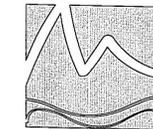


LAKE PARK VILLAGE

LAKE AVENUE & SPIREA DRIVE

WILMINGTON, NC

MULTI-FAMILY TOWNHOMES



MIHALY
LAND DESIGN
PLANNING + LANDSCAPE ARCHITECTURE
330 Military Cutoff Rd., Suite A3
Wilmington, NC 28403 910.392.4355



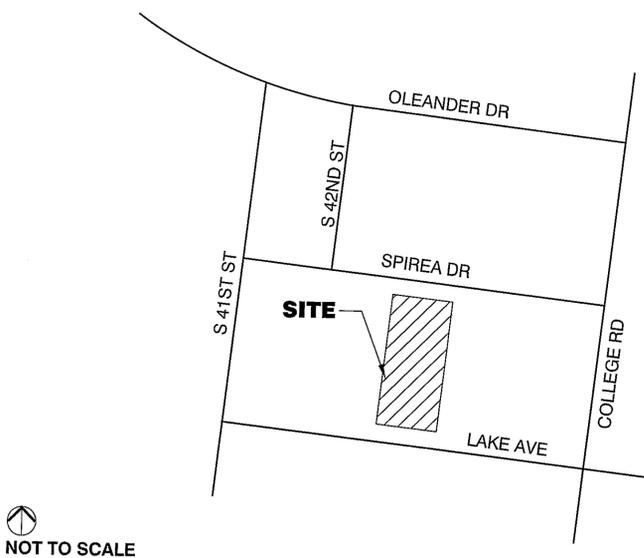
Revisions
1. 07/22/13 - REVISED PLANTING AND PLANT QUANTITIES FOR NEW SIDEWALK AND ROAD ALIGNMENT; REVISED SITE DATA.
2. 7/24/13 - REVISED LANDSCAPE ISLANDS, AREAS SHOWN.
3. 1/10/14 - REVISED PATIO SPACES, PLANTING.
4. 1/27/14 - REVISED MAIL BOX SIZE.
5. 2/4/14 - REVISED PATIOS TO FIT WITHIN BUFFER.
6. 3.21.2014 - MADE ADDITIONAL REVISIONS PER CITY COMMENTS.

LEGEND

Ø	DIAMETER	(33.60)	EXISTING SPOT ELEVATION
FF	FINISH FLOOR ELEVATION	33.60	PROPOSED SPOT ELEVATION
GF	GARAGE FLOOR ELEVATION	HT	HEIGHT
PE	PAD ELEVATION	BCR	BEGINNING OF CURB RADIUS
TW	TOP OF WALL	ECR	END OF CURB RADIUS
TF	TOP OF FOOTING ELEVATION	TC	TOP OF CURB
BW	BOTTOM OF WALL	BC	BOTTOM OF CURB
TS	TOP OF STEP	EJ	EXPANSION JOINT
BS	BOTTOM OF STEP	SJ	SCORE JOINT
CB	CATCH BASIN	SC	SAW CUT
FG	FINISH GRADE	R	RADIUS
FS	FINISH SURFACE	RDWD	REDWOOD
HP	HIGH POINT	HDR	HEADER
LP	LOW POINT	LA	LANDSCAPE ARCHITECT
FL	FLOW LINE	MIN	MINIMUM
OC	ON CENTER	MAX	MAXIMUM
CB	CATCH BASIN	MJ	MASTIC JOINT
TG	TOP OF GRATE ELEVATION	TYP	TYPICAL
INV	INVERT ELEVATION	PA	PLANTING AREA
BB	BOND BEAM ELEVATION		

	ALIGN		DRAINAGE PIPE
1.0%	GRADIENT IN PERCENTAGE		ATRIUM DRAIN
4:1	RATIO: 4' HORIZONTAL DISTANCE PER 1' OF VERTICAL HEIGHT		DECK DRAIN
	RIDGE		TURF DRAIN
	GRADE BREAK		PROPOSED CONTOUR
	DIRECTION OF FLOW		EXISTING CONTOUR
			BERM - BUILT-UP LANDSCAPE GRADE

VICINITY MAP



SHEET INDEX

SHEET NO.	SHEET DESCRIPTION
L1.0	TITLE SHEET
L1.1	OPEN SPACE PLAN
L2.1	LANDSCAPE PLAN
L2.2	LANDSCAPE PLAN
L3.1	CONSTRUCTION LAYOUT PLAN
L3.2	CONSTRUCTION DETAILS
L3.3	CONSTRUCTION DETAILS

REVISIONS

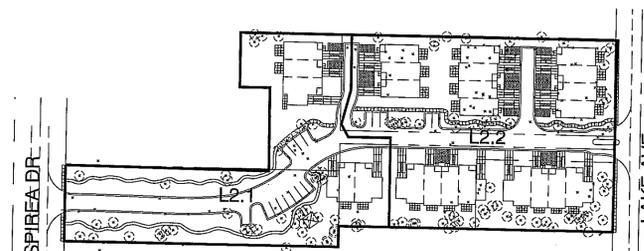
REV.	SHEET	DESCRIPTION	DATE	BY
△				
△				
△				
△				
△				

SUBMITTED FOR APPROVAL _____ DATE _____
 APPROVED _____ DATE _____
 BID SET ISSUED _____ DATE _____
 CONSTRUCTION SET ISSUED _____ DATE _____

CONSULTANTS

LANDSCAPE ARCHITECT
 MIHALY LAND DESIGN, PLLC
 330 MILITARY CUTOFF ROAD, SUITE A-3
 WILMINGTON, NC 28405
 PHONE: 910.392.4355
 FAX: 910.791.9131
 CONTACT: JOSH MIHALY

SHEET LOCATION MAP



NORTH CAROLINA STATE LAW REQUIRES ANYONE PERFORMING EXCAVATION TO FIRST CALL THE STATEWIDE NOTIFICATION CENTERS NUMBER BEFORE DIGGING. CALLERS MUST THEN WAIT 48 HOURS WHILE UTILITIES LOCATES AND MARK THEIR UNDERGROUND FACILITIES. BEFORE EXCAVATING, DIAL NORTH CAROLINA ONE CALL. 1-800-632-4949

RECEIVED
MAR 31 2014
PLANNING DIVISION

CLIENT

Center 206 LLC
 6258 Ingleside Drive
 Wilmington, NC 28409
 PHONE: 910.297.8414
 CONTACT: Brooke Richardson

PROJECT

Lake Park Village
 4317, 4319, 4321 & 4329 Lake Avenue
 & 4312 Spirea Drive, Wilmington, NC
 Multi-Family Townhomes

