

Landfall

SPORTS CENTER

REVISIONS
DATE
COMMENT

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CRISER TROUTMAN TANNER



PROJECT: LANDFALL SPORTS CENTER
ADDRESS: 1750 DRYSDALE DRIVE
WILMINGTON, NORTH CAROLINA 28405



DESIGNED BY: DEC
DRAWN BY: HWL
QUALITY CONTROL: DEC
SCALE: NOTED
FILE NUMBER: 7730.00
DATE: 08-26-16
COVER SHEET AND SITE INFORMATION
SHEET NUMBER: C0

ARCHITECTURAL KEYED NOTES

KEY

- A** EXISTING FITNESS CENTER
BUILDING FOOTPRINT = 15,603 SQ. FT.
- EXISTING MECHANICAL YARD TO BE ENCLOSED
PROPOSED 510 SQ. FT. NEW ENCLOSED SPACE
(NO ADDED FOOTPRINT)
 - EXISTING MECHANICAL YARD TO BE ENCLOSED
PROPOSED 310 SQ. FT. NEW ENCLOSED SPACE
(NO ADDED FOOTPRINT)
 - NEW INTERNAL ADDITION: NEW FLAT ROOF & METAL ROOF
ADDITION FOOTPRINT = 913 SQ. FT.
 - NEW INTERNAL ADDITION: NEW FLAT ROOF
ADDITION FOOTPRINT = 515 SQ. FT.
 - EXISTING MECHANICAL YARD TO BE ENCLOSED
PROPOSED 703 SQ. FT. NEW ENCLOSED SPACE
(NO ADDED FOOTPRINT)
 - NEW ADDITION: NEW FLAT ROOF
ADDITION FOOTPRINT = 90 SQ. FT.

ADDED FOOTPRINTS TO PROPERTY (ITEMS 3, 4 & 6) = 1,518 SQ.FT.

B EXISTING POOL FACILITIES, RENOVATED INTO KID'S CAMP
EXISTING FOOTPRINT 2,512
PROPOSED 960 SQ. FT. NEW ENCLOSED SPACE
(NO ADDED FOOTPRINT)

C PROPOSED NEW POOL FACILITIES BUILDING
NEW BUILDING FOOTPRINT=828 SQ.FT.

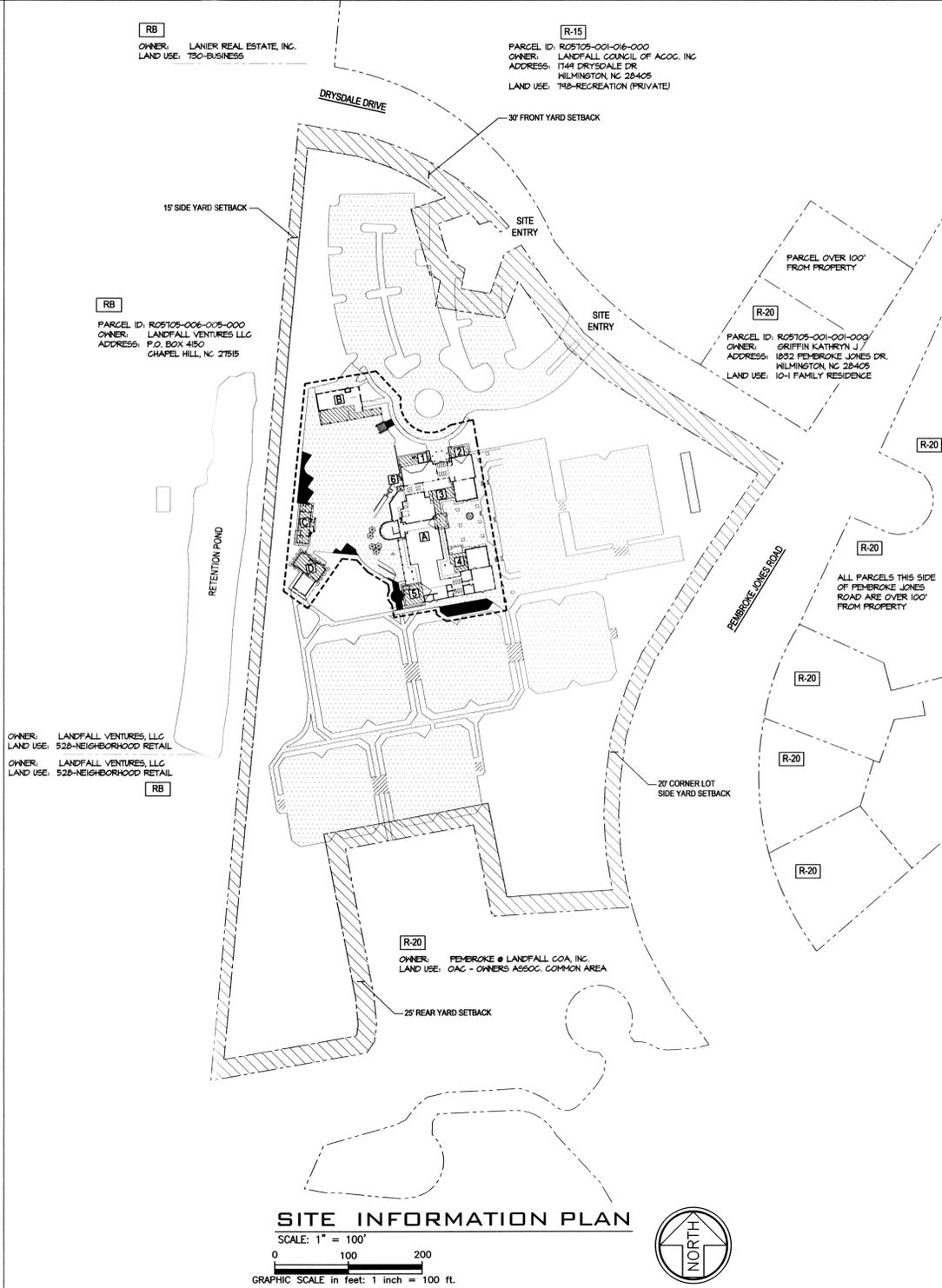
D EXISTING MAINTENANCE BUILDING (ACCESSORY BLDG)
BUILDING FOOTPRINT 525 SQ.FT.
PROPOSED NEW MAINTENANCE BUILDING ADDITION
ADDED BUILDING FOOTPRINT 830 SQ.FT.

