

REVISIONS		
No./Date	Description	By

- SITE INVENTORY NOTES:**
- PREPARER OF THE PLAN: TRIPP ENGINEERING, P.C.
 - APPLICANT NAME: MATTHEWS MOTORS, INC.
 - SITE ADDRESS OF THE DEVELOPMENT: 5723 MARKET STREET
 - PROPERTY OWNER: ESSEX FIVE, LLC
 - DEVELOPER: MATTHEWS MOTORS, INC.
 - PROPERTY BOUNDARY: SEE PLAN
TAX PARCEL INFORMATION: R05009-004-026-000
 - PROPERTY ZONING: RB-REGIONAL BUSINESS DISTRICT
 - ADJACENT PROPERTY OWNER INFORMATION: SEE PLAN
 - VICINITY MAP: SEE PLAN
 - TOPOGRAPHY: SEE PLAN
 - 100-YEAR FLOOD BOUNDARY: N/A
 - EXISTING DITCHES, CREEKS AND STREAMS: SEE PLAN
 - SOIL: L_y; LYNN HAVEN FINE SAND AND S_e; SEAGATE FINE SAND
 - CAMA AEC: N/A
 - CAMA LAND CLASSIFICATION: URBAN
 - CONSERVATION RESOURCES: NONE
ASSOCIATED SETBACKS: N/A
 - HISTORIC OR ARCHAEOLOGICAL SITE: N/A
 - CEMETERIES, BURIAL SITES/GROUNDS: N/A
 - FORESTED AREAS, HABITAT AND DOMINANT SPECIES: N/A
 - WETLANDS: NONE
 - PROTECTED SPECIES OR HABITAT: N/A
 - EXISTING OR PROPOSED THOROUGHFARES, BIKE ROUTES, PEDESTRIAN SIDEWALKS OR TRAILS AND TRANSIT FACILITIES: SEE SITE PLAN
 - EXISTING TREES TO BE REMOVED AS SHOWN.

- LEGEND**
- PROPERTY BOUNDARY
 - - - EXISTING CONTOUR
 - ✱ TREE TO BE REMOVED
 - X-X-X- EXISTING CURB TO BE REMOVED

Approved Construction Plan

Name	Date

Planning _____
Traffic _____
Fire _____

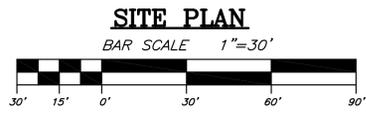
STORMWATER MANAGEMENT PLAN
APPROVED

CITY OF WILMINGTON
ENGINEERING DEPARTMENT

DATE _____ PERMIT # _____

SIGNED _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



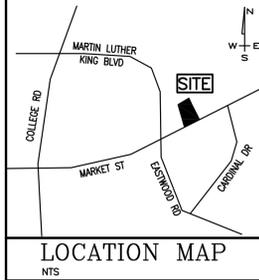
EXISTING CONDITIONS, SITE INVENTORY MAP,
 AND DEMOLITION PLAN
MATTHEWS MOTORS
 WILMINGTON, NORTH CAROLINA

TRIPP ENGINEERING, P.C.
 419 Chestnut Street
 Wilmington, North Carolina 28401
 Phone 910-763-5100
 Fax 910-763-5631
© 2015 TRIPP ENGINEERING, P.C.



DATE 02-10-16
DESIGN PGT
DRAWN MLV

REVISIONS		
No./Date	Description	By



TRACT B
PRESTRESSED DIVISION
MB 39 PG 145
N/F MARKET STREET HOLDINGS, LLC
R05005-001-010-000
DB 4791 PG 167
ZONING: I-1
LAND USE: BUSINESS

PORTION OF LOT 24 AND 25
FISHERVILLE
MB 67 PG 101
N/F ALEX PEARSON STANLEY
R05009-004-027-000
DB 159 PG 1646
ZONING: I-1
LAND USE: VACANT

N68°50'05"E (MB 39 PG 145)
N64°09'34"E (GRID) 199.76'

NEW HANOVER COUNTY
CITY OF WILMINGTON
(CITY LIMITS)

125.0' ABANDONED SEABOARD
COASTLINE RAIL ROAD
MB 39 PG 145

**PROPOSED DUMPSTER
PAD W/ENCLOSURE**
(SEE DETAIL)

PORTION OF LOT 22
FISHERVILLE
N/F WILLIAM M. RILEY
R05009-004-025-000
DB 2905 PG 981
ZONING: RB
LAND USE: BUSINESS

PORTION OF LOT 24 AND 25
FISHERVILLE
MB 67 PG 101
N/F ALEX PEARSON STANLEY
R05009-004-034-000
DB 159 PG 1646
ZONING: RB
LAND USE: BUSINESS
"HONDA OF WILMINGTON"