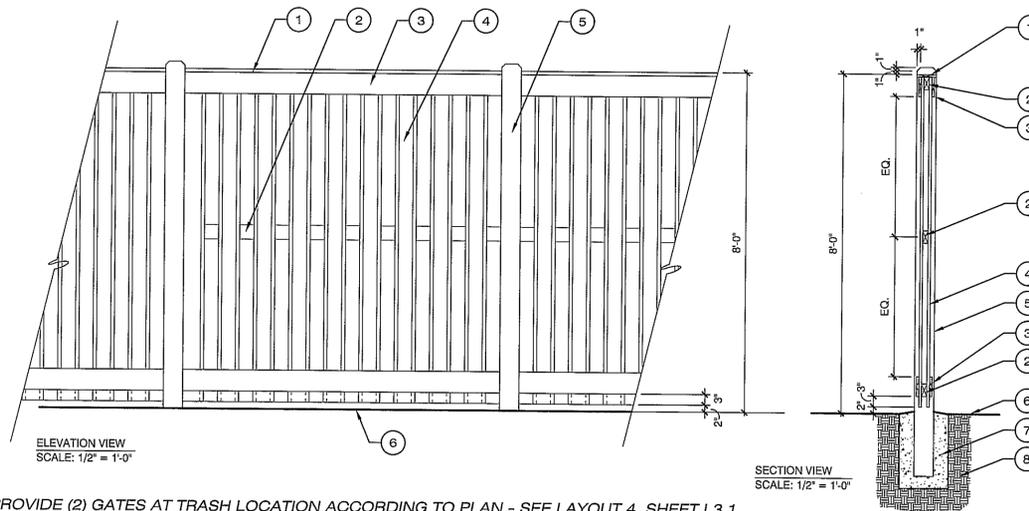
Date: 12.20.2013
 Phase: CONSTRUCTION
 Job Number: 100-440
 Designed by: MLD
 Drawn by: AK/JC
 Checked by: MLD
 Sheet Title:

TITLE SHEET

Sheet Number

L1.0
of 7 sheets

8' BOARD-ON-BOARD PRIVACY FENCE



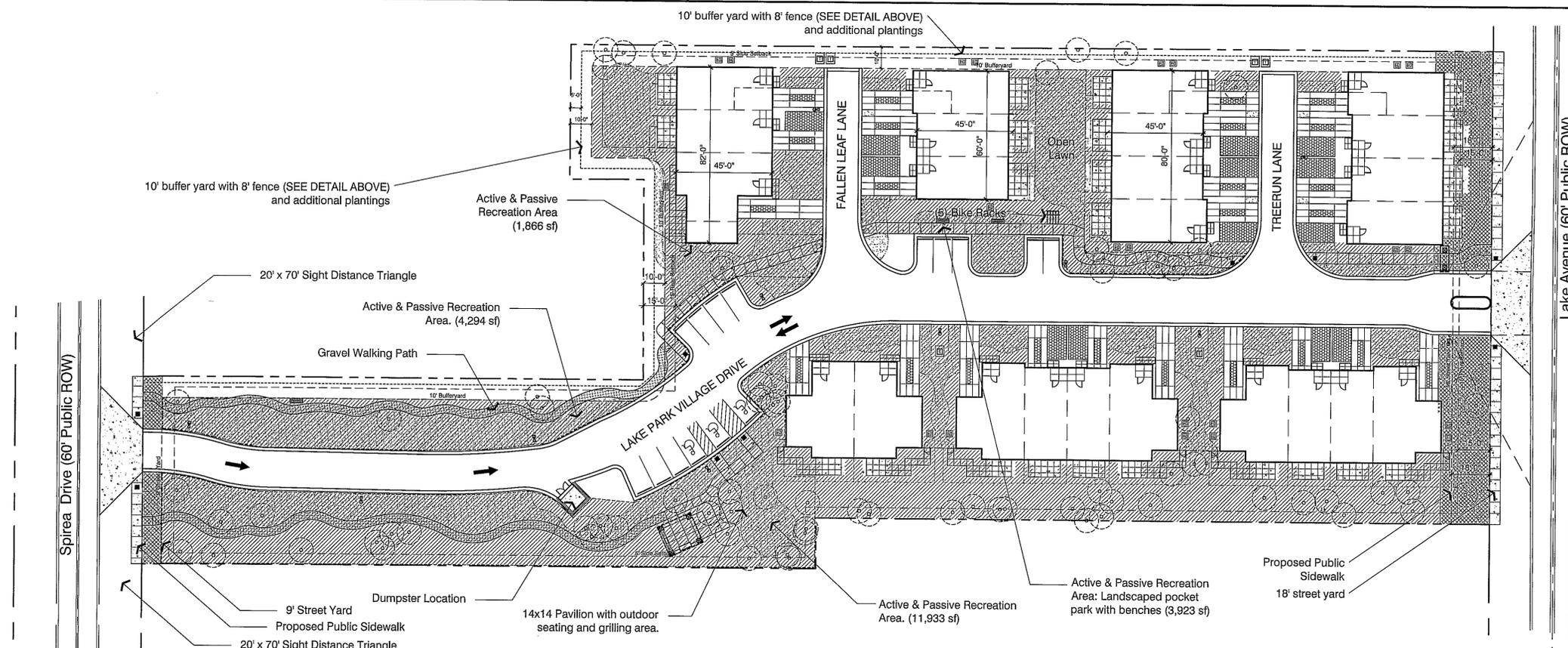
LEGEND

- 1. 1 x 6 TOP PLATE
- 2. 2 x 4 STRINGER
- 3. 1 x 6 STRINGER
- 4. 1 x 6 VERTICAL BOARDS - 1" OVERLAP
- 5. 6 x 6 POSTS AT 8'-0" O.C.
- 6. FINISH GRADE
- 7. CONCRETE FOOTING
- 8. COMPACTED SUBGRADE

NOTES:

- ALL CONNECTORS, FASTENERS AND OTHER HARDWARE SHALL BE HOT DIPPED GALVANIZED.
- FINISHED SIDE OF FENCE SHALL BE FACING OUT TOWARDS DEVELOPMENT.

*PROVIDE (2) GATES AT TRASH LOCATION ACCORDING TO PLAN - SEE LAYOUT 4, SHEET L3.1



OPEN SPACE REQUIREMENTS

	REQUIRED	PROVIDED
35% OF TRACT ACTIVE or PASSIVE RECREATION AREAS	.80 AC. (39,182 SF) 19,591 SF	.94 AC. (40,830 SF) 22,016 SF

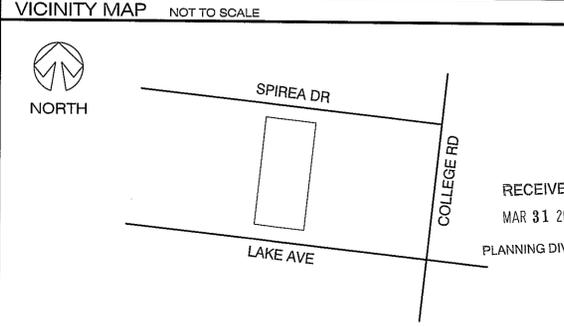
GENERAL NOTES

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11. TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
12. NO EXISTING DRIVEWAYS ARE TO BE CLOSED.
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23. REGULATED AND SIGNIFICANT TREES IN THE STREET YARD AND ANY TREES IN ANY REQUIRED BUFFERS ARE REQUIRED TO BE RETAINED.
24. ANY GROUND LEVEL MECHANICAL EQUIPMENT TO BE SCREENED AS NECESSARY.

