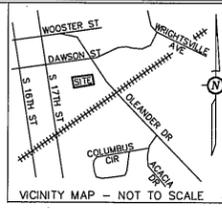


NOTES:
 1. SOLID LINES ARE LINES SURVEYED. DASHED LINES ARE LINES NOT SURVEYED, RECORDED DATA ONLY.
 2. TOPOGRAPHY SHOWN ON THIS MAP REFERENCES NAVD88 VERTICAL DATUM. CONTOUR INTERVAL EQUALS 1.0'.
 3. THE ERROR OF CLOSURE CALCULATED BY LATITUDES AND DEPARTURES IS 1/10,000+. THE MIS-CLOSURE IS DISTRIBUTED BY THE CRANDALL METHOD AND THE AREA, IF SHOWN, IS CALCULATED BY COORDINATE METHOD.
 4. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 5. 100 YEAR FLOOD LINE DOES NOT FALL WITHIN PROJECT LIMITS.

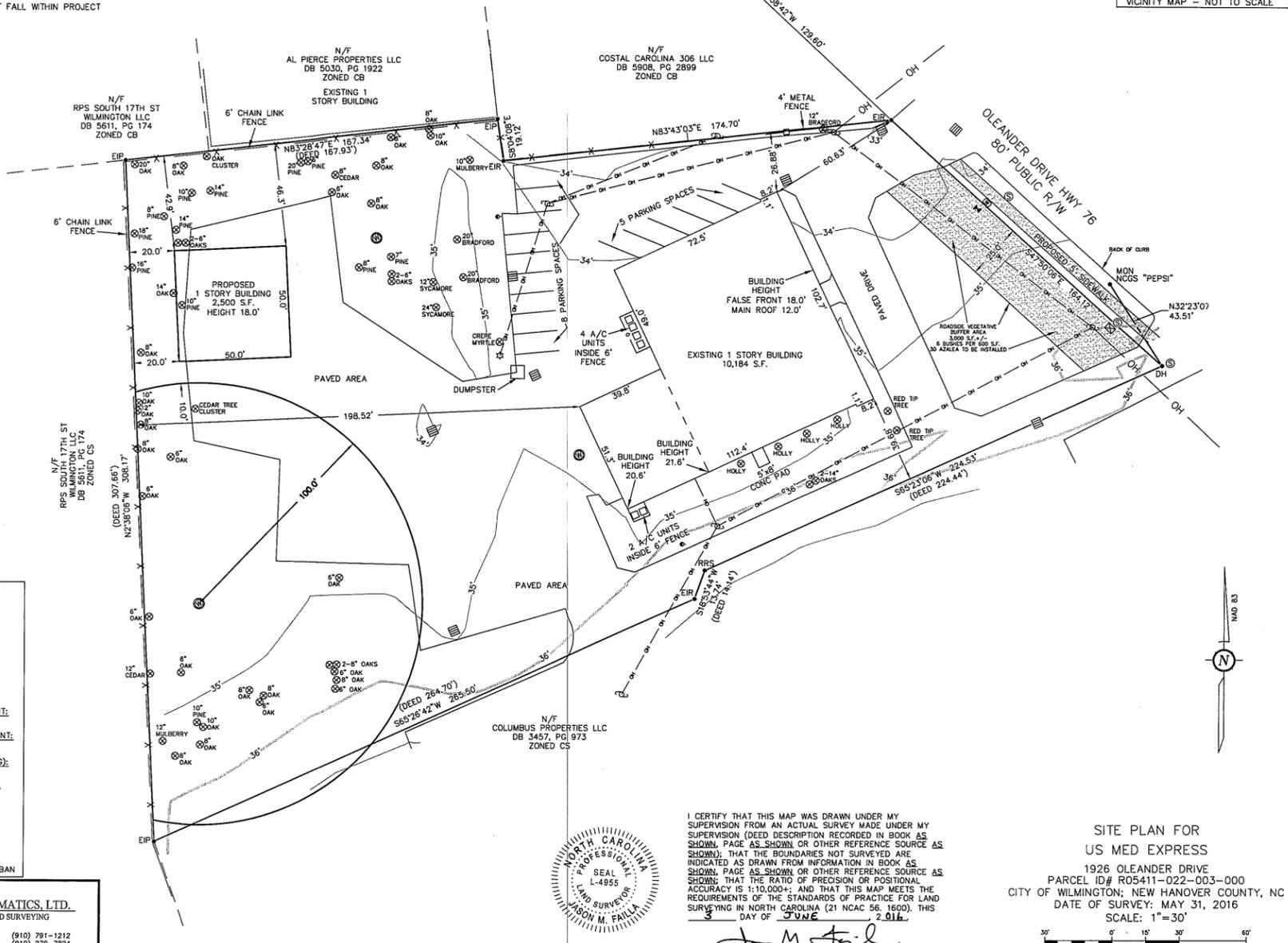
THIS PARCEL OF LAND LIES WITHIN FLOOD ZONE X WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS PER F.I.R.M. PANEL NUMBER: 3720312700J EFFECTIVE DATE: APRIL 3, 2006