PART LOT 21 AND 22
FISHERVILLE
MB 67 PG 101

EXISTING BUILDING
FINISH FLOOR
ELEVATION = 39.38'
"SOUNDTRONICS"

PROPOSED BUILDING
7,412 SF
FFE 39.0

EXISTING BUILDING
FINISH FLOOR
ELEVATION = 37.25'

NOTES:

- ZONING**
1) TOPOGRAPHY COMPLETED BY DANFORD & ASSOCIATES LAND SURVEYING, P.C.
2) PERMITTING OF BUSINESS IDENTIFICATION SIGNAGE IS A SEPARATE PROCESS. CITY OF WILMINGTON WILL NOT ALLOW OBSTRUCTIONS WITHIN THE RIGHT-OF-WAY.
3) CONTRACTOR SHALL FIELD VERIFY SIZE, MATERIAL, INVERTS AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PROPOSED CONNECTIONS.
4) EXISTING EASEMENTS AS SHOWN.
5) CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
6) UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0896.
- SOLID WASTE**
1) SITE TO USE DUMPSTER AS SHOWN ON PLAN.
- TRAFFIC**
1) ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
2) TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
3) CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNALS, FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
4) CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
5) ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
6) CONTACT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
7) ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
8) NO ROWS TO BE CLOSED.
9) NO STREETS PROPOSED.
10) OFF SITE PARKING PROPOSED AS SHOWN.
11) DRIVEWAYS TO MEET CITY STANDARDS.
13) ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
14) STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
15) TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
16) POSTED SPEED LIMIT: 45 MPH
- LANDSCAPING**
1) A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND THE PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
2) NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE.
3) PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
4) ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
5) NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTIONS ON TREE PROTECTION METHODS.

SITE DATA:

PROPERTY OWNER	ESSEY FIVE LLC
PROJECT ADDRESS	5723 MARKET ST.
PIN NUMBER	R05009-004-026-000
AREA NOT IN A FEMA 100-YEAR FLOOD ZONE.	
ZONING DISTRICT	RB-REGIONAL BUSINESS
DISTURBED AREA	2.0 Ac.
SETBACKS REQUIRED	FRONT: 25' REAR: 15' SIDE: 0'
PROPOSED BUILDING SETBACKS	FRONT: 110' REAR: 11' SIDE: 55'
TRACT AREA	77,347 SF (1.78 AC)
BUILDING USE	AUTOMOBILE DEALER
PROPOSED BUILDING AREA (GROSS)	7,120 SF
BUILDING LOT COVERAGE (3,560/77,347)	9.2%
NUMBER OF UNITS	1
NUMBER OF BUILDINGS	27
BUILDING HEIGHT	1
NUMBER OF STORIES	1
EXISTING IMPERVIOUS AREAS:	
EXISTING BUILDING	0 SF
EXISTING CONCRETE	0 SF
EXISTING CRUSHED STONE	0 SF
EXISTING ASPHALT	0 SF
EXISTING IMPERVIOUS AREA	0 SF (0%)
PROPOSED IMPERVIOUS AREAS:	
PROPOSED BUILDING FOOTPRINT	7,120 SF
PROPOSED ASPHALT	45,560 SF
PROPOSED SIDEWALK	233 SF
EXISTING IMPERVIOUS	0 SF
TOTAL IMPERVIOUS AREA	52,915 SF (68.4%)
PARKING REQUIRED: (AUTOMOBILE DEALERS)	
MAXIMUM: NONE	-
MINIMUM: 1/500 SF (7,120/500)	14
TOTAL PARKING PROVIDED:	86
CAMA LAND USE:	URBAN
PUBLIC WATER AND SEWER BY CFPWA	
EXISTING WATER FLOW:	0 GPD
EXISTING SEWER FLOW:	0 GPD
PROPOSED WATER FLOW: (120 GPD/1000 SF x 7,120 SF x 110%)	939 GPD
PROPOSED SEWER FLOW: (120 GPD/1000 SF x 7,120 SF)	854 GPD
HANDICAP SPACES REQUIRED (1/25 SPACES=1 HANDICAP SPACE)	PROPOSED 87 SPACES/25=1
4 HANDICAP SPACES	
BICYCLE PARKING REQUIRED (87 SPACES)	5 BICYCLE PARKS
BICYCLE PARKING PROPOSED	5 BICYCLE PARKS