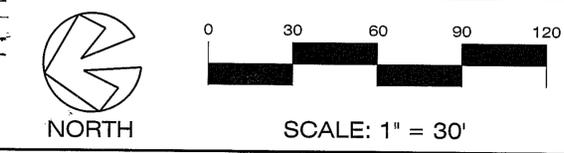
SYMBOL LEGEND

- STREET YARD AREA
- OPEN SPACE
- ACTIVE & PASSIVE RECREATION AREAS
- PROPOSED 8' PRIVACY FENCE
- EXISTING TREE TO REMAIN

VICINITY MAP NOT TO SCALE



APPROVED LANDSCAPE PLAN
 Signature: *David M. Drotter*
 Date: 4/8/2014



MIHALY
 LAND DESIGN
 PLANNING + LANDSCAPE ARCHITECTURE
 330 Military Cutoff Rd. Suite A3
 Wilmington, NC 28403 910.392.4355

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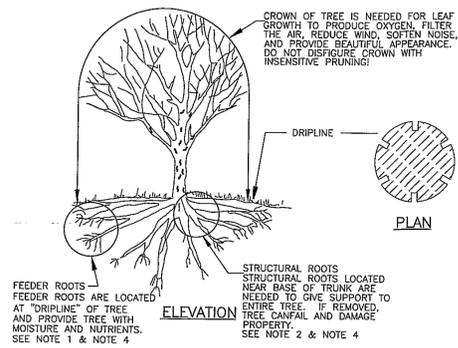
PROJECT
Lake Park Village
 4317, 4319, 4321 & 4329 Lake Avenue
 & 4312 Spirea Drive, Wilmington, NC
 Multi-Family Townhomes

Date: 12.20.2013
 Phase: CONSTRUCTION
 Job Number: 100-440
 Designed by: MLD
 Drawn by: MWL
 Checked by: JWM

Sheet Title:
 OPEN SPACE PLAN

Sheet Number
L1.1
 of 7 sheets

TREE PROTECTION DETAIL SD 15-09

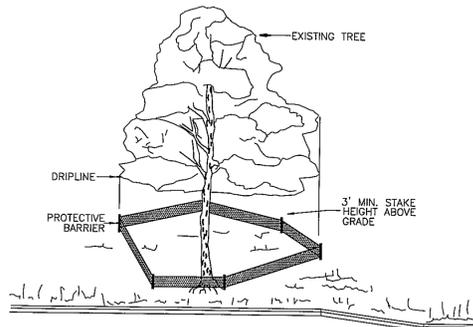


TREE PROTECTION DURING CONSTRUCTION

- DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO HEAVY MATERIALS SHALL BE STORED BENEATH TREES. RESULTS OF COMPACTED SOIL, WATER AND AIR NOT TO REACH THE ROOTS AND THE TREE WILL DIE. THESE FEEDING ROOTS OCCUR WELL AWAY FROM THE BASE OF THE TREE TO THE EDGE OF THE OVERHEAD BRANCH CANOPY. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. PROTECTIVE BARRIER SHOULD PREVENT DAMAGE FROM OCCURRING DURING CONSTRUCTION.
- NO CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK. THESE ARE ESSENTIAL IN SUPPORTING THE TREE AND HOLDING IT UPRIGHT IN HIGH WINDS. REMOVAL OF THESE ROOTS ALONG ONE SIDE IS OFTEN DONE BECAUSE OF A WALK, PAVING OR BUILDING WHICH IS BEING CONSTRUCTED.
- AVOID CUT AND FILL WITHIN DIAMETER OF TREE CROWN DURING EXCAVATION.

METHOD OF TREE PROTECTION DURING CONSTRUCTION
SD 15-09
NOT TO SCALE

TREE PROTECTION DETAIL SD 15-08



NOTE:
TREES TO BE SAVED WILL BE CLEARLY MARKED PRIOR TO CONSTRUCTION AND A PROTECTIVE BARRIER IS TO BE INSTALLED AT THE DRIPLINE - THE AREA OF SOIL DIRECTLY BENEATH THE TREE EXTENDING OUT TO THE TIPS OF THE OUTERMOST BRANCHES.

METHOD OF TREE PROTECTION DURING CONSTRUCTION
SD 15-08
NOT TO SCALE

TREE REMOVAL AND MITIGATION

SIGNIFICANT TREES TO BE REMOVED

QUANT.	SIZE	COMMON NAME	%MITIGATION
1	24"	OAK / OTHER HARDWOOD	100% =24
1	26"	OAK / OTHER HARDWOOD	100% =26
1	30"	OAK / OTHER HARDWOOD	100% =30
1	24"	PINE / OTHER CONIFER	100% =24
2	9"	MAGNOLIA / OTHER FLOWERING	100% =9
1	17"	MAGNOLIA / OTHER FLOWERING	100% =17
TOTAL:			130"

TOTAL MITIGATION REQUIRED: 130" x 2 = 260" / 3 = 87 TREES

PROPOSED TREES TO BE PLANTED (OUTSIDE BUFFER / STREET YARD)

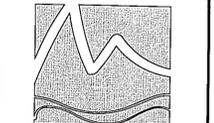
QUANT.	SIZE	COMMON NAME	CREDITS
29	2.5-3"	CHINESE ELM	29
27	2-2.5"	CRAPE MYRTLE	27
18	2-2.5"	FLOWERING CHERRY	18
TOTAL:			74 CREDITS

EXISTING RETAINED TREES TO COUNT TOWARDS MITIGATION (OUTSIDE BUFFER / STREET YARD)

QUANT.	SIZE	COMMON NAME	CREDITS
8	6-11"	OAK / OTHER HARDWOOD	8x2=16
5	12-17"	OAK / OTHER HARDWOOD	5x3=15
3	18-23"	OAK / OTHER HARDWOOD	3x4=12
1	25"	OAK / OTHER HARDWOOD	25/6=4
1	30"	OAK / OTHER HARDWOOD	30/6=5
1	31"	OAK / OTHER HARDWOOD	31/6=5
1	42"	OAK / OTHER HARDWOOD	42/6=7
21	12-17"	PINE / OTHER CONIFER	21x3=63
4	18-23"	PINE / OTHER CONIFER	4x4=16
3	2-5"	MAGNOLIA / OTHER FLOWERING	3
7	6-11"	MAGNOLIA / OTHER FLOWERING	7x2=14
1	24"	MAGNOLIA / OTHER FLOWERING	24/6=4
TOTAL:			164 CREDITS

TREE MITIGATION CALCULATIONS (TOTAL)

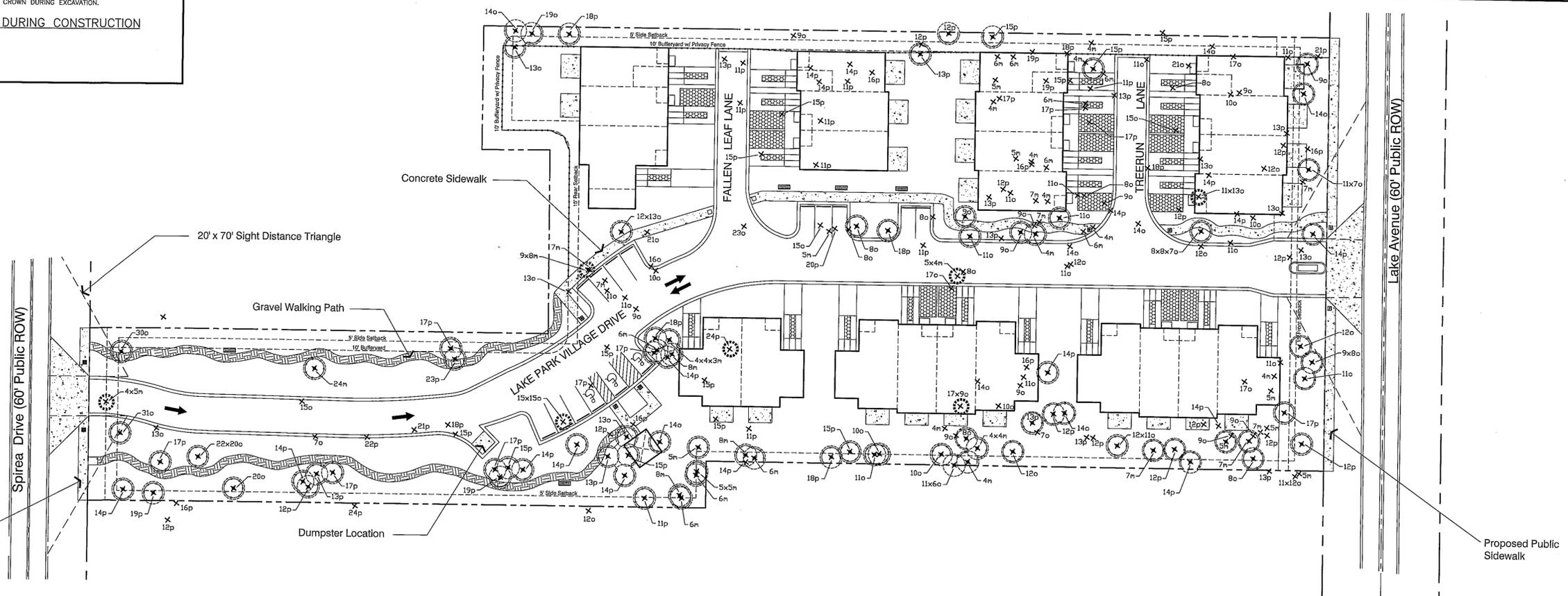
REQUIRED MITIGATION: 87 TREES
TOTAL CREDIT FOR RETAINED TREES AND TREES TO BE PLANTED: 238 CREDITS