BUILDING FOOTPRINT SQ.FT. TOTALS

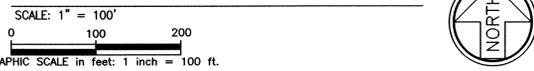
EXISTING BUILDING FOOTPRINTS (A+B+D):	18,640 SQ.FT.
PROPOSED ADDED BUILDING FOOTPRINTS:	3,176 SQ.FT.
TOTAL:	21,816 (17.03% INCREASE)

LEGEND

- R-20** ZONE CODE
- EXISTING SITE HARDSCAPE
- PROPOSED ADDED SITE HARDSCAPE
- PROPOSED NEW ENCLOSED SPACES
- SETBACK
- AREA OF WORK
- PROPERTY LINE



SITE INFORMATION PLAN



SITE DATA

DEVELOPMENT NAME: LANDFALL SPORTS CENTER
STREET ADDRESS: 1750 DRYSDALE DRIVE WILMINGTON, NORTH CAROLINA 28405

NEW HANOVER COUNTY TAX PARCEL IDENTIFICATION #(PARID): R05705-005-012-000
ALT ID 315710.46.8820.000

TOTAL SITE ACRES: 12.24 ACRES (533,174 SF)
ZONING DISTRICT(S): R-20
CLASS: COM-COMMERCIAL
CAMA CLASSIFICATION: WATERSHED RESOURCE PROTECTION AREA
CAMA LAND USE CLASSIFICATION: DEVELOPED
MUNICIPAL AREA: WM
FLOOD ZONE: (ZONE X) MINIMAL FLOOD RISK

CLIENT (Owner or Developer): COUNTRY CLUB OF LANDFALL
Name(s): JESSI REUTTER
Address: 800 SUN RUNNER PLACE WILMINGTON, NC 28405
Telephone: 910-256-8411
E-Mail Address: jessi.reutter@countrycluboflandfall.com

CONSULTANT/AGENT (Person to contact): DAVID E. CRISER
Address: 3809 PEACHTREE AVE., SUITE 102 WILMINGTON, NC 28403
Telephone: 910-397-2929 / 910-397-2971
E-Mail Address: dcriser@cttengineering.com

EXISTING BUILDINGS	3
PROPOSED BUILDINGS	1
TOTAL SITE BUILDINGS	4
MAXIMUM ALLOWABLE BUILDING HEIGHT	35 FT
TALLEST EXISTING BUILDING	26 FT
TALLEST PROPOSED BUILDING	19 FT
EXISTING BUILDING AREA	18,640 SF
PROPOSED BUILDING AREA	3,176 SF
TOTAL BUILDING AREA	21,816 SF

REQUIRED YARD SETBACKS	
FRONT:	30'
SIDE:	15'
CORNER:	20'
REAR:	25'

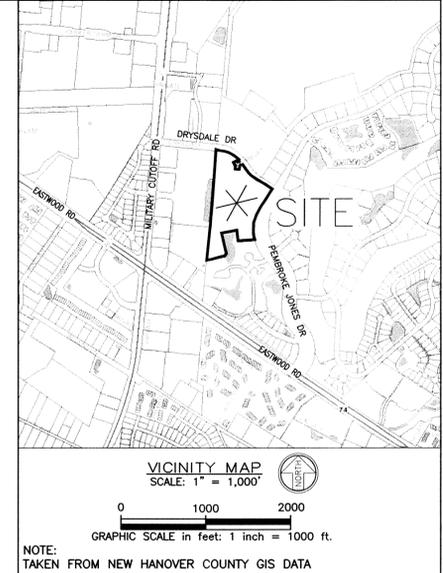
YARD SETBACK AREA	
FRONT:	339'
SIDE:	50'
CORNER:	212'
REAR:	313'

PARKING	
REQUIRED: MAX:	1 PER 200SF GFA (21,816 / 200) = 110
MIN:	1 PER 400SF GFA (21,816 / 400) = 55
EXISTING: REGULAR:	97
ACCESSIBLE:	3
TOTAL EXISTING PARKING:	100
PROPOSED:	0

IMPERVIOUS AREA	
EXISTING	
FITNESS CENTER	15,603 SF
MAINTENANCE BLDG.	525 SF
POOL FACILITIES	2,512 SF
TOTAL (EX. BLDGS.)	18,640 SF
CONCRETE	156,862 SF
ASPHALT	49,650 SF
TOTAL EXIST. IMPERVIOUS:	225,152 SF

NEW ADDITIONS / BUILDINGS	
FITNESS CENTER ADDITION	1,518 SF
MAINTENANCE BLDG. ADDITION	830 SF
POOL FACILITIES ADDITION	0 SF
NEW POOL FACILITIES	828 SF
TOTAL (NEW BLDGS.)	3,176 SF
CONCRETE	2,685 SF
ASPHALT	0 SF
TOTAL NEW IMPERVIOUS:	5,861 SF