- CFPWA**
1) WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPWA) DETAILS AND SPECIFICATIONS.
2) PROJECT SHALL COMPLY WITH THE CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL.
3) IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPERS SIDE OF THE WATER METER BOX.
4) ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA WATER SHALL COMPLY WITH THE CFPWA'S CONNECTION CONTROL REGULATION. CALL 910-332-8419 FOR INFORMATION.
5) ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES FOR USFCOCCR OR ASSE.
6) PUBLIC WATER AND SEWER EXISTING.
7) CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING OR GRADING.
8) ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
9) CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- DRAINAGE**
1) SHEET FLOW TO PROPOSED DROP INLETS TO UNDERGROUND INFILTRATION SYSTEM.

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

STORMWATER MANAGEMENT PLAN
APPROVED

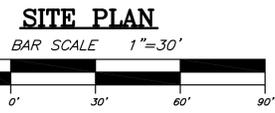
CITY OF WILMINGTON
ENGINEERING DEPARTMENT

DATE _____ PERMIT # _____

SIGNED _____

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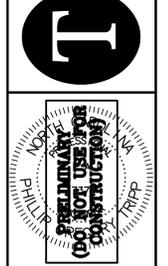
- LEGEND**
- PROPERTY BOUNDARY
 - ☀ EXISTING TREE
 - SS PROPOSED SEWER
 - W PROPOSED WATER
 - SD PROPOSED STORM WATER
 - ▬ LIMITS OF DISTURBANCE
 - ⊘ TREE PROTECTION - DO NOT DISTURB



N/F ESTON C & KETIE B BRINKLEY
R05009-005-006-000
DB 1139 PG 1804
ZONING: RB
LAND USE: RETAIL-BUILDING MATERIALS

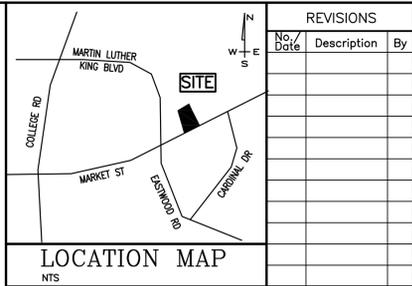
N/F ESTON C & KETIE B BRINKLEY
R05009-005-005-000
DB 1185 PG 1272
ZONING: RB
LAND USE: MOBILE HOME PARK

TRIPP ENGINEERING, P.C.
 419 Chestnut Street
 Wilmington, North Carolina 28401
 Phone 910-763-5100
 Fax 910-763-5631
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 LICENSE NO. 10000



TRACT B
PRESTRESSED DIVISION
MB 39 PG 145
N/F MARKET STREET HOLDINGS, LLC
R05005-001-010-000
DB 4791 PG 167
ZONING: I-1
LAND USE: BUSINESS

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FISHERVILLE
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R05009-004-027-000
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No./Date	Description	By

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CITY OF WILMINGTON
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125.0' ABANDONED SEABOARD
COASTLINE RAIL ROAD
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CEPWA

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DRAINAGE

- 1) SHEET FLOW TO PROPOSED DROP INLETS TO UNDERGROUND INFILTRATION SYSTEM.

SITE DATA:

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PROJECT ADDRESS	5723 MARKET ST.
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BUILDING USE	AUTOMOBILE DEALER
PROPOSED BUILDING AREA (GROSS)	7,120 SF
BUILDING LOT COVERAGE (3,560/77,347)	9.2%
NUMBER OF UNITS	1
NUMBER OF BUILDINGS	27
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NUMBER OF STORIES	1
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EXISTING CONCRETE	0 SF
EXISTING CRUSHED STONE	0 SF
EXISTING ASPHALT	0 SF
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BICYCLE PARKING REQUIRED (87 SPACES)	5 BICYCLE PARKS
BICYCLE PARKING PROPOSED	5 BICYCLE PARKS

LEGEND

- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- SS - - - - - PROPOSED SEWER
- W - - - - - PROPOSED WATER
- SD - - - - - PROPOSED STORM WATER
- --- LIMITS OF DISTURBANCE
- X - - - - - TEMPORARY SILT FENCE
- - - - - - PROPOSED SPOT ELEVATION
- - - - - - EXISTING SPOT ELEVATION
- - - - - - TREE PROTECTION - DO NOT DISTURB
- - - - - - RUNOFF DIRECTION
- - - - - - INLET WITH INLET PROTECTION