MIHALY
LAND DESIGN
PLANNING + LANDSCAPE ARCHITECTURE
330 Military Cutoff Rd. Suite A3
Wilmington, NC 28403 910.392.4355



Revisions



SITE DATA

ADDRESS: 4317, 4319, 4321 & 4329 Lake Avenue
4310 Spirea Drive
OWNER: Center 206 LLC
6258 Ingleside Dr., Wilmington, NC 28409
PARCEL ID: R06106-006-042-000, R06106-006-005-001
R06106-006-005-000, R06106-006-043-000
R06106-006-006-000
TOTAL PROJECT AREA: 112,171 SF (2.57 AC)

LANDSCAPE REQUIREMENTS

	REQUIRED	PROVIDED
BUFFER YARD (ABUTTING RESIDENTIAL)	20'	10' (with Fence)
TREES @ 15 PER ACRE DISTURBED	39	115

GENERAL NOTES

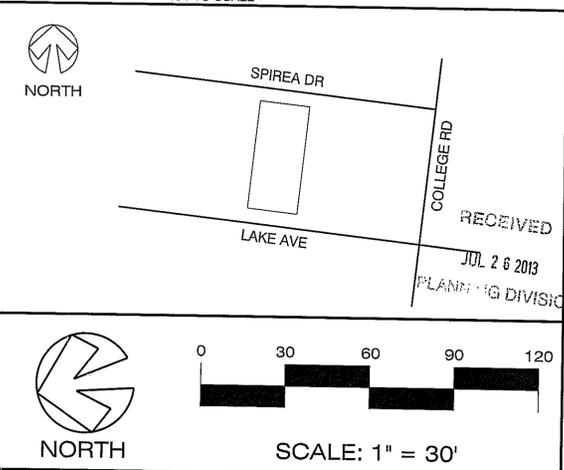
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SYMBOL LEGEND

- EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - EXISTING SIGNIFICANT TREE TO BE REMOVED
 - TREE PROTECTION FENCE
- EXISTING TREE LEGEND (AS SURVEYED BY GARY W. KEYS LAND SURVEYING, DATED 07/04/12):
- o OAK OR OTHER HARDWOOD
 - m MAGNOLIA OR OTHER FLOWERING
 - p PINE OR OTHER CONIFER

APPROVED LANDSCAPE PLAN
Signature: Dawn M. Bradley
Date: 4/18/2011

VICINITY MAP



CLIENT

Center 206 LLC
6258 Ingleside Drive
Wilmington, NC 28409
PHONE: 910.297.8414
CONTACT: Brooke Richardson

PROJECT

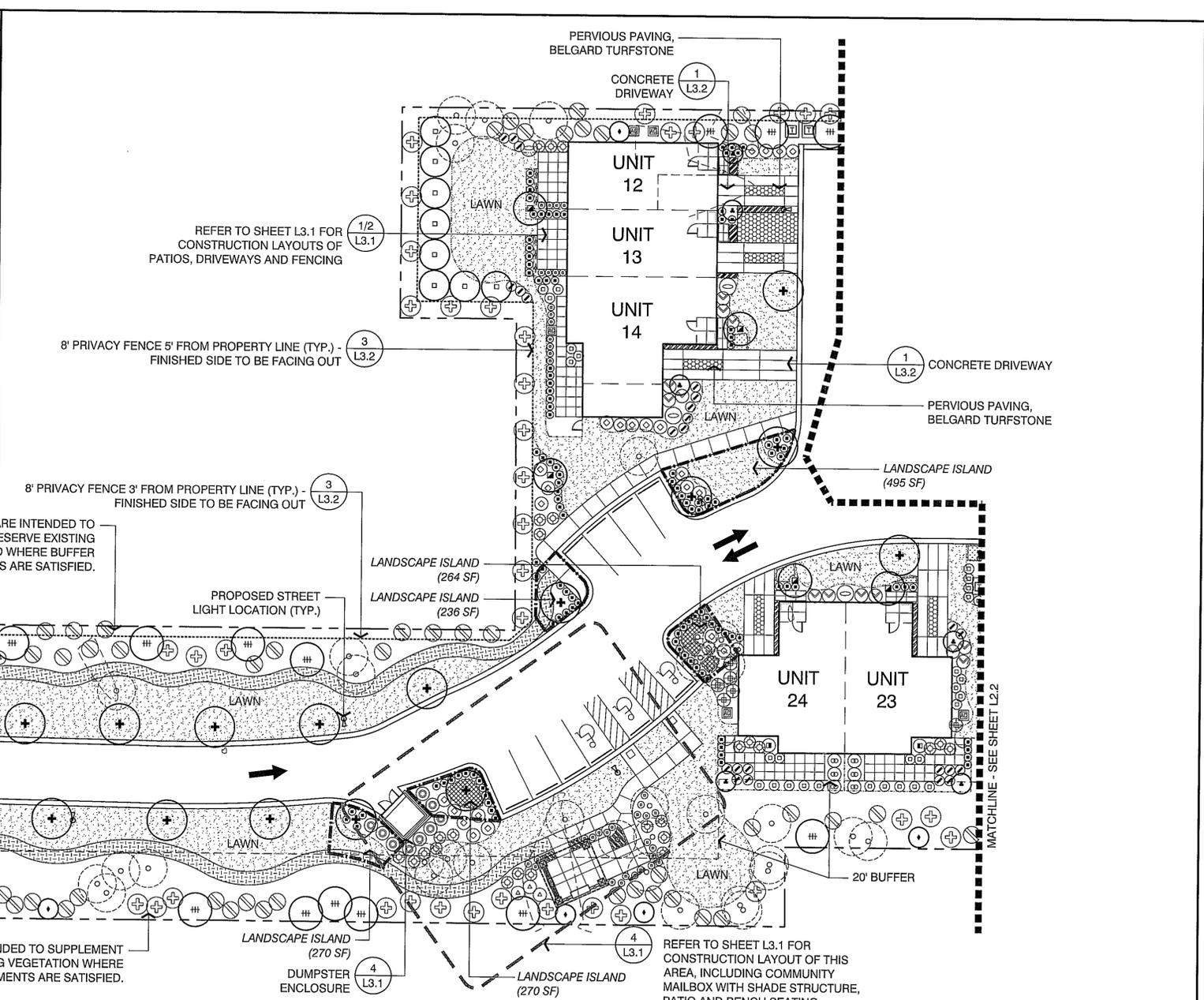
Lake Park Village
4317, 4319, 4321 & 4329 Lake Avenue
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Multi-Family Townhomes

