT WELD JOINTS.
 STORM DRAIN PIPING - CLASS 51 DUCTILE IRON - PUSH JOINT.
 ALL PIPING SHALL HAVE 3'-0" COVER MINIMUM EXCEPT STORM DRAIN. SEE NOTE 9.
 5. SITE PIPING ON PUBLIC PROPERTY INSIDE RIGHT OF WAY SHALL BE AS FOLLOWS:
 SPRINKLER WATER - C900 PVC CLASS 150 (DR 18) - PUSH JOINT. MINIMUM 3'-0" COVER.
 DOMESTIC WATER - POLYETHYLENE (PE) TUBING, SDR 9, 200 PSI. MINIMUM 3'-0" COVER.
 SANITARY SEWER - SCH 40 PVC ASTM D1785 - SOLVENT WELD JOINTS. MINIMUM 3'-0" COVER.
 STORM DRAIN PIPING - CLASS 51 DUCTILE IRON PUSH JOINT. MINIMUM 2'-0" COVER.
 CONDENSATE PIPING - CLASS 51 DUCTILE IRON PUSH JOINT. MINIMUM 2'-0" COVER.
 6. ALL EXCAVATION AND BACKFILL FOR UTILITY PIPING SHALL BE AS PER REQUIREMENTS OF CITY OF WILMINGTON AND/OR OFPIA AND PIPE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
 7. TRANSITION FITTINGS BETWEEN DIFFERENT PIPING MATERIALS SHALL BE WITH CODE APPROVED FITTINGS DESIGNED STRICTLY FOR THAT PURPOSE.
 8. DISINFECT WATER PIPING AND MAINS AS PER OFPIA SPECIFICATIONS.
 9. THE BACK OF BUILDING CANOPY AND THE 2ND FLOOR ROOF DRAIN PIPING EXITS THE BUILDING SHALLOW AND ROUTES TO DISCHARGE AT FACE OF CURB.



LEGEND

—	STORM DRAIN PIPE
—	SPRINKLER PIPE
—	DOMESTIC WATER PIPE
—	WASTE PIPE
—	CLEANOUT
—	CONDENSATE PIPE
—	GAS PIPE

NORTH FOURTH STREET
 (66' PUBLIC RIGHT OF WAY)

CHESTNUT STREET
 (66' PUBLIC RIGHT OF WAY)

A NEW SITE PLAN
 PE2 SCALE: 1" = 10'

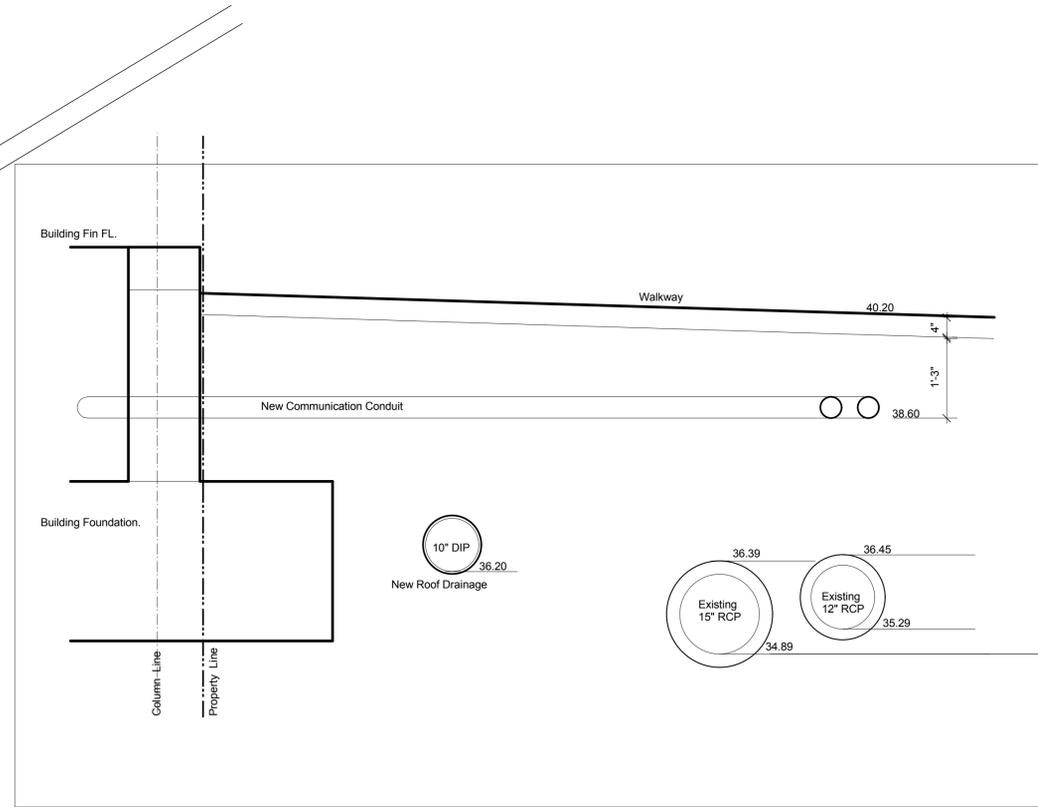
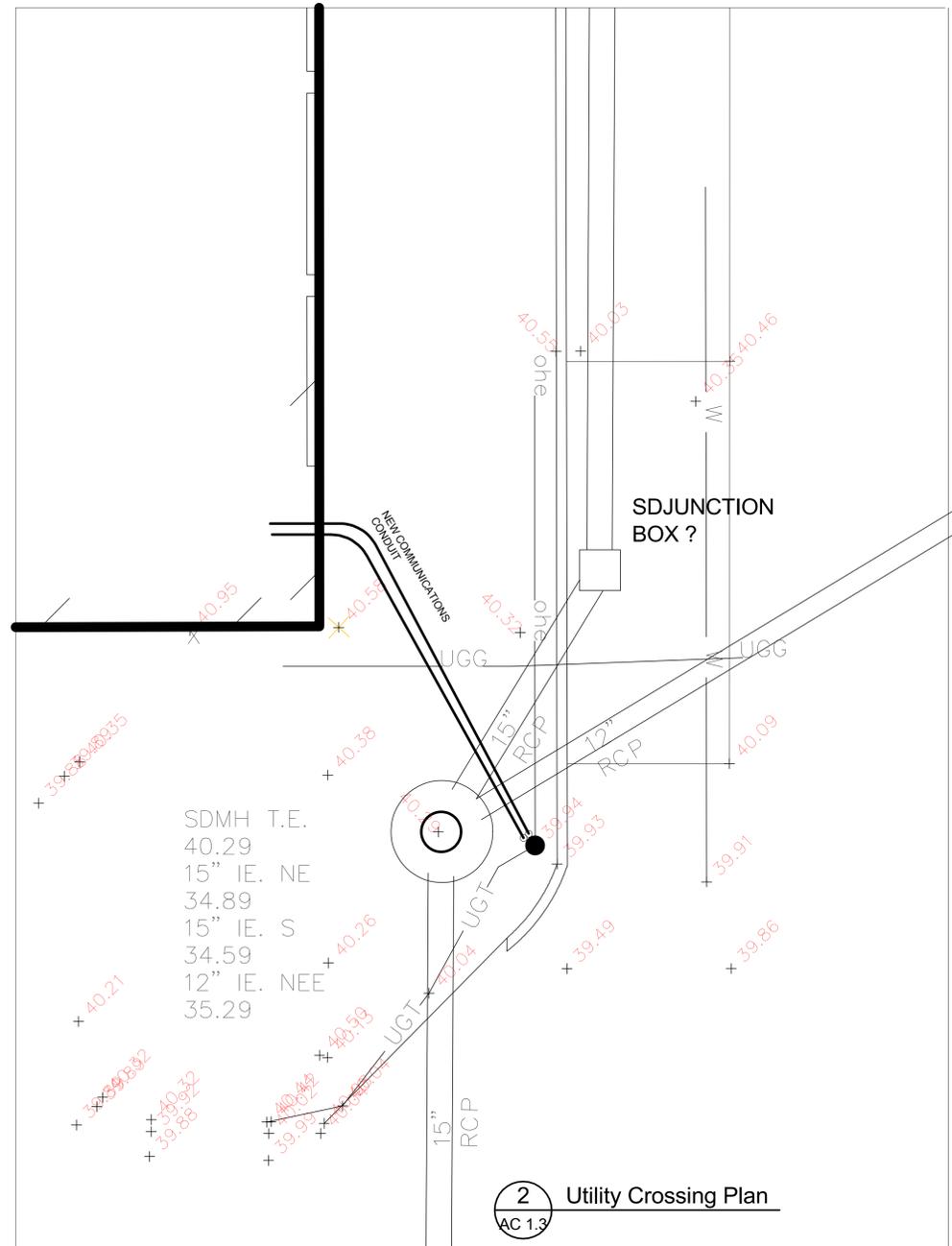
320 Chestnut Street
 Renovation
 New Hanover County