LOT COVERAGE PERCENTAGE	
ALLOWED	50.00%
EXISTING	42.23%
PROPOSED	1.10%
TOTAL:	43.33%

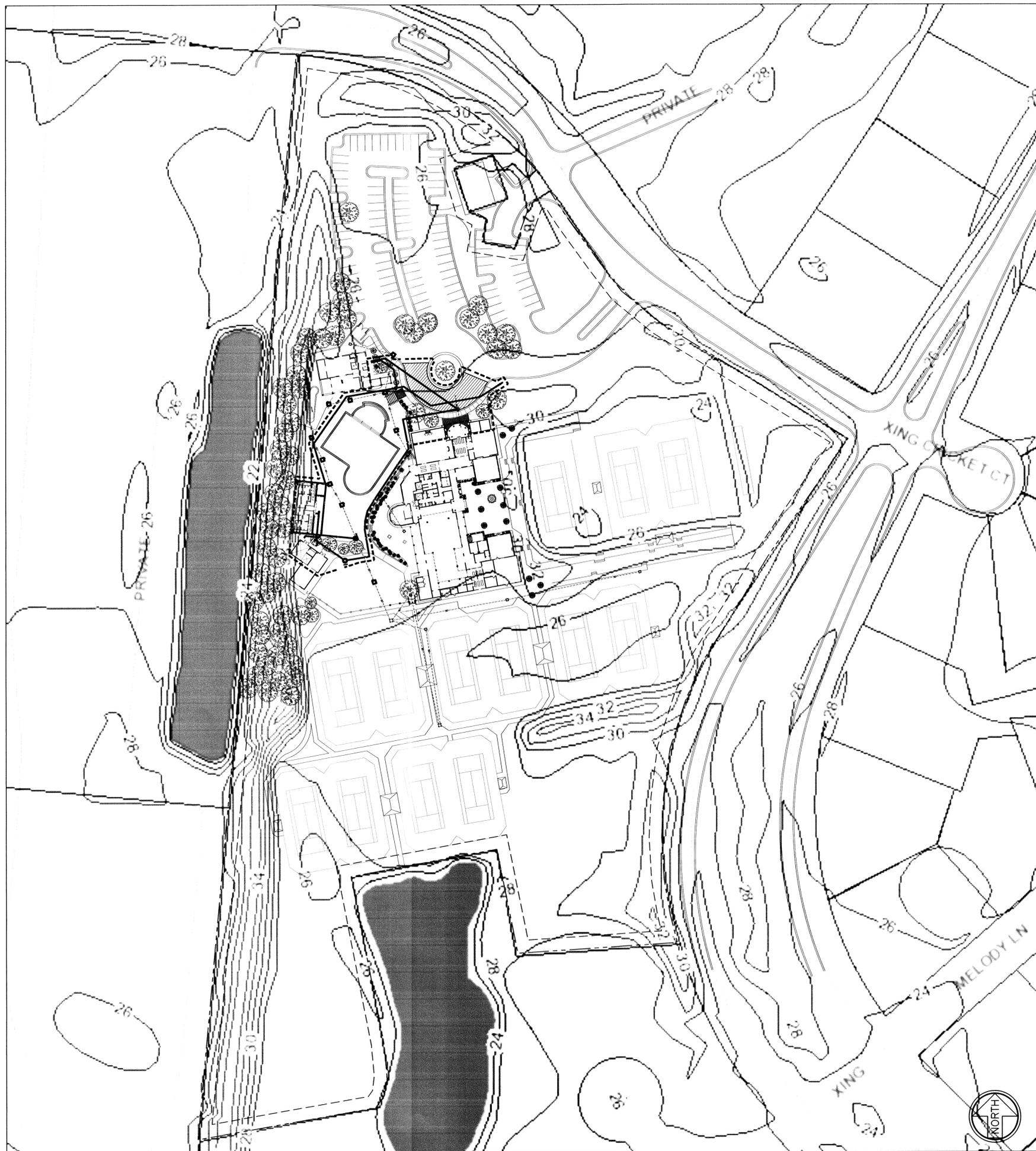


DRAWING INDEX	
SHT. NO.	TITLE
C0	COVER SHEET AND SITE INFORMATION
C1	PROPOSED SITE PLAN WITH EXISTING CONTOURS
C2	EXISTING SITE AND PROPOSED SITE, EROSION CONTROL, AND UTILITY PLAN
C3	CIVIL DETAILS

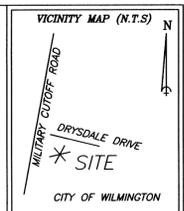
- SITE NOTES:**
- THERE IS NO CHANGE IN USE OF FACILITIES.
 - NO CHANGES ARE PROPOSED TO EXISTING PARKING AREAS.
 - NO CHANGES ARE PROPOSED TO EXISTING UTILITIES SERVICE CONNECTIONS
 - WATER SERVICE IS PROVIDED BY CFPWA.
 - WASTEWATER TREATMENT IS BY CFPWA.
 - NO CHANGES PROPOSED TO STREETYARDS.
 - NO CHANGES ARE PROPOSED TO SETBACKS.
 - NO CHANGES ARE PROPOSED TO WATER USAGE ALLOCATIONS.
 - EXISTING SPOT ELEVATIONS PROVIDED BY FIELD SURVEY.
 - EXISTING CONTOURS TAKEN FROM NEW HANOVER COUNTY GIS DATA
 - EXISTING UTILITIES COVERED IN BLANKET EASEMENT.
 - LANDSCAPE CANNOT BLOCK OR IMPEDE ACCESS TO FDC OR FIRE HYDRANT. A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND THE FDC.

Designers Plan Certification:
I hereby certify that this plan has been prepared in accordance with the latest New Hanover County Ordinances and Storm Water Design Manual.
Signature: *David E. Criser*
Printed Name and Title: DAVID E. CRISER, PE
Date: 08/26/16
Registration Number: 11270

Property Owner's Certification:
I (we) hereby certify that I (we) am (are) the current owner of the property and that upon receipt of "Authorization-To-Construct" any clearing, grading, construction or development will be performed in accordance with this plan and that the applicable ordinances and rules of New Hanover County, the State of North Carolina and the Federal Government and its agencies which are hereby made part of this plan. As the owner, I (we) accept full responsibility for the construction and operation and maintenance of the proposed facilities. I (we) will not attempt to transfer this responsibility without the written authorization of New Hanover County.
Signature: _____
Printed Name and Title: _____
Date: _____



NOTE:
EXISTING CONTOURS TAKEN FROM
NEW HANOVER COUNTY GIS DATA
CONTOUR PLAN
SCALE: 1" = 60'
0 60 120
GRAPHIC SCALE in feet: 1 inch = 60 ft.



- CONSTRUCTION SEQUENCE:**
1. REQUEST PRE-CONSTRUCTION CONFERENCE WITH NEW HANOVER COUNTY INSPECTOR.
 2. INSTALL EROSION CONTROL DEVICES.
 3. INSTALL STORM DRAIN LINES AND INLET PROTECTION IN THE SAME EFFORT TO MINIMIZE SEDIMENT.
 4. COMMENCE GRADING OPERATIONS.
 5. REMOVE ACCUMULATED SEDIMENT.
 6. STABILIZE ALL DISTURBED AREAS AS SOON AS FINAL GRADES ARE ESTABLISHED.
 7. REMOVE TEMPORARY CONTROL DEVICES (SILT FENCE, ETC.) ONCE PERMANENT VEGETATIVE COVER IS ESTABLISHED.