Date: 07.23.2013
Phase: 000
Job Number: 100-440
Designed by: MLD
Drawn by: MWL
Checked by: JWM
Sheet Title: TREE PROTECTION & REMOVAL PLAN

Sheet Number
L1.2
of 4 sheets

SITE DATA		
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PARCEL ID:	R06106-006-042-000, R06106-006-005-001 R06106-006-005-000, R06106-006-043-000 R06106-006-006-000	
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	REQUIRED	PROVIDED
35% OF TRACT ACTIVE or PASSIVE RECREATION AREAS	.90 AC. (39,182 SF) 19,591 SF	.94 AC. (40,830 SF) 22,016 SF
LANDSCAPE REQUIREMENTS		
	REQUIRED	PROVIDED
STREET YARD		
PRIMARY STREET YARD (Lake Avenue) (220 - 24)	3,528 SF (196 LF X 18)	3834 SF
TREES @ 1/ 600 SF	7	17
SHRUBS @ 6/ 600 SF	39	106
SECONDARY STREET YARD (Spirea Drive)	603 SF (67 X 9)	629 SF
TREES @ 1/ 600 SF	1	2
SHRUBS @ 6/ 600 SF	6	8
FOUNDATION PLANTING (FACING PARKING/DRIVEWAYS)	12% FACADE AREA	12%
BUFFER YARD (ABUTTING RESIDENTIAL)	20'	10' (with Fence)
TREES @ 15 PER ACRE DISTURBED	39	139
* EXISTING TREES USED TO SATISFY STREET YARD REQUIREMENTS		

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PLANTING LEGEND

TREES			
SYMBOL	BOTANICAL / COMMON NAME	SIZE	QUANTITY
+	ILEX x NELLIE R. STEVENS NELLIE STEVENS HOLLY	25 GAL 6-7' HT	5
□	JUNIPERUS VIRGINIANA EASTERN RED CEDAR	25 GAL 7-8' HT	8
▲	LAGERSTROEMIA L. 'APALACHEE' APALACHEE GRAPE MYRTLE	15 GAL 8-10' HT	6
##	MAGNOLIA G. 'D.D. BLANCHARD' SOUTHERN MAGNOLIA	B&B 7-8'	19
■	PRUNUS YEDOENSIS FLOWERING CHERRY	25 GAL 6-7' HT	6
+	ULMUS PARVIFOLIA 'FRONTIER' CHINESE ELM	3-3.5' CAL 10' HT	19
○	EXISTING TREE TO REMAIN		

SHRUBS			
SYMBOL	BOTANICAL / COMMON NAME	SIZE / SPACING	QUANTITY
⊙	AZALEA 'FORMOSA' SOUTHERN INDICA HYBRID	3 GAL 15-18" HT	25
⊙	BUXUS M. 'WINTER GEM' WINTER GEM BOXWOOD	3 GAL 12-15" HT	135
⊙	CAMELLIA S. 'YULETIDE' SASANQUA CAMELLIA	7 GAL 3-4' HT	2
⊙	CLEYERA JAPONICA JAPANESE CLEYERA	3 GAL 30-36" HT	9
⊙	CYRTOMIUM FALCATUM HOLLY FERN	3 GAL 12-15" HT	38
⊙	FATSIA JAPONICA JAPANESE ARALIA	3 GAL 30-36" HT	6
⊙	ILEX VOMITORIA YAUPOH HOLLY	7 GAL 3-4' HT	58
⊙	LIGUSTRUM J. 'RECURVIFOLIUM' CURLY LEAF LIGUSTRUM	3 GAL 30-36" HT	6
⊙	MISCANTHUS SINENSIS 'ADAGIO' DWARF MAIDEN GRASS	3 GAL 12-15" HT	24
⊙	MYRICA CERIFERA (TREE FORM) WAX MYRTLE	7 GAL 3-4' HT	40
⊙	NANDINA DOMESTICA NANDINA	3 GAL 18-24" HT	30
⊙	OSMANTHUS FRAGRANS TEA OLIVE	7 GAL 3-4' HT	4
⊙	PITTIOSPORUM TOBIRA 'VARIEGATA' VARIEGATED PITTIOSPORUM	3 GAL 18-24" HT	13
⊙	PODOCARPUS M. 'MAKI' SOUTHERN YEW	7 GAL 3-4' HT	7
⊙	RHAPHIOLEPSIS 'MAJESTIC BEAUTY' MAJESTIC BEAUTY HAWTHORN	3 GAL 18-24" HT	24

VINES AND GROUNDCOVER			
SYMBOL	BOTANICAL / COMMON NAME	SIZE / SPACING	QUANTITY
■	ASPIDISTRA ELATIOR CAST IRON PLANT	1 GAL	5 SF
■	HEMEROCALLIS x 'HAPPY RETURNS' DAYLILY	1 GAL	150 SF
■	TRACHELOSPERMUM ASIATICUM ASIAN JASMINE	1 GAL	130 SF
■	TRACHELOSPERMUM JASMINOIDES CONFEDERATE JASMINE	1 GAL	8
■	OPHIPOGON JAPONICA MONDO GRASS	4" POT	145 SF
■	SOD LAWN		SEE PLAN
■	PERVIOUS PAVING		
■	MULCH PATH		

SYMBOL LEGEND

■	HVAC UNITS
---	PATIO FENCE
---	PRIVACY FENCE
---	METAL HANDRAIL
⊕	STREET LIGHTS
⊕	TRANSFORMER
■	LANDSCAPE ISLAND

CONTEXT MAP NOT TO SCALE

APPROVED LANDSCAPE PLAN
Signature: [Signature]
Date: 4/8/2014
RECEIVED
MAR 31 2014
PLANNING DIVISION

SCALE: 1" = 20'