Approved Construction Plan

Name	Date

Planning
Traffic
Fire

STORMWATER MANAGEMENT PLAN
APPROVED

CITY OF WILMINGTON
ENGINEERING DEPARTMENT

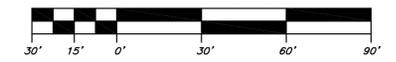
DATE _____ PERMIT # _____

SIGNED _____

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SITE PLAN

BAR SCALE 1"=30'



N/F ESTON C & KETIE B BRINKLEY
R05009-005-006-000
DB 1139 PG 1804
ZONING: RB
LAND USE: RETAIL-BUILDING MATERIALS

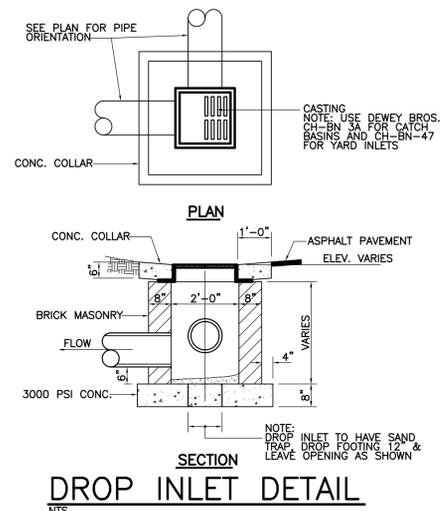
N/F ESTON C & KETIE B BRINKLEY
R05009-005-005-000
DB 1185 PG 1272
ZONING: RB
LAND USE: MOBILE HOME PARK

UTILITY
GRADING, DRAINAGE, EROSION CONTROL,
AND STORMWATER MANAGEMENT PLAN
MATTHEWS MOTORS
WILMINGTON, NORTH CAROLINA

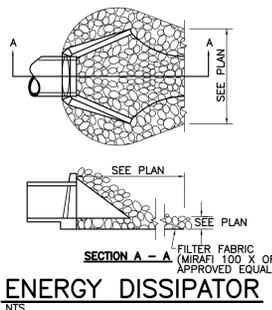
TRIPP ENGINEERING, P.C.
 419 Chestnut Street
 Wilmington, North Carolina 28401
 Phone 910-763-5100
 Fax 910-763-5631
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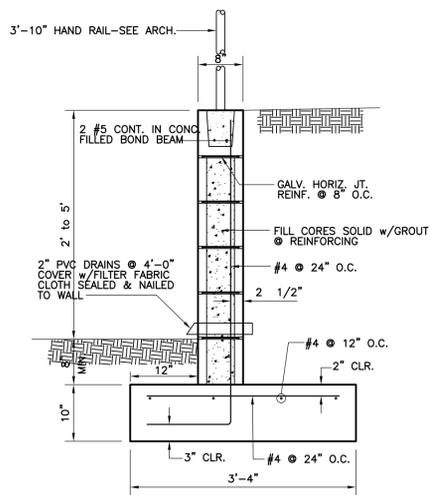
DATE 02-10-16
DESIGN PGT
DRAWN MLV



DROP INLET DETAIL
NTS



ENERGY DISSIPATOR
NTS



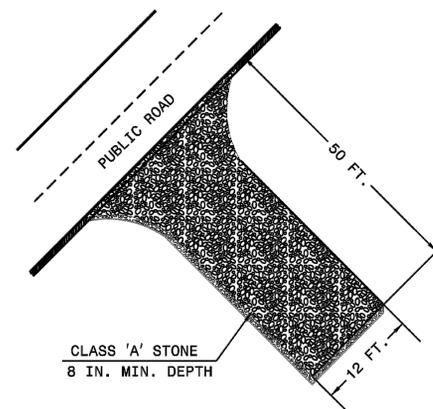
TYPICAL RETAINING WALL SECTION
NTS

CONTRACTOR TO SUBMIT SHOP DRAWINGS TO NEW HANOVER COUNTY FOR THE RETAINING WALL PRIOR TO CONSTRUCTION.