- GRADING NOTES:**
1. INITIATE CONSTRUCTION SEQUENCE BEFORE BEGINNING CLEARING AND GRADING OPERATIONS.
 2. CLEAR AREAS TO BE GRADED OF ALL VEGETATION. PROTECT VEGETATION BEYOND GRADING LIMITS.
 3. STRIP TOPSOIL TO FULL AREAS TO BE GRADED AND STOCKPILE OR REMOVE FROM SITE.
 4. COMPACT ALL FILL AREAS TO 95% OF MAXIMUM DENSITY.
 5. ALL BANKS AND SWALE SIDE SLOPES SHALL BE GRADED WITH NO STEEPER THAN 3:1 SLOPES.
 6. PROPOSED SPOT ELEVATIONS ARE SHOWN AT FINISHED GRADE.
 7. OPERATOR SHALL VERIFY EXISTING TOPOGRAPHY IN RELATION TO THE PROPOSED GRADES TO ENSURE DRAINAGE IN THE DIRECTIONS INDICATED ON THE PLAN.

- EROSION CONTROL:**
1. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION AND IS SUBJECT TO A FINE.
 2. ADDITIONAL DEVICES MAY BE REQUIRED AS AGREED UPON BY FIELD INSPECTOR, ENGINEER, AND OWNER.

GROUND STABILIZATION REQUIREMENTS		
Site Area Description	Stabilization	Timeframe Exceptions
Perimeter dikes, swales, ditches, and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length & are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.

- MAINTENANCE PLAN:**
1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
 2. SEDIMENT TRAPS SHALL BE CLEANED OUT WHEN THEY ARE HALF FULL.
 3. ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
 4. CONSTRUCTION ENTRANCE TO BE CLEANED WHEN SEDIMENT ACCUMULATIONS ARE VISIBLE OR SEDIMENT IS DEPOSITED ON THE ASPHALT AND STONE WILL BE PERIODICALLY TOP DRESSED WITH 2 INCHES OF #4 STONE TO MAINTAIN 6" DEPTH.
 5. SEDIMENT WILL BE REMOVED FROM BEHIND WATTLES WHEN IT BECOMES ABOUT 0.5 FEET DEEP AT THE WATTLE. THE WATTLE SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.

- SITE NOTES:**
1. THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH FIELD CONSTRUCTION CONDITIONS.
 2. BORROW MATERIAL: ALL BORROWED MATERIAL MUST COME FROM A LEGALLY OPERATED MINE OR OTHER SOURCE APPROVED BY NEW HANOVER COUNTY.
 3. CLEARED, CRUBBED, STRIPPED, OR EXCAVATED SPOIL SHALL BE REMOVED FROM THE SITE OR USED IN LANDSCAPED ISLANDS.

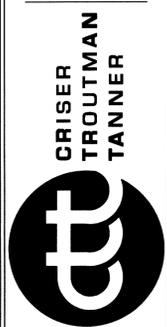
- SEEDING SPECIFICATIONS:**
- LIME: APPLY 100 POUNDS PER 1,000 SQUARE FEET
 FERTILIZER: APPLY 20 POUNDS 8-8-8 PER 1,000 SQUARE FEET
- | | |
|---------------------------------|----------|
| SEED (NON-NC DOT RIGHT OF WAY): | PER ACRE |
| NOVEMBER-MARCH | |
| BERMUDA (UNHULLED) | 20 LBS. |
| WINTER RYE (GRAIN) | 50 LBS. |
| FESCUE | 80 LBS. |
| MARCH-NOVEMBER | |
| BERMUDA (HULLED) | 30 LBS. |
| FESCUE | 80 LBS. |
- MULCH: APPLY 1-1/2 TONS/ACRE WHEAT STRAW (OR APPROVED EQUAL) ON ALL SEEDED AREAS.
- TACK: ALL SLOPES WITH STRAW MULCH EXCEEDING 3:1 TO HAVE ASPHALT TACK APPLIED AT THE RATE OF 225 GALLONS/ACRE.
- * AFTER SOIL PREPARATION AND SEEDING, INSTALL JUTE MATTING OR EQUAL ON ALL DISTURBED AREAS.
 * MAINTAIN SEEDED AREAS UNTIL MINIMUM GROWTH IS ESTABLISHED AND/OR FOR CONTRACT TIME.

Designers Plan Certification:
 I hereby certify that this plan has been prepared in accordance with the latest New Hanover County Ordinances and Storm Water Design Manual.
 Signature: DAVID E. CRISER, P.E.
 Printed Name and Title: DAVID E. CRISER, P.E.
 Date: 08/26/16
 Registration Number: 11270

Property Owner's Certification:
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 Signature: _____
 Printed Name and Title: _____
 Date: _____