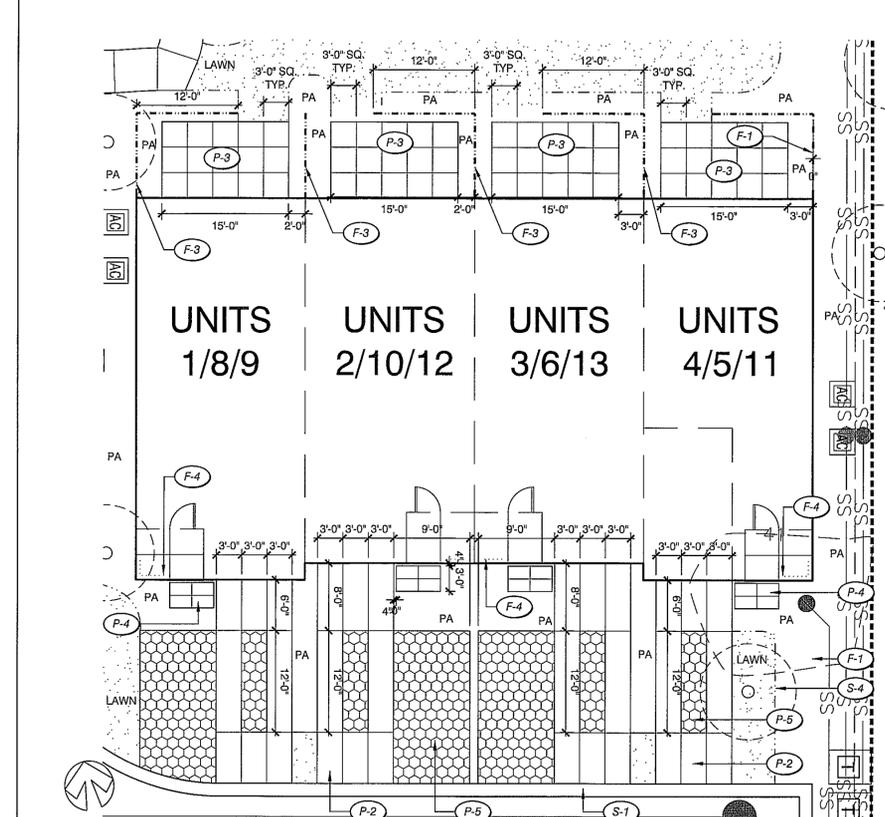
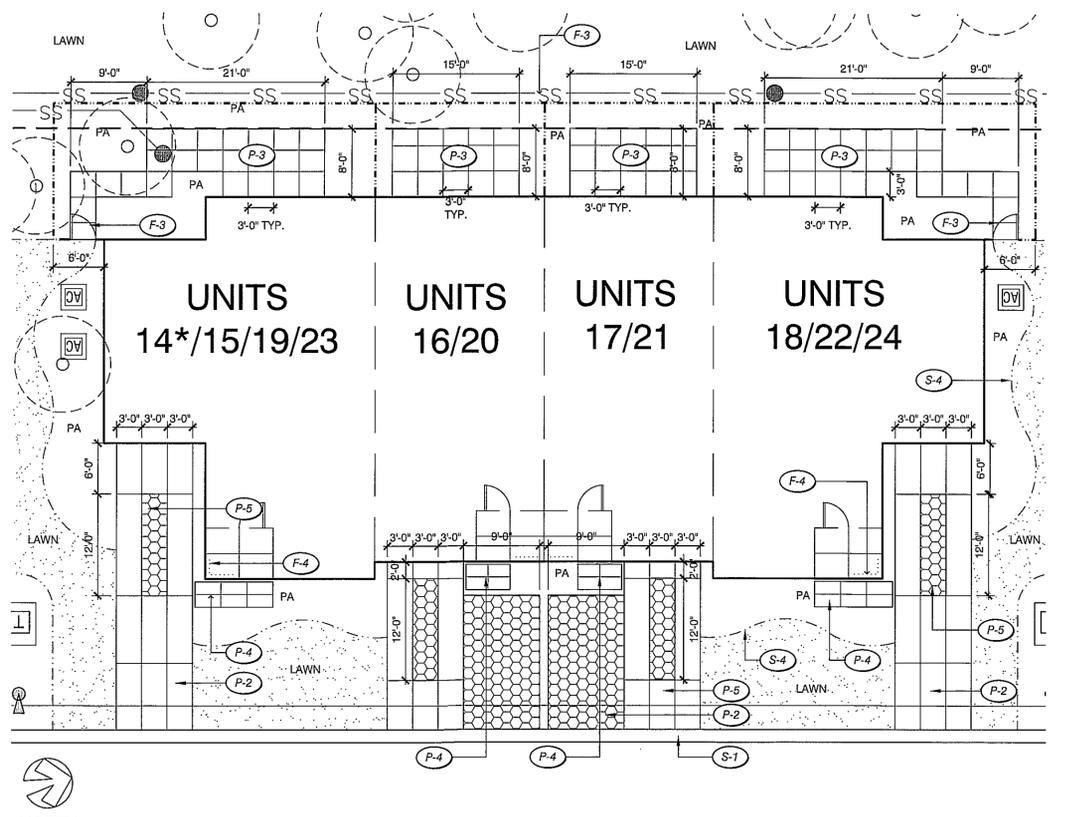
MIHALY LAND DESIGN
PLANNING + LANDSCAPE ARCHITECTURE
330 Military Cutoff Rd. Suite A3
Wilmington, NC 28403 910.392.4355

Revisions
1. 07/22/13 - REVISED PLANTING AND PLANT QUANTITIES FOR NEW SIDEWALK AND ROAD ALIGNMENT; REVISED SITE DATA.
2. 7/24/13 - REVISED LANDSCAPE ISLANDS, AREAS SHOWN.
3. 1/10/14 - REVISED PATIO SPACES, PLANTING.
4. 1/27/14 - REVISED MAIL BOX SIZE.
5. 2/4/14 - REVISED PATIOS TO FIT WITHIN BUFFER.
6. 3.21.2014 - MADE ADDITIONAL REVISIONS PER CITY COMMENTS.

CLIENT
Center 206 LLC
6258 Ingleside Drive
Wilmington, NC 28409
PHONE: 910.297.8414
CONTACT: Brooke Richardson

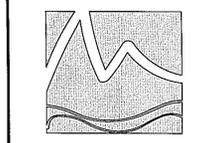
PROJECT
Lake Park Village
4317, 4319, 4321 & 4329 Lake Avenue
& 4312 Spirea Drive, Wilmington, NC
Multi-Family Townhomes

Date: 12.20.2013
Phase: CONSTRUCTION
Job Number: 100-440
Designed by: MLD
Drawn by: ALK
Checked by: JWM
Sheet Title: LANDSCAPE PLAN
Sheet Number: L2.1 of 6 sheets

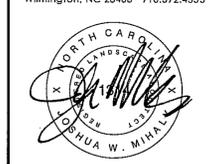


FINISH SCHEDULE

SYMBOL	DESCRIPTION	DETAIL	SHEET
SITE			
S-1	CONCRETE CURB - REFER TO CIVIL ENGINEER'S PLAN		
S-2	CONCRETE WHEELSTOP - REFER TO CIVIL ENGINEER'S PLAN		
S-3	DRIVEWAY APRON - REFER TO CIVIL ENGINEER'S PLAN		
S-4	SHOVEL CUT TURF EDGE		
S-5	MULCH PATH	2	L3.2
S-6	SIGHT TRIANGLE		
S-7	STREET LIGHT		
PAVING			
P-1	CONCRETE SIDEWALK COLOR: NATURAL GRAY FINISH: LIGHT BROOM	1	L3.2
P-2	CONCRETE DRIVEWAY COLOR: NATURAL GRAY FINISH: LIGHT BROOM	1	L3.2
P-3	CONCRETE PATIO COLOR: NATURAL GRAY FINISH: LIGHT BROOM	1	L3.2
P-4	CONCRETE STEP PAD COLOR: NATURAL GRAY FINISH: LIGHT BROOM	1	L3.2
P-5	PERVIOUS CONCRETE MODEL: BELGARD TURFSTONE INSTALL PER MANUFACTURER'S RECOMMENDATIONS		
FENCING			
F-1	8' PRIVACY FENCE	3	L3.2
F-2	4'-8" PATIO FENCE	6	L3.2
F-3	3'-8" PATIO FENCE & GATE	5/6	L3.2
F-4	TUBULAR STEEL FRONT PORCH FENCE	4	L3.2
F-5	TRASH ENCLOSURE	3	L3.2
MASONRY			
M-1	EYEBROW TRELLIS	2	L3.3
M-2	COMMUNITY MAILBOX AREA W/ SHADE STRUCTURE AND BENCH SEATING	1	L3.3