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR
GRAVEL CONSTRUCTION ENTRANCE

SHEET 1 OF 1
1607.01



NOTES

1. PROVIDE TURNING RADIUS SUFFICIENT TO ACCOMMODATE LARGE TRUCKS.
2. LOCATE ENTRANCES TO PROVIDE FOR UTILIZATION BY ALL CONSTRUCTION VEHICLES.
3. MUST BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR DIRECT FLOW OF MUD ONTO STREETS. PERIODIC TOPDRESSING WITH STONE WILL BE NECESSARY.
4. ANY MATERIAL TRACKED ONTO THE ROADWAY MUST BE CLEANED UP IMMEDIATELY.
5. LOCATE GRAVEL CONSTRUCTION ENTRANCE AT ALL POINTS OF INGRESS AND EGRESS UNTIL SITE IS STABILIZED. PROVIDE FREQUENT CHECKS OF THE DEVICE AND TIMELY MAINTENANCE.
6. NUMBER AND LOCATION OF CONSTRUCTION ENTRANCES TO BE DETERMINED BY THE ENGINEER.
7. USE CLASS 'A' STONE OR OTHER COARSE AGGREGATE APPROVED BY THE ENGINEER.
8. INSTALL CONSTRUCTION ENTRANCES IN A WAY TO PREVENT VEHICLES FROM BYPASSING CONSTRUCTION ENTRANCE LEAVING PROJECT SITE.

NOTE: PLACE FILTRATION GEOTEXTILE BENEATH STONE

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ENGLISH STANDARD DRAWING FOR
GRAVEL CONSTRUCTION ENTRANCE

SHEET 1 OF 1
1607.01

REVISIONS		
No.	Date	Description

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR
CONCRETE SIDEWALK

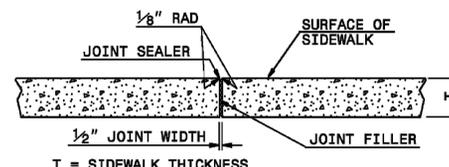
SHEET 1 OF 1
848.01

NOTES:

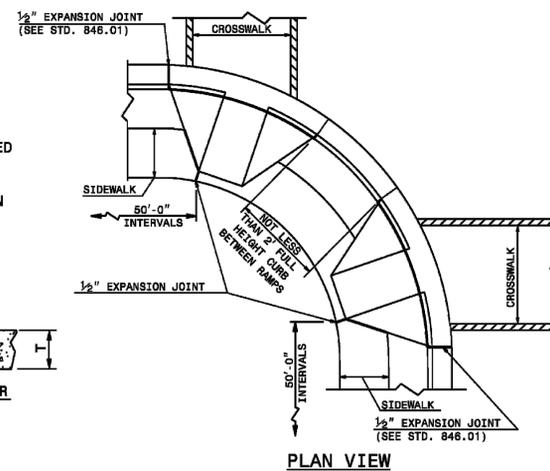
CONSTRUCT STANDARD SIDEWALK 5' WIDE AND 4" THICK UNLESS OTHERWISE DENOTED ON PLANS.

PLACE A GROOVE JOINT 1" DEEP WITH 1/8" RADII IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 50' INTERVALS. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.

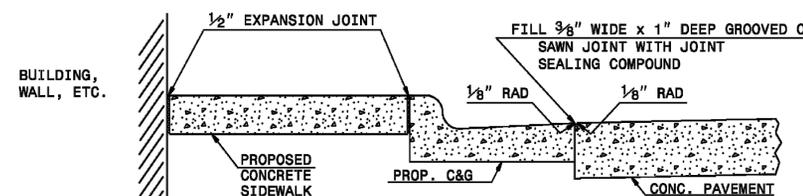
SEE STD. DWG. 848.05 FOR WHEELCHAIR RAMP LOCATION REQUIREMENTS AND CONSTRUCTION GUIDELINES.



TRANSVERSE EXPANSION JOINT IN SIDEWALK



PLAN VIEW



DETAILS SHOWING JOINTS IN CONCRETE SIDEWALK

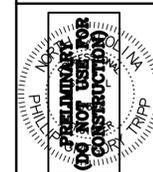
STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR
CONCRETE SIDEWALK

SHEET 1 OF 1
848.01

DETAILS AND NOTES
MATTHEWS MOTOTS
WILMINGTON, NORTH CAROLINA

TRIPP ENGINEERING, P.C.
419 Chestnut Street
Wilmington, North Carolina 28401
Phone 910-763-5100
Fax 910-763-5631
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DATE 02-10-16
DESIGN PGT
DRAWN MLV

C5
SHEET 5 OF 5
15037

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

STORMWATER MANAGEMENT PLAN
APPROVED

CITY OF WILMINGTON
ENGINEERING DEPARTMENT

DATE _____ PERMIT # _____

SIGNED _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.