LEGEND
 EIP - EXISTING IRON PIPE
 EIR - EXISTING IRON ROD
 RRS - RAIL ROAD SPIKE
 DH - DRILL HOLE
 MON - EXISTING MONUMENT
 W - WATER METER
 U - UTILITY POLE
 L - LIGHT POLE
 D - DROP INLET
 V - WATER VALVE
 M - MONITOR WELL
 OH - OVERHEAD UTILITY LINE
 CF - CHAIN FENCE AS NOTED
 M - METAL FENCE AS NOTED
 T - TREE PER DESCRIPTION
 X - UNDERGROUND UTILITY BOX

REFERENCES
 D.B. 5699, PG. 408
CURRENT OWNER:
 MARTIN GALLAN
DESIGNER:
 GOODRICH ARCHITECTURE PA
 3142 WRIGHTSVILLE AVE.
 WILMINGTON NC, 28403
 910-343-1065

SITE DATA TABLE
PARKING:
 13 MARKED SPOTS
TOTAL TREES:
 48
TREES TO BE REMOVED:
 4
TOTAL AREA:
 2.09 ACRES +/-
 91,077 S.F. +/-
TOTAL IMPERVIOUS PRE-DEVELOPMENT:
 49,113 S.F. +/-, 53.92%
TOTAL IMPERVIOUS POST-DEVELOPMENT:
 49,321 S.F. +/-, 54.15%
PROPOSED BUILDING AREA(1 BUILDING):
 2,500 S.F. +/-
EXISTING BUILDING AREA(1 BUILDING):
 10,184 S.F. +/-
PROPERTY ZONED: CS
SETBACKS:
 FRONT: 35'
 REAR: 15'
 SIDE: 7'
 MAX HEIGHT: 35'
CAMA LAND USE CLASSIFICATION-URBAN



I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK AS SHOWN, PAGE AS SHOWN OR OTHER REFERENCE SOURCE AS SHOWN; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600). THIS DAY OF JUNE 2, 2016.

Jason M. Falla

SITE PLAN FOR
US MED EXPRESS
 1926 OLEANDER DRIVE
 PARCEL ID# R05411-022-003-000
 CITY OF WILMINGTON; NEW HANOVER COUNTY, NC
 DATE OF SURVEY: MAY 31, 2016
 SCALE: 1"=30'

BAR GRAPH 1 inch = 30 ft.

PORT CITY GEOMATICS, LTD.
 PROFESSIONAL LAND SURVEYING
 5813 WRIGHTSVILLE AVE. (910) 791-1212
 UNIT 159 WILMINGTON, NC 28403 (910) 279-7824
 FIRM# C-3844 E-MAIL: jasonfalla7@yahoo.com