MIHALY
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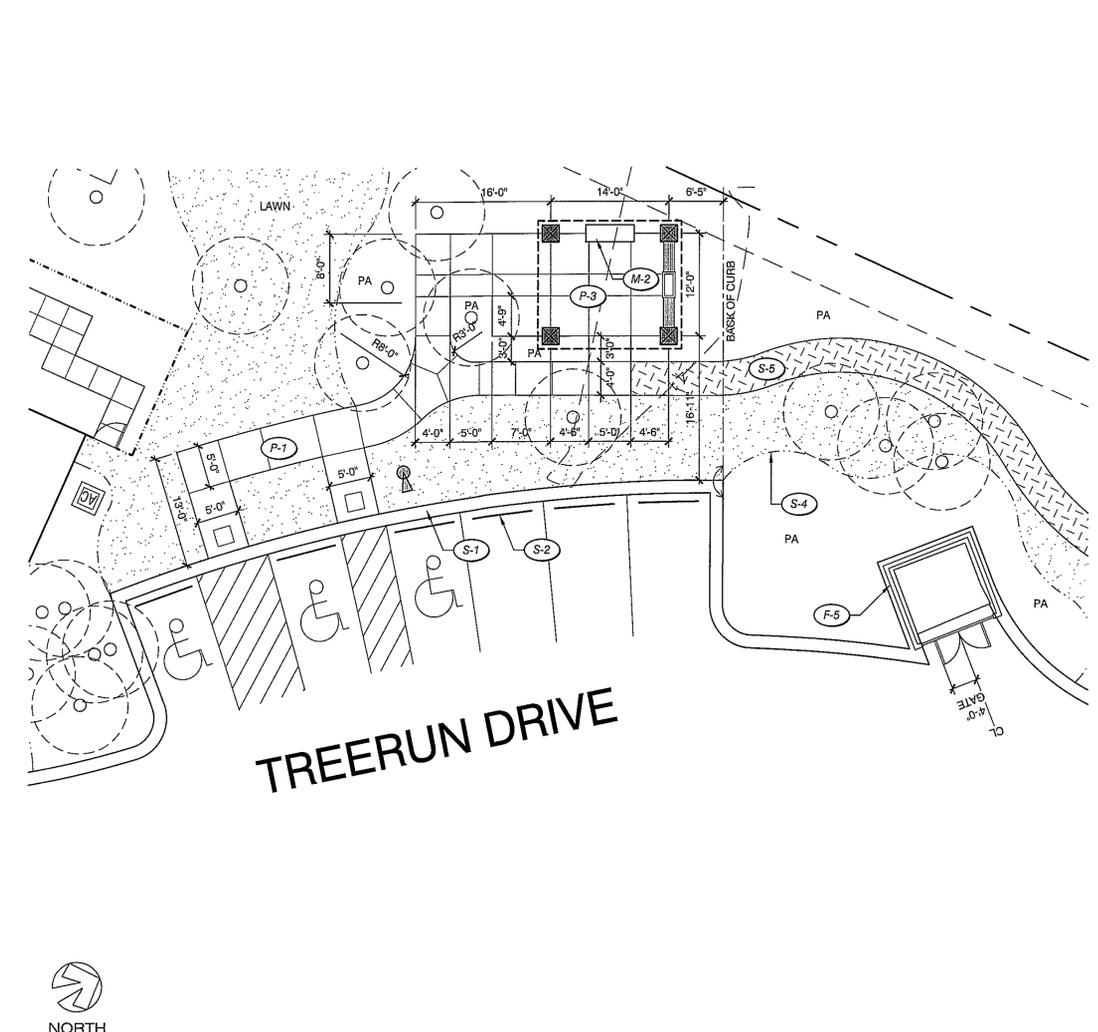
Date: 12.20.2013
Phase: CONSTRUCTION
Job Number: 100-440
Designed by: MLD
Drawn by: JRC
Checked by: JWM
Sheet Title: CONSTRUCTION LAYOUT PLAN
Sheet Number: **L3.1**
of 7 sheets

*REFER TO LANDSCAPE PLAN, SHEET L2.2, FOR ADDITIONAL DIMENSIONING OF THIS UNIT

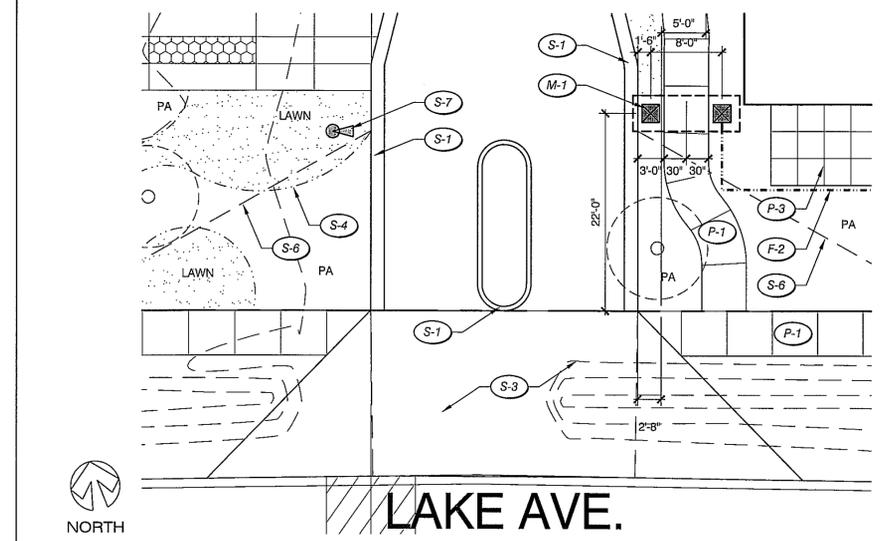
*REFER TO LANDSCAPE PLAN, SHEET L2.2, FOR ADDITIONAL DIMENSIONING OF THIS UNIT

2 TYPICAL DRIVEWAY, PATIO AND FENCING LAYOUTS

1 TYPICAL DRIVEWAY, PATIO AND FENCING LAYOUTS



4 COMMUNITY MAILBOX AREA WITH SHADE STRUCTURE, PATIO & BENCH SEATING



3 LAKE AVENUE ENTRANCE

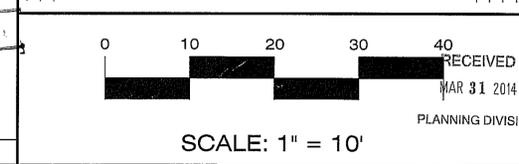
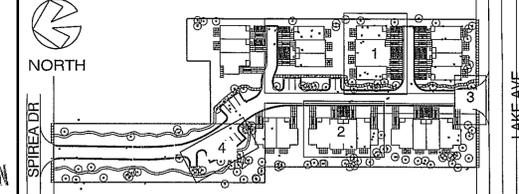
SYMBOL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
PA	PLANTING AREA	CL	CENTER LINE
BOC	BACK OF CURB	AL	ALIGN
EJ	EXPANSION JOINT	M-1	CALL OUT