DATE	NO.	REVISIONS	COMMENT

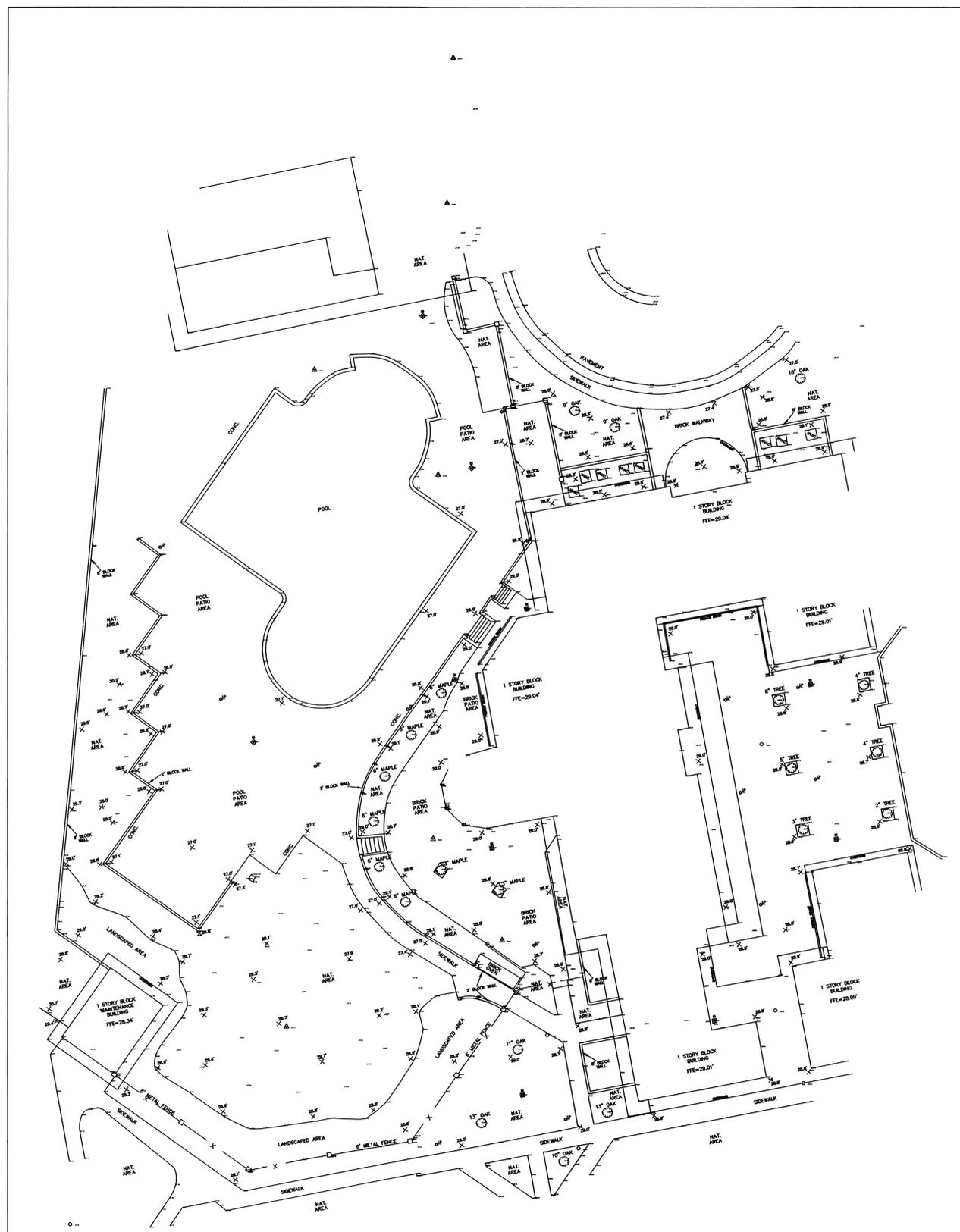
CRISER TROUTMAN TANNER
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 3809 Praetoria Ave., Suite 402
 Wilmington, NC 28403
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 910.397.2971 Fax
 www.ctteengineering.com
 Firm License Number: FO113



PROJECT: **LANDFALL SPORTS CENTER**
 ADDRESS: 1750 DRYSDALE DRIVE
 WILMINGTON, NORTH CAROLINA 28405



DESIGNED BY:	DEC
DRAWN BY:	HWL
QUALITY CONTROL:	DEC
SCALE:	NOTED
FILE NUMBER:	7730.00
DATE:	08-26-16
PROPOSED SITE PLAN WITH EXISTING CONTOURS	
SHEET NUMBER:	C1



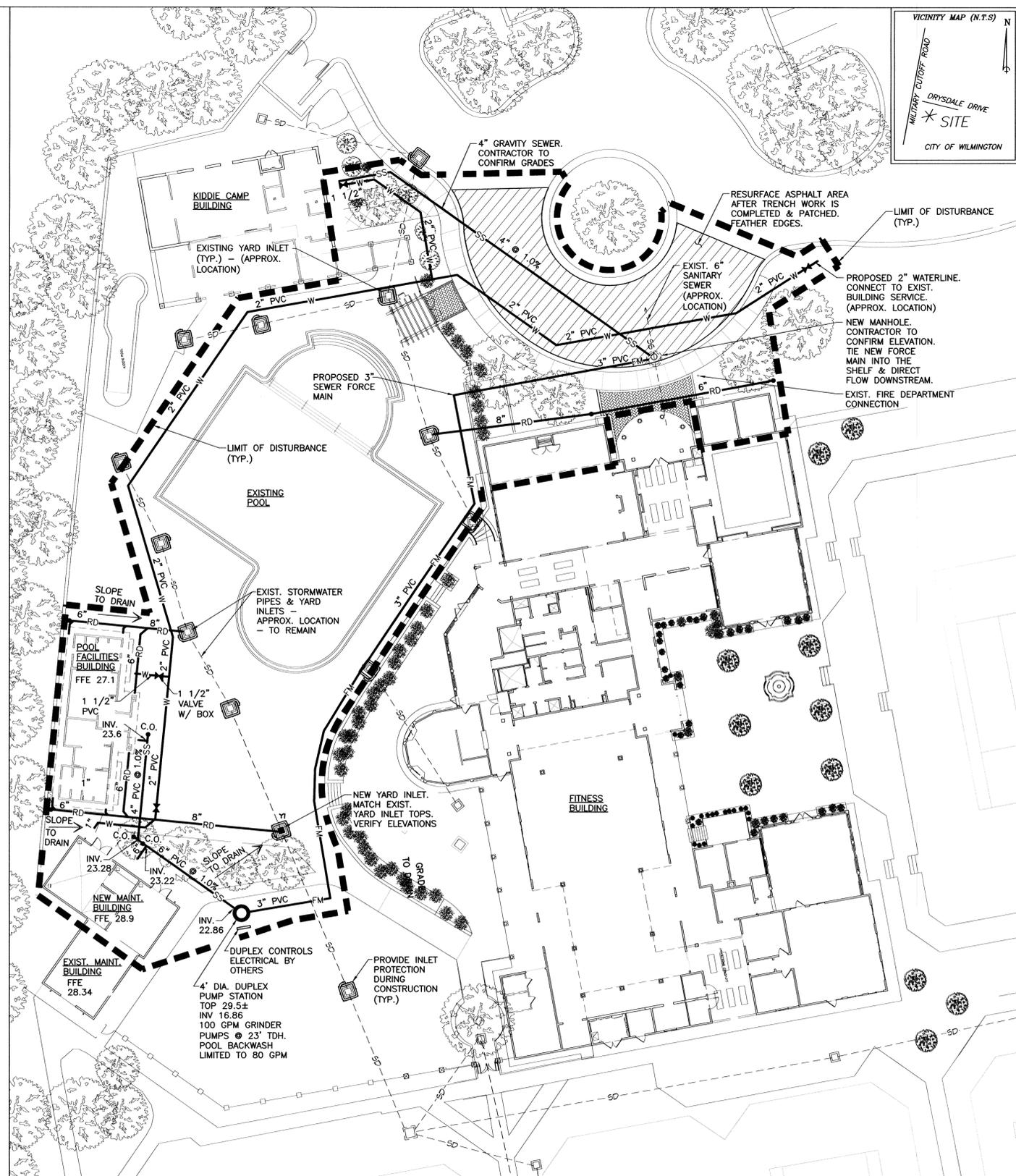
NOTE:
TOPOGRAPHICAL DATA BASED ON PRELIMINARY SURVEY
BY GEOINOVATIONS. SURVEY NOT FINALIZED.