Construction Drawings
 January 24, 2014

Revisions:

New Site Work

PE2
 of 2
 Sheets



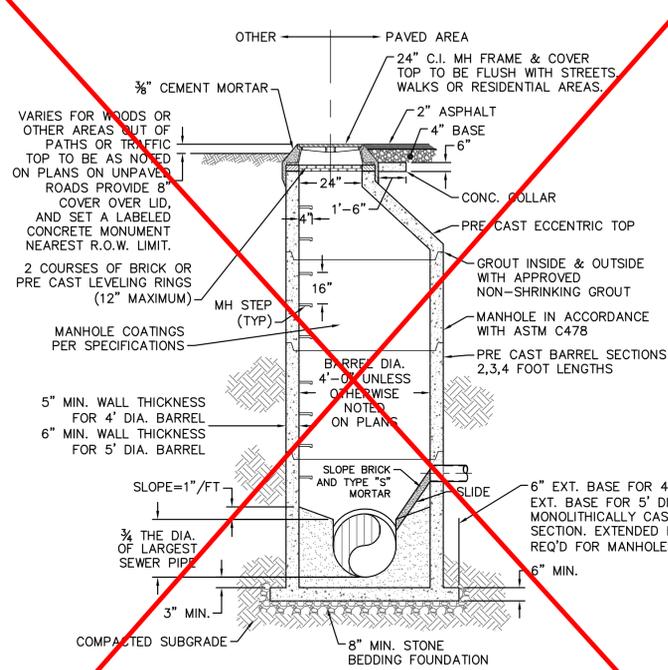
320 Chestnut Street
Additions & Renovations

New Hanover County

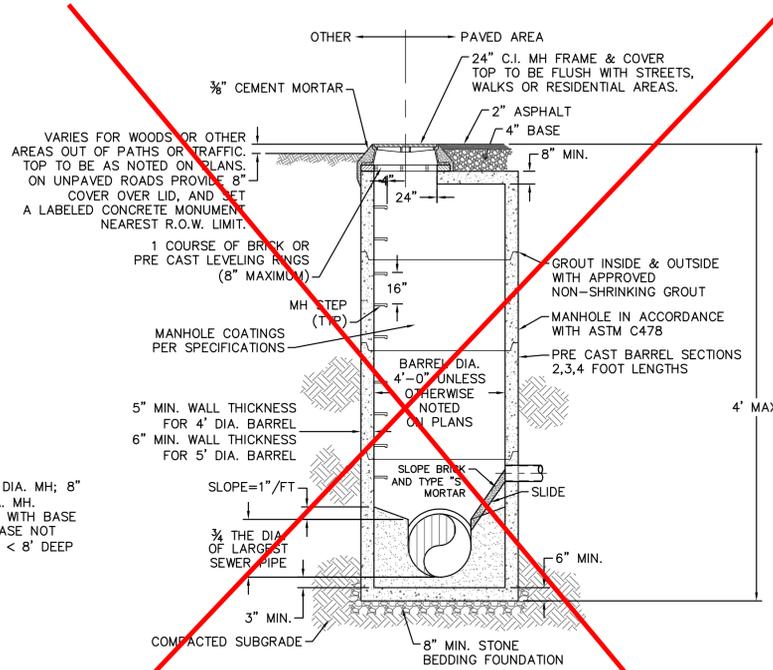
Construction Drawings
January 24, 2014

Revisions:

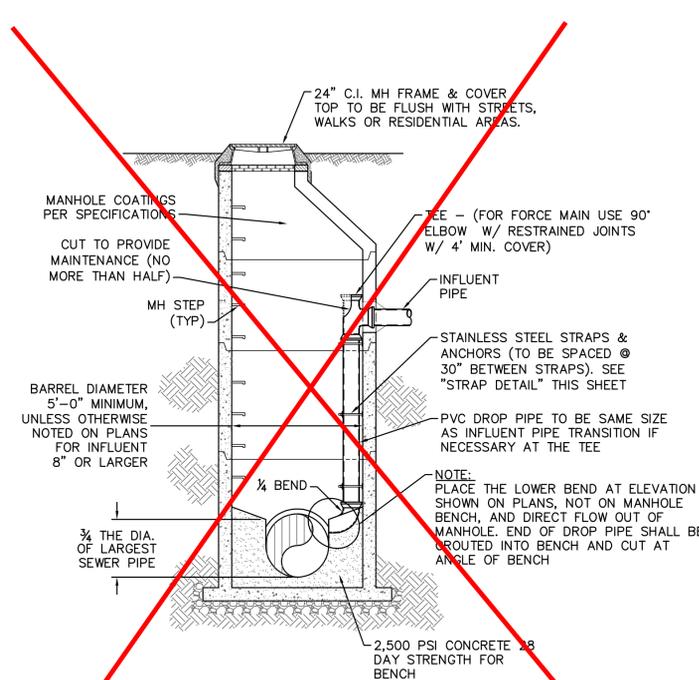
Communications
Service Conduit



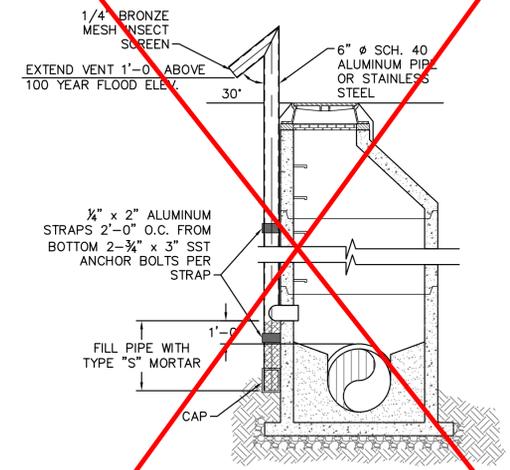
PRECAST CONCRETE OFFSET MANHOLE TYPICAL
(LESS THAN 30" DROP)
NOT TO SCALE



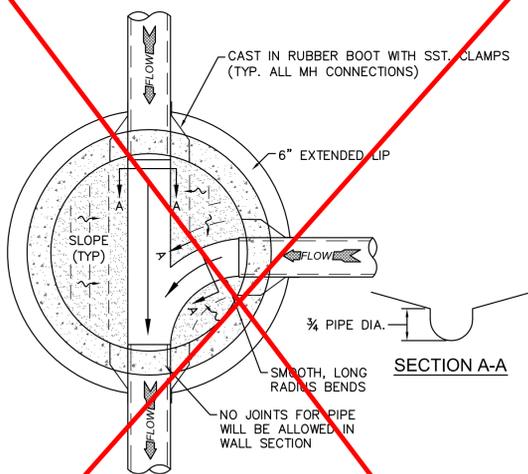
PRECAST CONCRETE FLAT TOP MANHOLE TYPICAL
(LESS THAN 30" DROP)
NOT TO SCALE



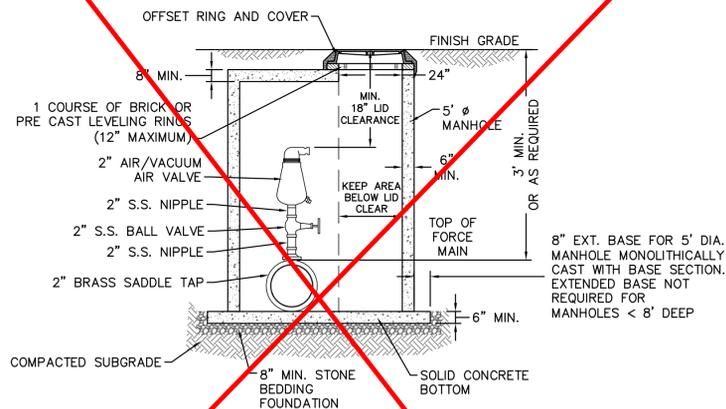
DROP MANHOLE
(MORE THAN 30" DROP)
NOT TO SCALE



STANDARD VENT MANHOLE
NOT TO SCALE

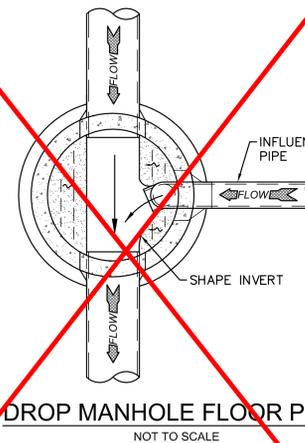


MANHOLE FLOOR PLAN
NOT TO SCALE

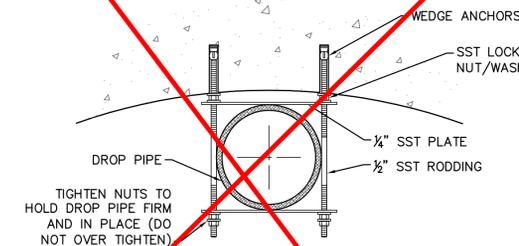


NOTES:
1. CONTRACTOR TO INSTALL VALVE & MANHOLE AT SUFFICIENT DEPTH TO ALLOW FOR ACCESS.
2. FORCE MAIN TO BE OFFSET IN MANHOLE TO KEEP AREA BELOW LID CLEAR.
3. REFER TO SPECIFICATIONS FOR ADDITIONAL DETAILS.
4. USE CAST IN RUBBER BOOT WITH SST. CLAMPS FOR ALL MH CONNECTIONS, INCLUDING FORCE MAIN.

**AIR / VACUUM AND AIR
RELEASE COMBINATION VALVE**
NOT TO SCALE



DROP MANHOLE FLOOR PLAN
NOT TO SCALE



STRAP DETAIL
NOT TO SCALE

CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD SEWER NOTES:

- SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
- SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE AT RIGHT-OF-WAY LINE. SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR, OR MUST ORIGINATE IN MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
- ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF CLASS 50, DIP, WITH PROTECTO 401 CERAMIC EPOXY LINING.
- MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
- NO FLEXIBLE COUPLINGS SHALL BE USED.
- ALL STAINLESS STEEL FASTENERS SHALL BE 316.

STANDARD SEWER NOTES
(REQUIRED ON ALL SEWER PLAN AND PROFILE SHEETS)

GENERAL NOTES:

- NO EXCAVATED MATERIAL SHALL BE PLACED IN ANY STREAM, DITCH OR DRAINAGE-WAY.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE ANY CONSTRUCTION BEGINS.
- THE CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES WHILE CONSTRUCTION IS IN PROGRESS.
- THE CONTRACTOR IS RESPONSIBLE FOR STABILIZATION OF ALL DISTURBED AREAS.
- THE CONTRACTOR IS RESPONSIBLE FOR LAY DOWN AND STOCKPILE AREAS (TO ARRANGE AND ENSURE COMPLIANCE WITH ALL LOCAL AND STATE REGULATIONS).

**THE DETAILS SHOWN HEREON SUPERCEDE CFPUA
WRITTEN TECHNICAL SPECIFICATIONS VERSIONS 1.00 - 1.04**

REV:	DESCRIPTION:	DATE:
1	AIR / VACUUM AND AIR RELEASE COMBINATION VALVE REVISED	10/26/12
2	STANDARD SEWER NOTE #6 REVISED	12/10/12

CFPUA SANITARY SEWER

STANDARD DETAILS

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

Stewardship. Sustainability. Service.