EXISTING SITE PLAN

SCALE: 1" = 20'

GRAPHIC SCALE in feet: 1 inch = 20 ft.

- NOTES:**
- ALL UTILITIES WILL BE CONSTRUCTED IN ACCORDANCE TO ALL LOCAL PROVISIONS.
 - CONTRACTOR TO REMOVE AND REPLACE ALL SURFACES (CONCRETE, ASPHALT, PAVERS, GRASS, POOL DECK, ETC.) DISTURBED FOR THE SITE WORK CONSTRUCTION.
 - POOL SYSTEM BACKWASH DESIGN LIMITED TO 80 GPM DISCHARGE TO WASTEWATER SYSTEM.
 - CONTRACTOR TO PROVIDE SOD OR RESTORE LANDSCAPE AREAS AS DIRECTED BY OWNER.
 - CONTRACTOR TO PREVENT EROSION AND SEDIMENTATION INTO THE POOL WATER.
 - CONTRACTOR TO SLOPE ALL AREAS FOR POSITIVE DRAINAGE.
 - CONTRACTOR TO CONFIRM ALL ELEVATIONS OF EXISTING UTILITIES AND CONFIRM THAT PROPOSED GRADES AND SLOPES ARE CORRECT PRIOR TO CONSTRUCTION.



**PROPOSED SITE,
EROSION CONTROL,
AND UTILITY PLAN**

SCALE: 1" = 20'

GRAPHIC SCALE in feet: 1 inch = 20 ft.

LEGEND

C.O.	CLEAN OUT
DI	DROP INLET
---	LIMIT OF DISTURBANCE
W	WATER
SD	STORM DRAIN
RD	ROOF DRAIN
FFE	FINISHED FLOOR ELEVATION
INV	INVERT

NOTE: SEE C1 FOR NOTES:
CONSTRUCTION SEQUENCE,
GRADING, MAINTENANCE PLAN,
SITE, & SEEDING SPECIFICATIONS

DISTURBED AREA = 0.69 ACRES

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Signature: *David E. Criser, P.E.*
Printed Name and Title: **DAVID E. CRISER, P.E.**
Date: 08/26/16
Registration Number: 11370

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Signature: _____
Printed Name and Title: _____
Date: _____

REVISIONS

NO.	DATE	COMMENT
1	8-28-16	GENERAL REVISION

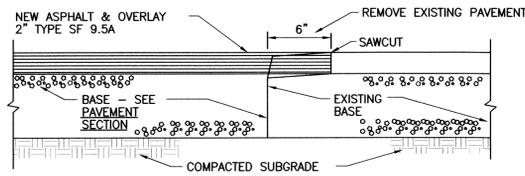
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CRISER TROUTMAN TANNER

LANDFALL SPORTS CENTER

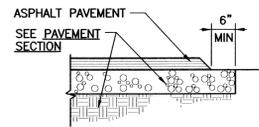
PROJECT: LANDFALL SPORTS CENTER
ADDRESS: 1750 DRYSDALE DRIVE
WILMINGTON, NORTH CAROLINA 28405

DESIGNED BY: DEC
DRAWN BY: HWL
QUALITY CONTROL: DEC
SCALE: NOTED
FILE NUMBER: 7730.00
DATE: 08-04-16
EXISTING SITE AND PROPOSED SITE, EROSION CONTROL, AND UTILITY PLAN
SHEET NUMBER: 02



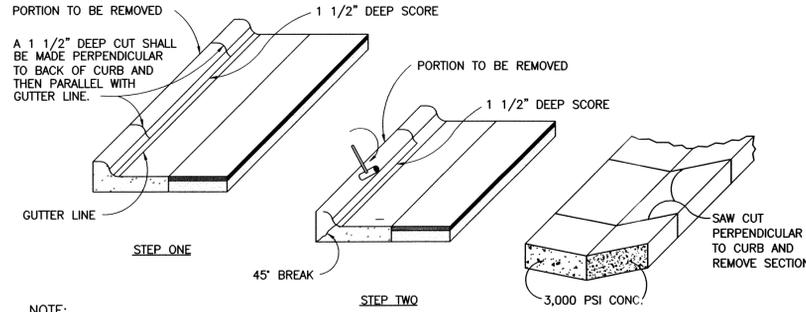
EXIST. & NEW PAVEMENT JOINT DETAIL

SCALE: N.T.S.



EDGE OF PAVEMENT

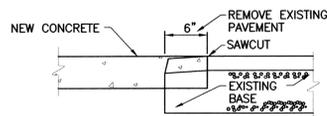
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NOTE: REPLACE WITH MATCHING CURB & GUTTER.

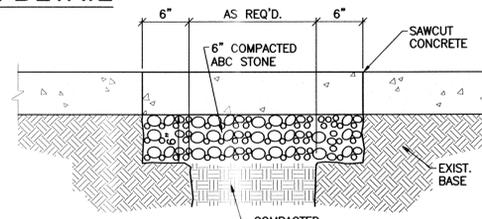
EXISTING CURB REMOVAL DETAIL

SCALE: N.T.S.



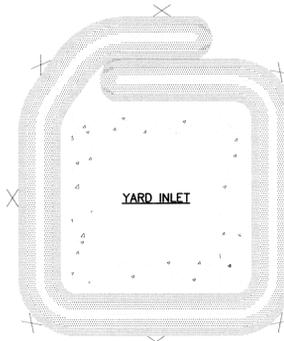
EXIST. PAVEMENT & NEW CONCRETE JOINT DETAIL

SCALE: N.T.S.



CONCRETE REPAIR DETAIL

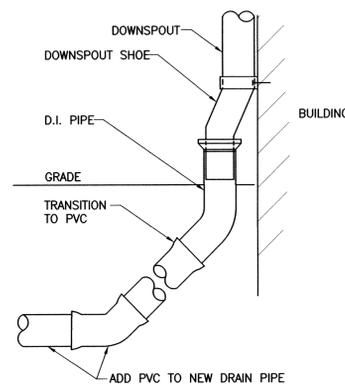
SCALE: N.T.S.