DATE:
1/9/12

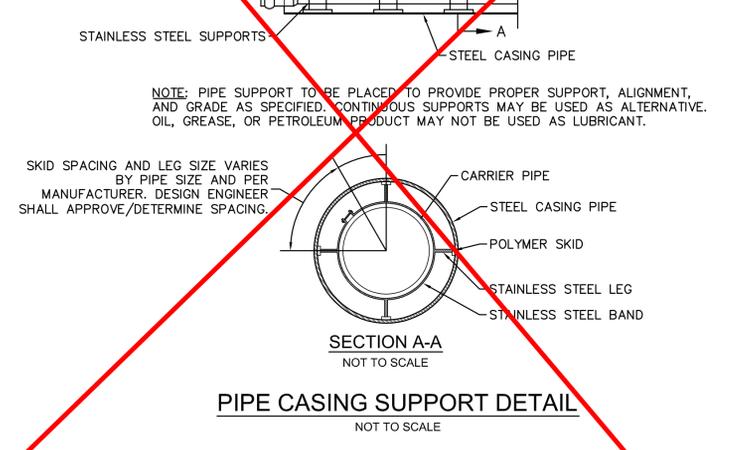
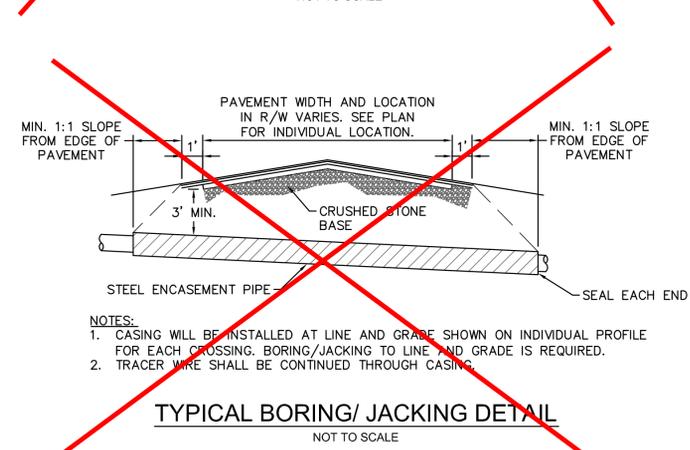
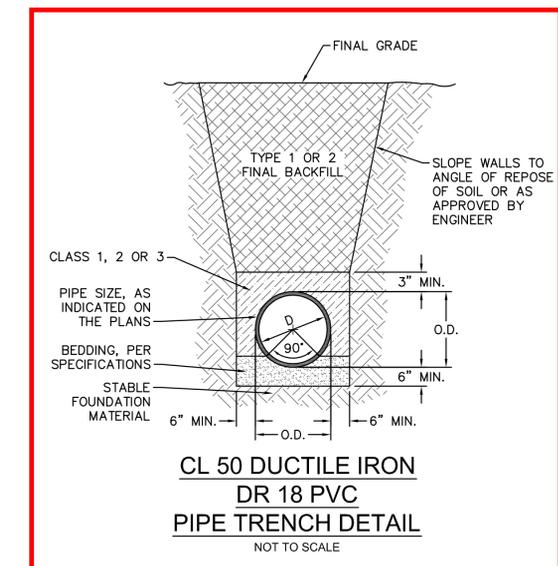
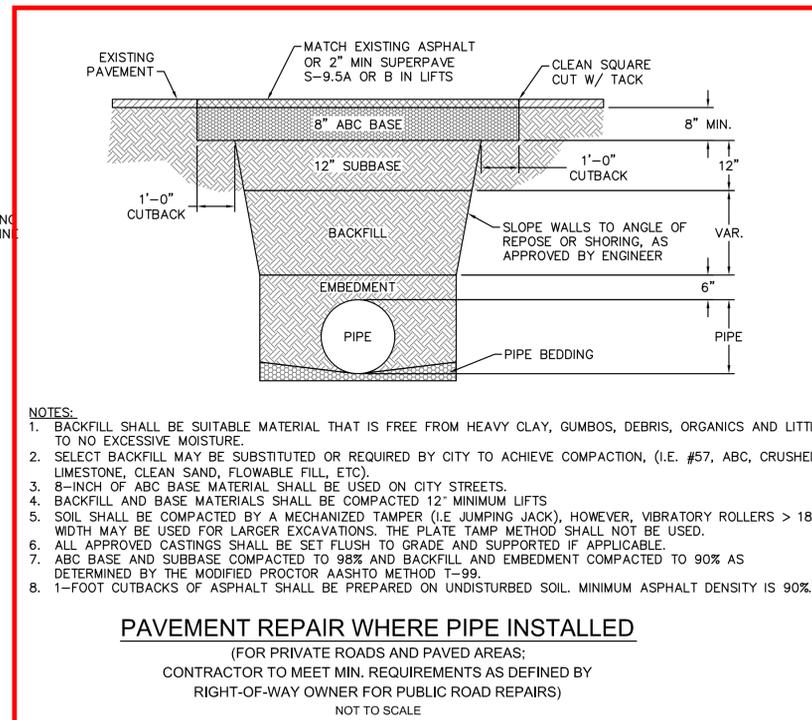
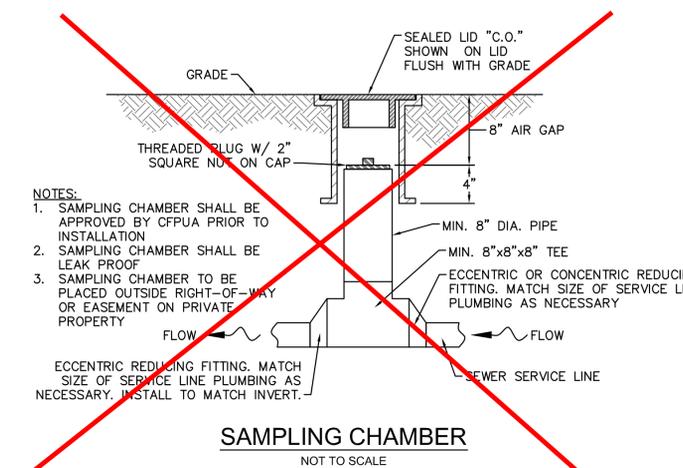
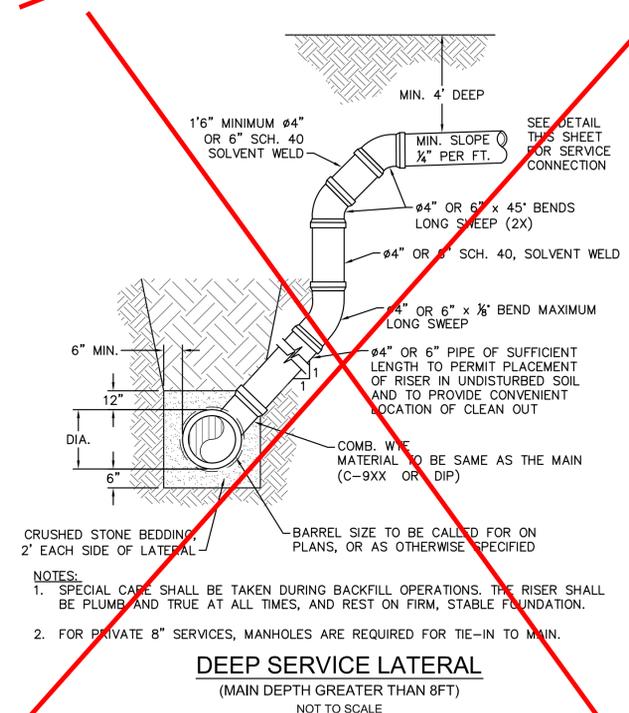
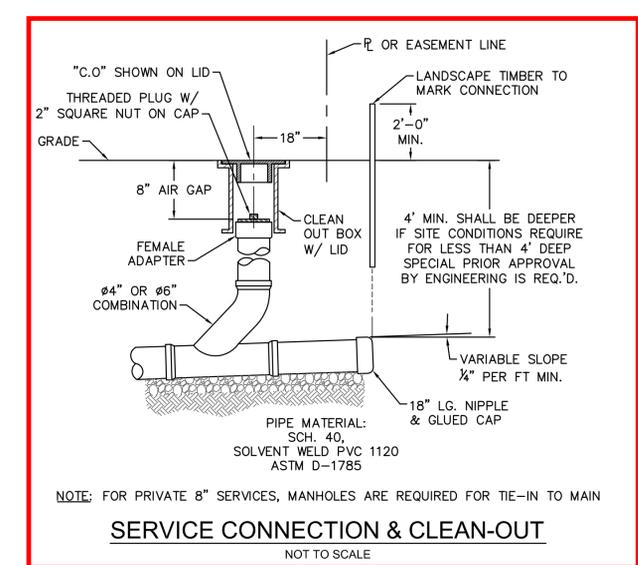
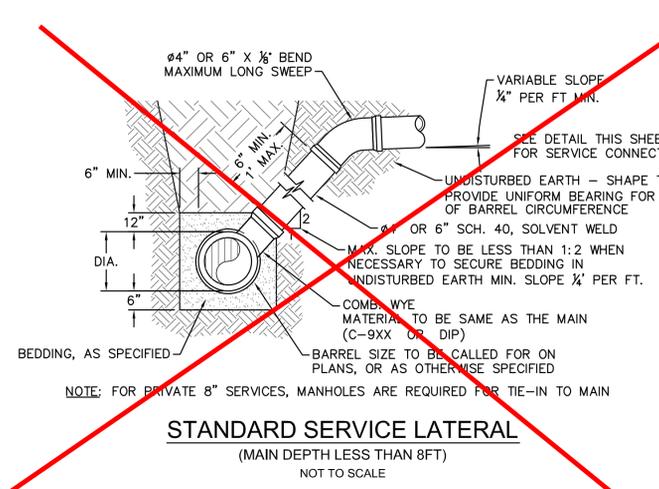
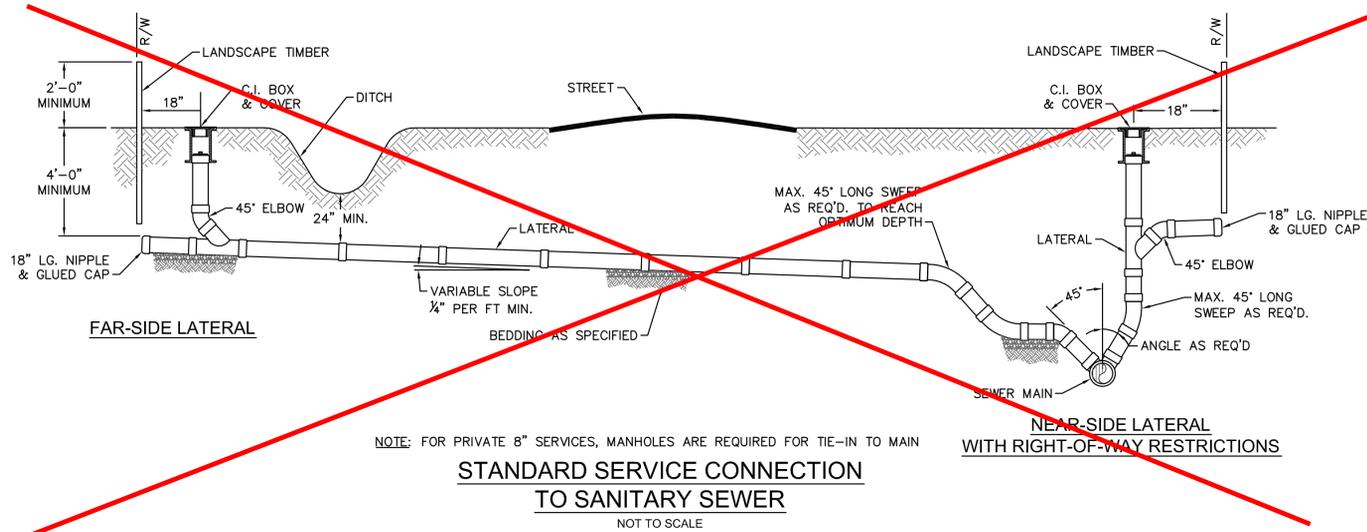
SCALE:
N/A