NOTE: REMOVE SEDIMENT AFTER EVERY STORM EVENT.

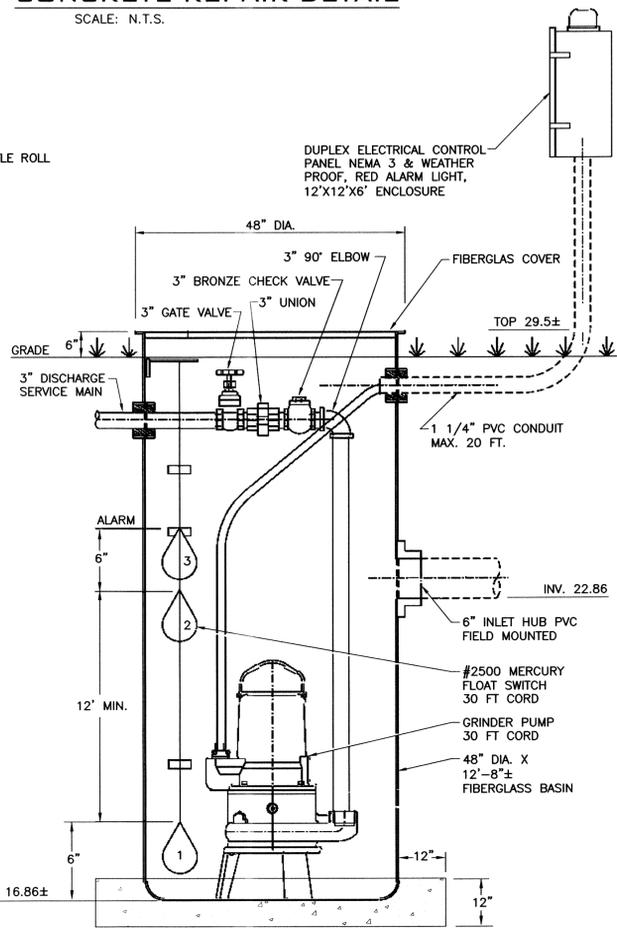
INLET PROTECTION DETAIL

SCALE: N.T.S.



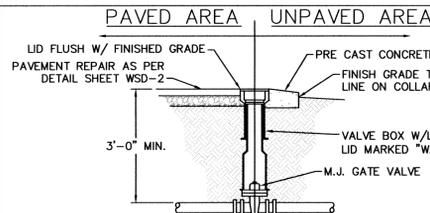
ROOF DRAIN DETAIL

SCALE: N.T.S.



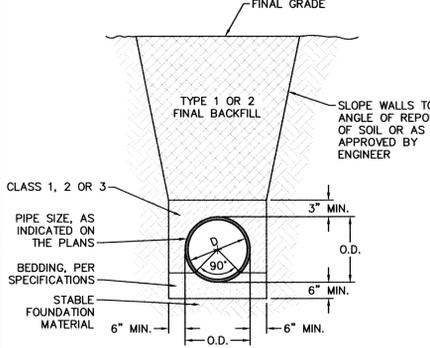
LIFT STATION DETAIL

SCALE: N.T.S.



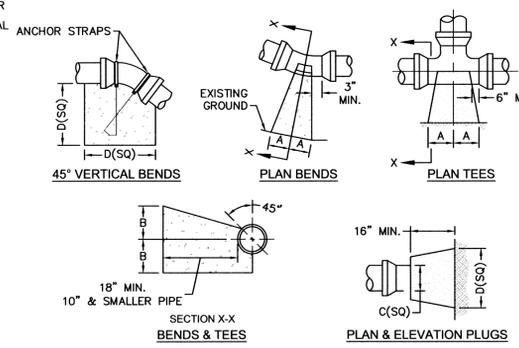
WD-3 VALVE DETAIL

NOT TO SCALE



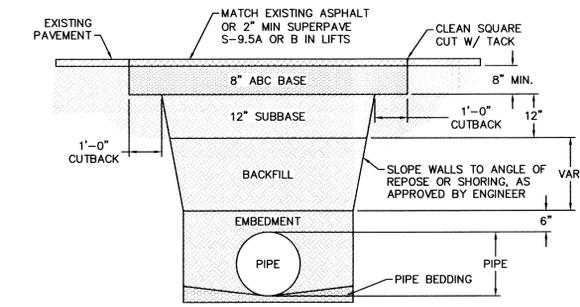
WD-13 TYPICAL TRENCH DETAIL

NOT TO SCALE



WD-4 THRUST BLOCK DETAIL

NOT TO SCALE



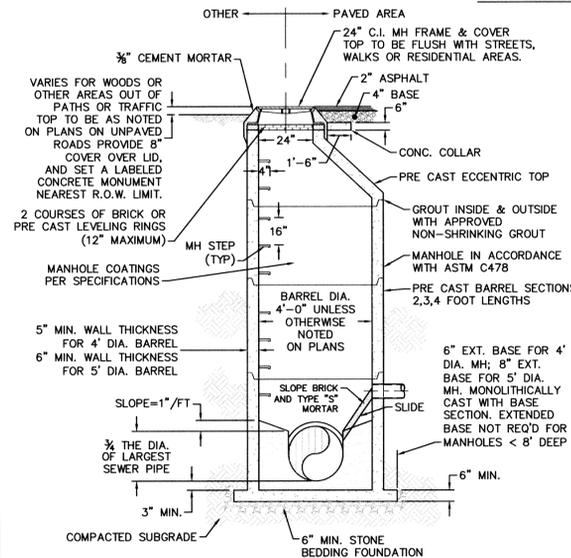
WD-14 PAVEMENT REPAIR WHERE PIPE INSTALLED

NOT TO SCALE (ALSO SAME DETAIL USED FOR "PAVEMENT REPAIR WHERE PIPE INSTALLED" CFPUA STANDARD SEWER DETAIL SD-14)