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CFPUA

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PROJECT NO.:

**SHEET NO:
SSD-1**



- GENERAL NOTES:
- NO EXCAVATED MATERIAL SHALL BE PLACED IN ANY STREAM, DITCH OR DRAINAGE-WAY.
 - THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE ANY CONSTRUCTION BEGINS.
 - THE CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES WHILE CONSTRUCTION IS IN PROGRESS.
 - THE CONTRACTOR IS RESPONSIBLE FOR STABILIZATION OF ALL DISTURBED AREAS.
 - THE CONTRACTOR IS RESPONSIBLE FOR LAY DOWN AND STOCKPILE AREAS (TO ARRANGE AND ENSURE COMPLIANCE WITH ALL LOCAL AND STATE REGULATIONS).

**THE DETAILS SHOWN HEREON SUPERCEDE CFPUA
WRITTEN TECHNICAL SPECIFICATIONS VERSIONS 1.00 - 1.04**

REV:	DESCRIPTION:	DATE:
1	SAMPLING CHAMBER REVISED	10/26/12

CFPUA SANITARY SEWER

STANDARD DETAILS

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

Stewardship. Sustainability. Service.

DATE:
1/9/12

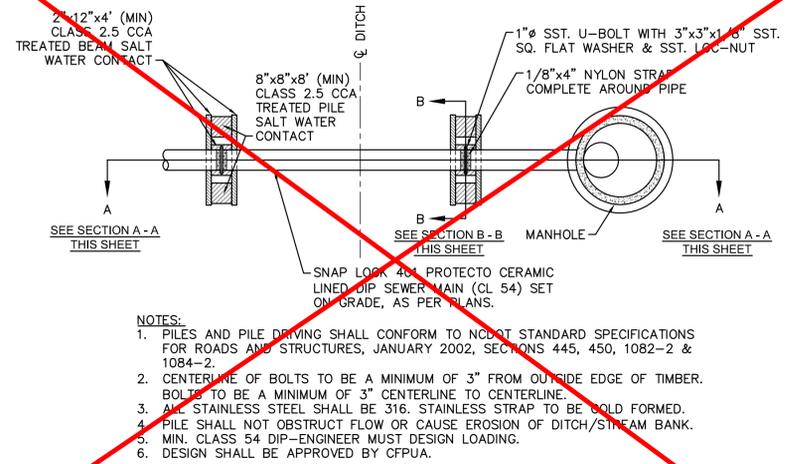
SCALE:
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DRAWN BY:
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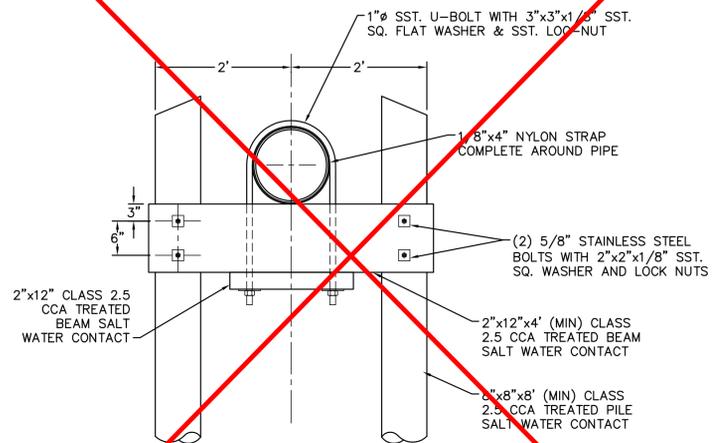
PROJECT NO.:

SHEET NO:
SSD-2

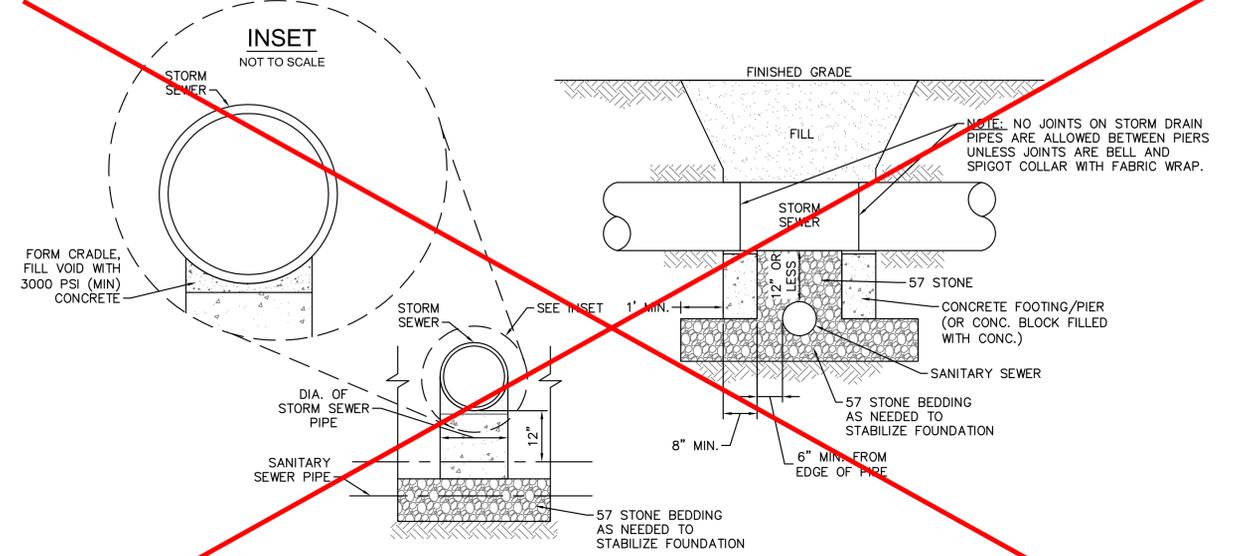


PILE AND BENT
NOT TO SCALE

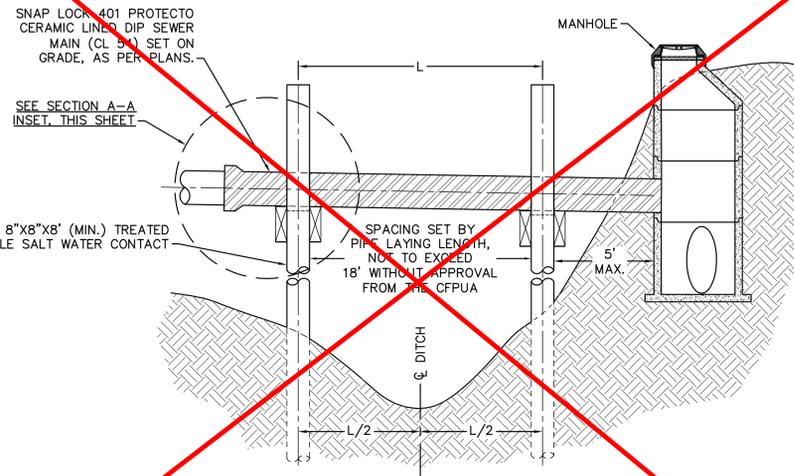
- NOTES:
1. PILES AND PILE DRIVING SHALL CONFORM TO NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, JANUARY 2002, SECTIONS 445, 450, 1082-2 & 1084-2.
 2. CENTERLINE OF BOLTS TO BE A MINIMUM OF 3" FROM OUTSIDE EDGE OF TIMBER. BOLTS TO BE A MINIMUM OF 3" CENTERLINE TO CENTERLINE.
 3. ALL STAINLESS STEEL SHALL BE 316. STAINLESS STRAP TO BE COLD FORMED.
 4. PILE SHALL NOT OBSTRUCT FLOW OR CAUSE EROSION OF DITCH/STREAM BANK.
 5. MIN. CLASS 54 DIP-ENGINEER MUST DESIGN LOADING.
 6. DESIGN SHALL BE APPROVED BY CFPUA.



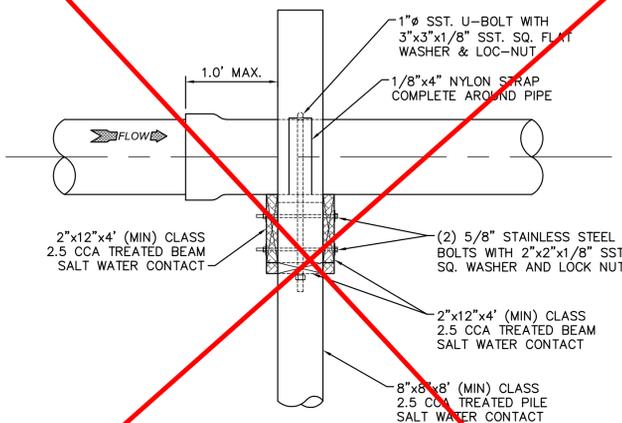
PILE AND BENT SECTION B-B
NOT TO SCALE



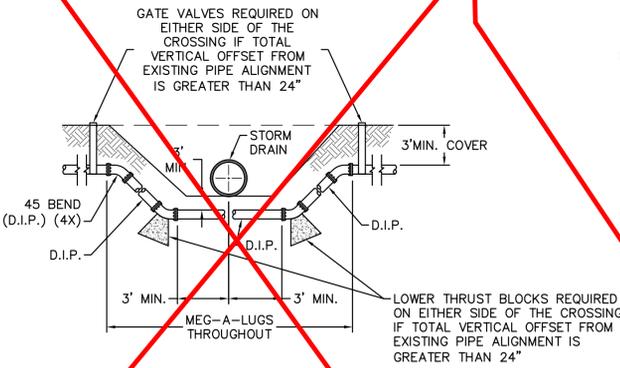
STRUCTURAL BRIDGING DETAIL FOR STORMWATER OVER GRAVITY SEWER INSTALLATIONS WITH LESS THAN 12" SEPARATION
NOT TO SCALE



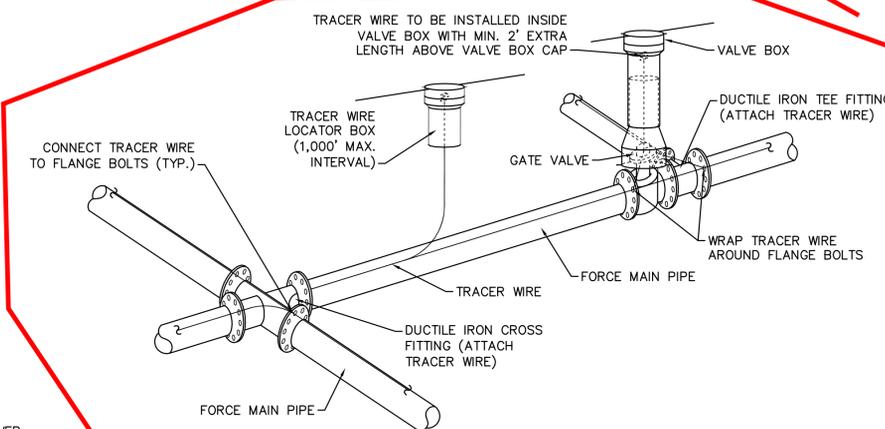
PILE AND BENT SECTION A-A
NOT TO SCALE



PILE AND BENT SECTION A-A INSET
NOT TO SCALE



FORCE MAIN DITCH AND STORM DRAIN CROSSING
NOT TO SCALE



- NOTES:
1. TRACER WIRE SHALL BE #10 COPPER SOLID CORE COPPER WIRE WITH GAS AND OIL RESISTANT INSULATION.
 2. WIRE SHALL BE STRAPPED TO ALL PVC FORCE MAIN PIPING WITH DUCT TAPE AT 12-FT. INTERVALS.
 3. SECURE WIRE TO ALL TEE AND CROSS FITTINGS.
 4. ALL WIRE SPLICES SHALL HAVE WATER PROOF WIRE CONNECTIONS.

GENERAL NOTES:

1. NO EXCAVATED MATERIAL SHALL BE PLACED IN ANY STREAM, DITCH OR DRAINAGE-WAY.
2. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE ANY CONSTRUCTION BEGINS.
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THE DETAILS SHOWN HEREON SUPERCEDE CFPUA WRITTEN TECHNICAL SPECIFICATIONS VERSIONS 1.00 - 1.04

REV:	DESCRIPTION:	DATE:

CFPUA SANITARY SEWER

STANDARD DETAILS

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

DATE:
1/9/12

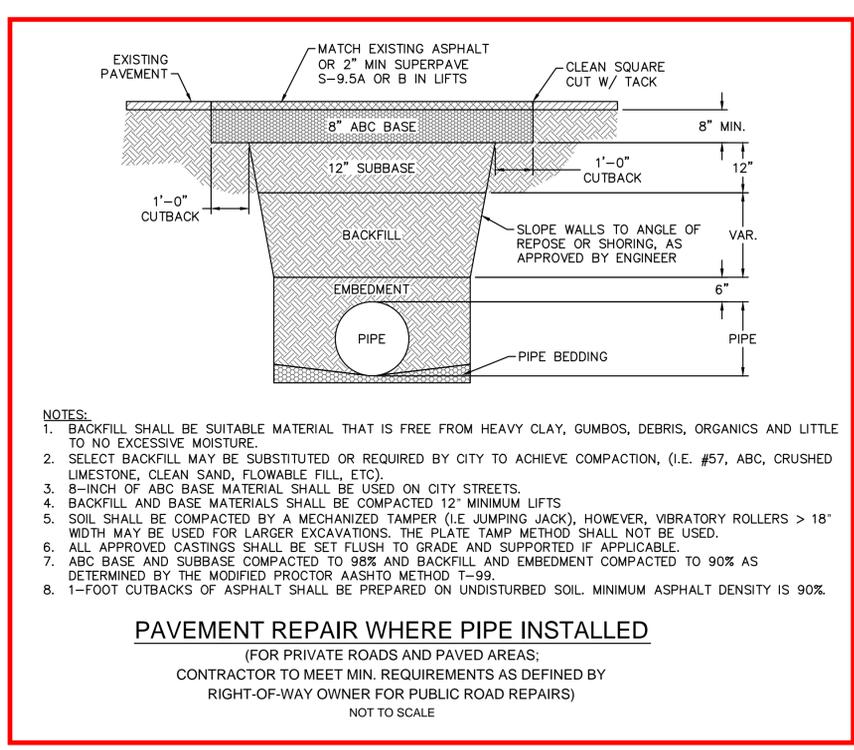
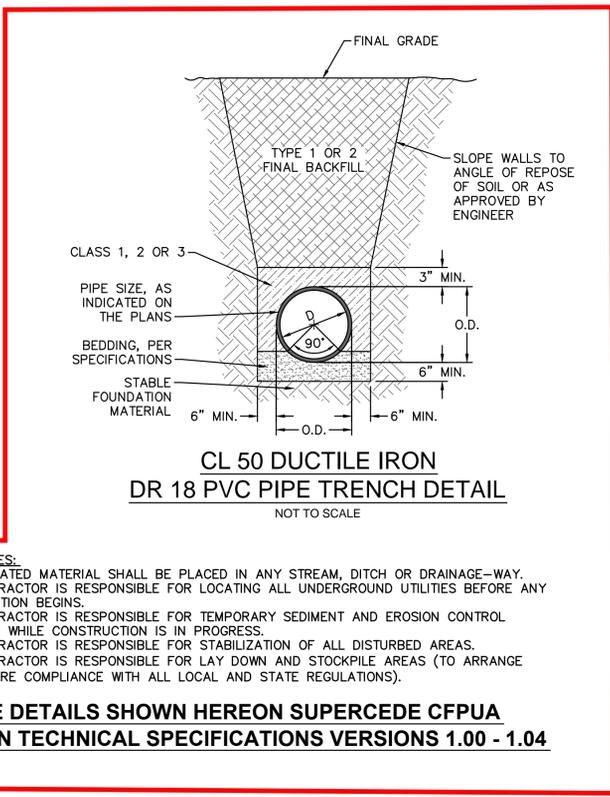
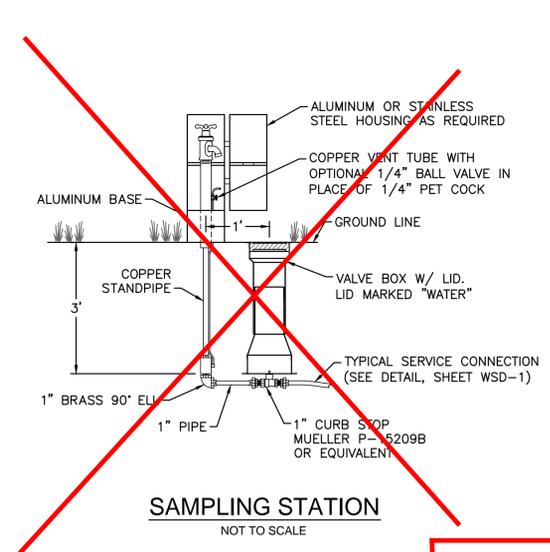
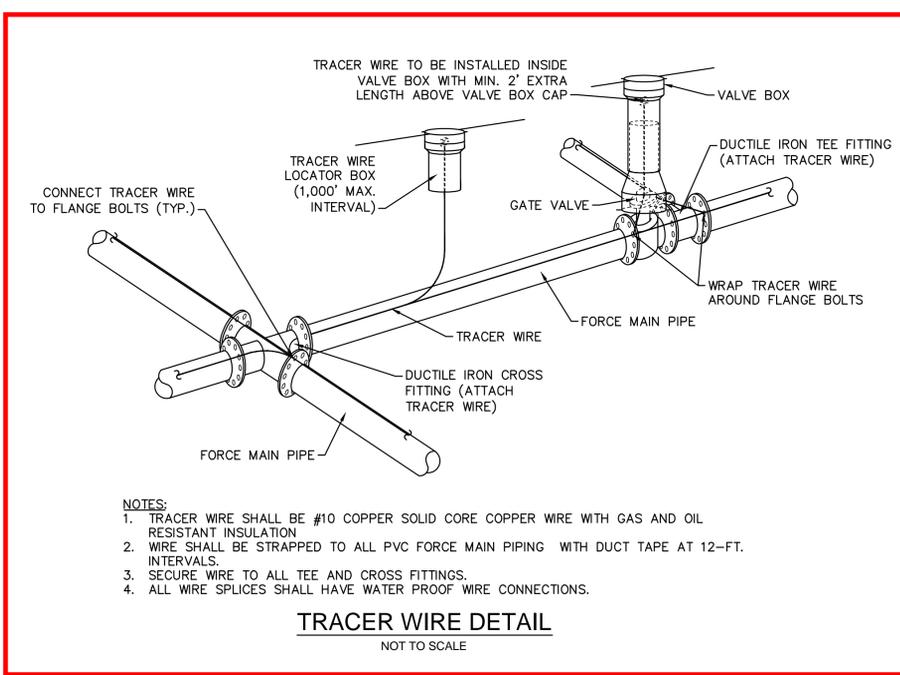
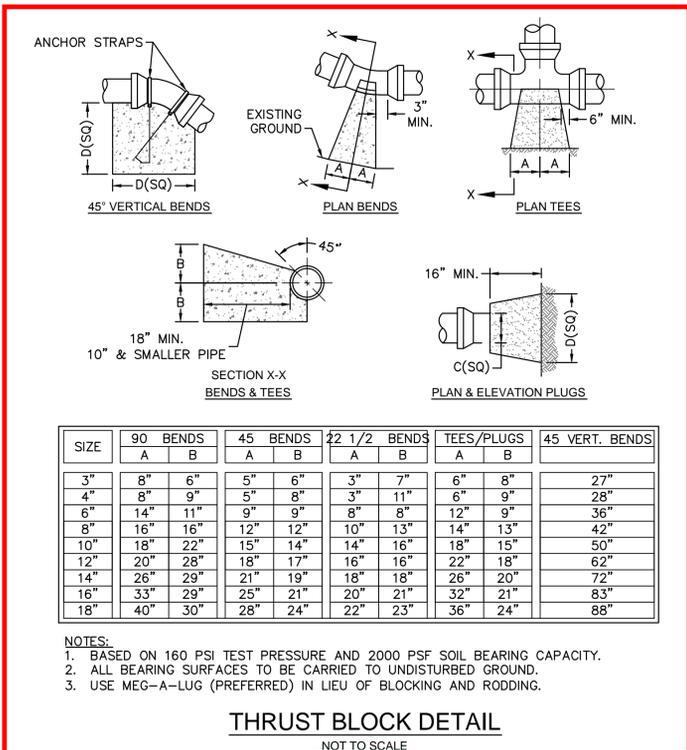
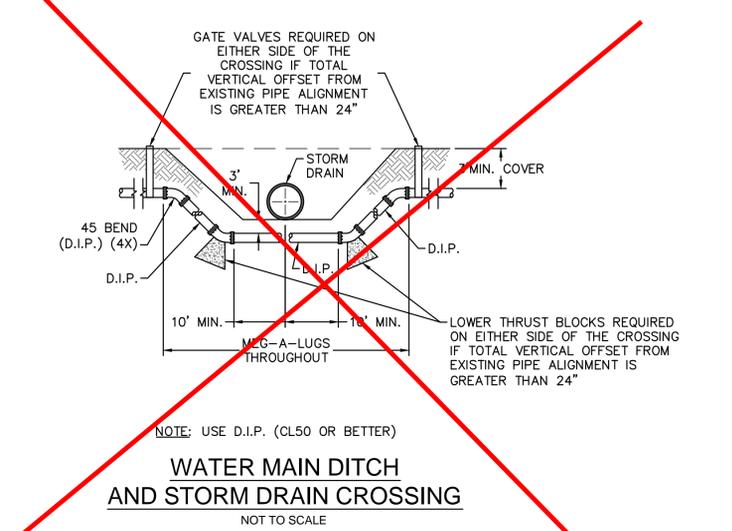
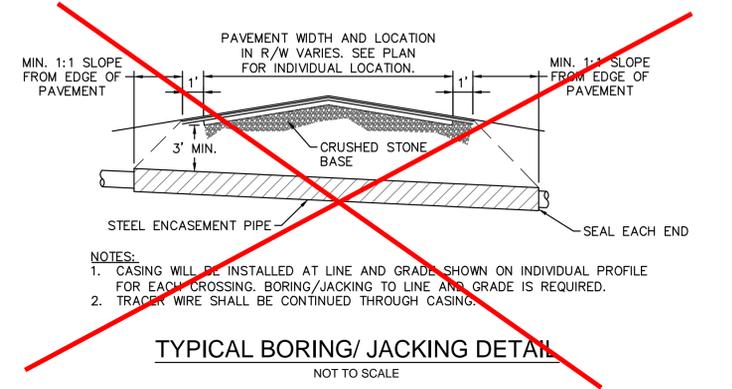
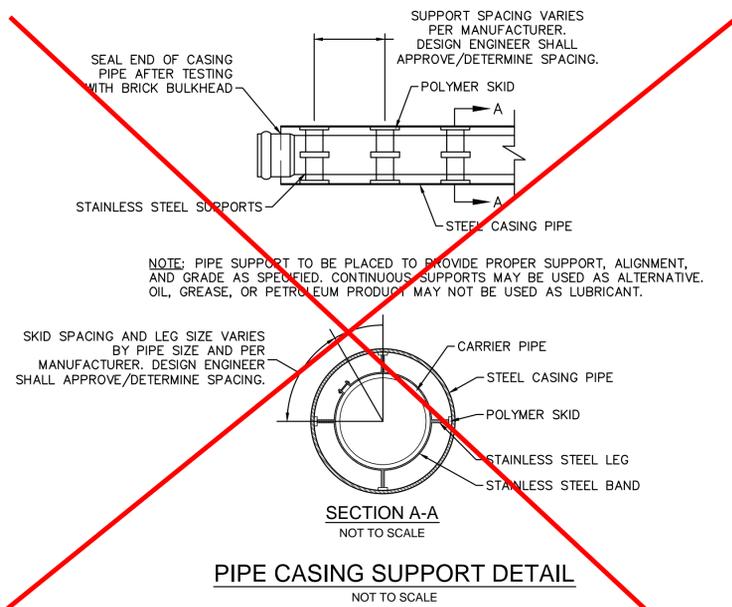
SCALE:
N/A

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PROJECT NO.:

SHEET NO:
SSD-3



R:\Engineering\2012\Training and Design\Standard Details\Standard Details\CFWA Water Details.dwg, 11/12/2013, 10:35:04 AM, jdm

REV:	DESCRIPTION:	DATE:
1	Revised Water Main Ditch and Storm Crossing Detail	11/12/13

CFPUA WATER DISTRIBUTION SYSTEM

STANDARD DETAILS

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

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1/9/12

SCALE:
N/A

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PROJECT NO.:

SHEET NO:
WSD-2