SIZE	90 BENDS		45 BENDS		22-1/2 BENDS		TEES/PLUGS		45 VERT. BENDS
	A	B	A	B	A	B	A	B	
3"	8"	6"	5"	6"	3"	7"	6"	8"	27"
4"	8"	9"	5"	8"	3"	11"	6"	9"	28"
6"	14"	11"	9"	9"	8"	8"	12"	9"	36"
8"	16"	16"	12"	12"	10"	13"	14"	9"	42"
10"	18"	22"	15"	14"	14"	16"	18"	15"	50"
12"	20"	28"	18"	17"	16"	16"	22"	18"	62"
14"	26"	29"	21"	19"	18"	18"	26"	20"	72"
16"	33"	29"	25"	21"	20"	21"	32"	21"	83"
18"	40"	30"	28"	24"	22"	23"	36"	24"	88"

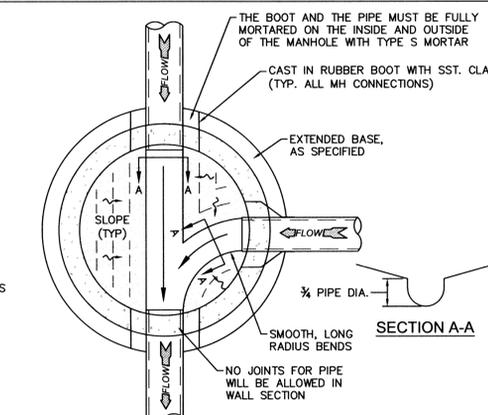
NOTES:
 1. BASED ON 160 PSI TEST PRESSURE AND 2000 PSF SOIL BEARING CAPACITY.
 2. ALL BEARING SURFACES TO BE CARRIED TO UNDISTURBED GROUND.
 3. USE MEG-A-LUG (PREFERRED) IN LIEU OF BLOCKING AND RODDING.

CFPUA STANDARD SEWER DETAILS (DOWNLOADED FROM WWW.CFPUA.ORG ON AUG 04, 2016)



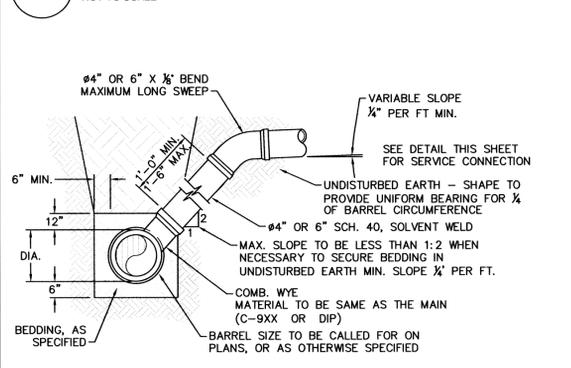
SD-1 PRECAST CONCRETE OFFSET MANHOLE TYPICAL

NOT TO SCALE



SD-5 MANHOLE FLOOR PLAN

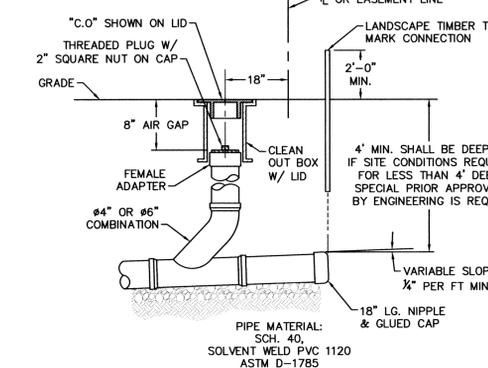
NOT TO SCALE



NOTE: FOR PRIVATE 8" SERVICES, MANHOLES ARE REQUIRED FOR CONNECTION TO SYSTEM AND AT THE PROPERTY LINE, WITH REQUIRED EASEMENT.

SD-10 STANDARD SERVICE LATERAL

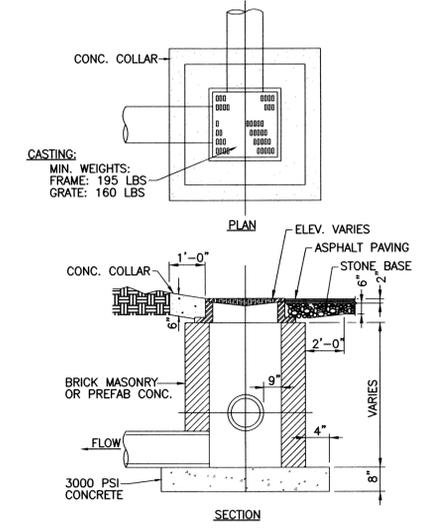
NOT TO SCALE



NOTE: FOR PRIVATE 8" SERVICES, MANHOLES ARE REQUIRED FOR CONNECTION TO SYSTEM AND AT THE PROPERTY LINE, WITH REQUIRED EASEMENT.

SD-11 SERVICE CONNECTION AND CLEAN-OUT

NOT TO SCALE



DROP INLET

SCALE: N.T.S.

Designers Plan Certification:
 I hereby certify that this plan has been prepared in accordance with the latest New Hanover County Ordinances and Storm Water Design Manual.
 Signature: *David E. Casler, P.E.*
 Printed Name and Title: **DAVID E. CASLER, P.E.**
 Date: *08/26/16*
 Registration Number: *11572*

Property Owner's Certification:
 I (we) hereby certify that I (we) am (are) the current owner of the property and that upon receipt of "Authorization-to-Construct" any clearing, grading, construction or development will be performed in accordance with this plan and that the applicable ordinances and rules of New Hanover County, the State of North Carolina and the Federal Government and its agencies which are hereby made part of this plan. As the owner, I (we) accept full responsibility for the construction and operation and maintenance of the proposed facilities. I (we) will not attempt to transfer this responsibility without the written authorization of New Hanover County.
 Signature: _____
 Printed Name and Title: _____
 Date: _____

REVISIONS
 DATE BY COMMENT
 8-28-16 JF GENERAL REVISION

CRISER TROUTMAN TANNER
 CONSULTING ENGINEERS
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 www.cttengineering.com
 Firm License Number: F-0113

CRISER TROUTMAN TANNER

PROJECT: **LANDFALL SPORTS CENTER**

ADDRESS: 1750 DRYSDALE DRIVE
 WILMINGTON, NORTH CAROLINA 28405

DESIGNED BY: DEC
 DRAWN BY: HWL
 QUALITY CONTROL: DEC
 SCALE: NOTED
 FILE NUMBER: 7730.00
 DATE: 08-04-16

CIVIL DETAILS

SHEET NUMBER: **C3**