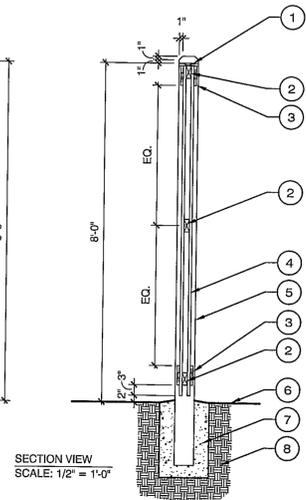
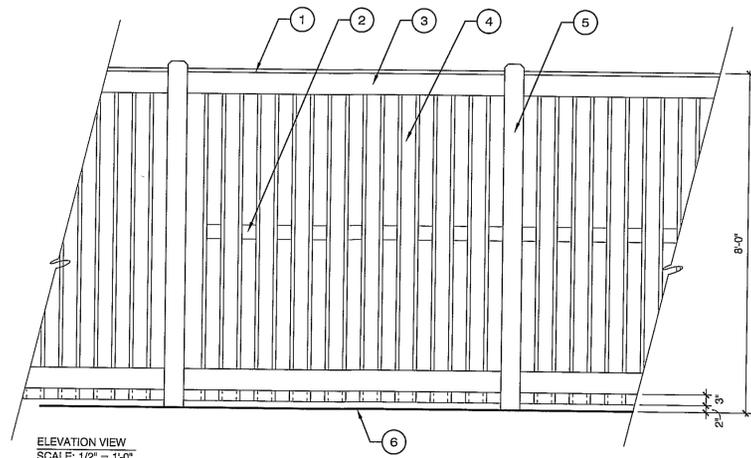
GENERAL CONSTRUCTION NOTES

- SCOPE OF WORK: THE GENERAL SCOPE OF WORK INCLUDES, BUT IS NOT LIMITED TO, ALL LABOR, EQUIPMENT, AND MATERIALS FOR THE CONSTRUCTION OF ALL EXTERNAL LANDSCAPE ARCHITECTURAL HARDSCAPE AND SOFTSCAPE ELEMENTS AS PER PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS, DISTANCES, AND CONDITIONS PRIOR TO STARTING WORK. ANY DISCREPANCIES SHALL BE PROMPTLY REPORTED TO THE LANDSCAPE ARCHITECT.
- ALL WORK SHALL COMPLY TO THE NATIONAL BUILDING CODE, LATEST EDITION, AS ADOPTED BY THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL OBSERVE AND COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS REQUIRED FOR THE PROTECTION OF PUBLIC HEALTH, SAFETY, AND ENVIRONMENTAL QUALITY.
- PLUS/ MINUS DIMENSIONS MAY BE GIVEN FOR IMPROVEMENTS THAT MAY VARY SLIGHTLY. ALL OTHER DIMENSIONS ARE EXACT. CONTRACTOR TO STAKE PROPOSED WORK PRIOR TO CONSTRUCTION FOR OWNER AND LANDSCAPE ARCHITECT TO REVIEW.
- ANY CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONSTRUCTION DRAWING AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK SO INVOLVED.
- WHEN APPLICABLE, THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL, ELECTRICAL, CIVIL AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION AND SHALL COORDINATE WITH ALL OTHER TRADES TO ENSURE INTEGRITY OF WORK.
- PAVING CONTRACTOR SHALL COORDINATE WITH DRAINAGE CONTRACTOR, IRRIGATION CONTRACTOR AND ELECTRICIAN TO ENSURE THAT ALL SLEEVES AND CROSSINGS ARE PROVIDED PRIOR TO PLACING OF PAVING, CONCRETE, ETC.
- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO BEGINNING ANY WORK AND CONTACT LANDSCAPE ARCHITECT FOR AUTHORIZATION IF MODIFICATIONS ARE NECESSARY.
- VERIFY WITH THE PROJECT SOILS ENGINEER THE NEED FOR REINFORCING, BASE MATERIALS, PRESATURATION, ETC., FOR WALKS, PATIOS, FOOTINGS, ETC.
- EXPANSION JOINTS OCCUR AT BOTTOM OF STEPS. CHANGE IN DIRECTION OF CONCRETE WALKS, ADJACENT TO BUILDINGS AND WHERE NEW CONCRETE PAVING ADJUTS EXISTING SIDEWALKS AND/OR CURBS. THE RECOMMENDED SPACING FOR EXPANSION JOINTS IN WALKS IS 16'-0" O.C. FOR CONTINUOUS WALKS UNLESS OTHERWISE RECOMMENDED BY SOILS ENGINEER.
- SCORE JOINTS OCCUR WHERE SHOWN ON PLAN AND AS NECESSARY TO MINIMIZE AND CONTROL CRACKING OF CONCRETE PAVING.

CONTEXT MAP NOT TO SCALE



APPROVED LANDSCAPE PLAN
Dawn M. Draper
Signature
4/8/2014
Date



LEGEND

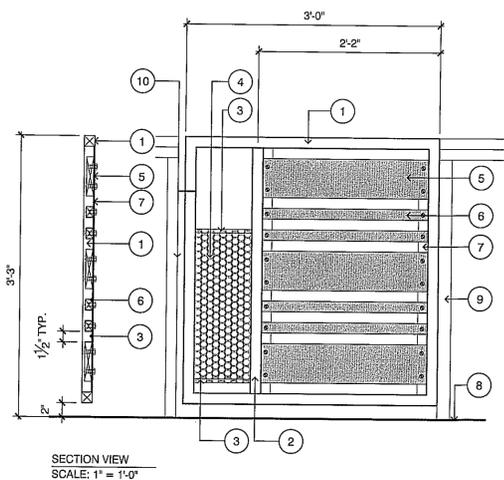
1. 1 x 6 TOP PLATE
2. 2 x 4 STRINGER
3. 1 x 6 STRINGER
4. 1 x 6 VERTICAL BOARDS - 1" OVERLAP
5. 6 x 6 POSTS AT 8'-0" O.C.
6. FINISH GRADE
7. CONCRETE FOOTING
8. COMPACTED SUBGRADE

NOTES:

- ALL CONNECTORS, FASTENERS AND OTHER HARDWARE SHALL BE HOT DIPPED GALVANIZED.
- FINISHED SIDE OF FENCE SHALL BE FACING OUT TOWARDS DEVELOPMENT.

*PROVIDE (2) GATES AT TRASH LOCATION ACCORDING TO PLAN - SEE LAYOUT 4, SHEET L3.1

3 8' PRIVACY FENCE / TRASH ENCLOSURE

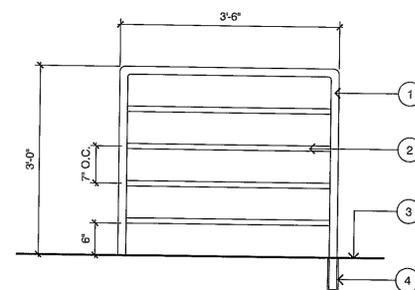


LEGEND

1. 1 1/2" SQ. TUBULAR STEEL FRAME
2. 1x1 1/2" TUBULAR STEEL PICKET
3. 1/2" SQ. TUBULAR STEEL RAIL
4. MESH PANEL WRAPPED AROUND 1/2" RAILS- FINISHED SIDE TO FACE OUT
5. 5/4x6 WOOD RAIL
6. 5/4x2 WOOD RAIL
7. 1/4" THICK STEEL PLATE TO RECEIVE FASTENER THROUGH WOOD RAILS
8. FINISH GRADE
9. ADJACENT FENCING- REFER TO DETAIL 6, THIS SHEET
10. GATE LATCH TO MATCH CLAYTON'S LANDING

NOTE:

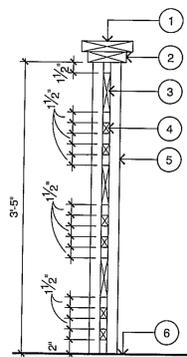
- ALL LUMBER SHALL BE PRESSURE TREATED KDAT
- ALL LUMBER SHALL BE DARK STAINED - FINAL COLOR TO BE SELECTED
- ALL HARDWARE AND FASTENERS SHALL BE HOT DIPPED GALVANIZED



LEGEND

1. 1 1/2" SQ. TUBULAR STEEL FRAME
2. 1" SQ. TUBULAR STEEL MID-RAILS
3. FINISH GRADE
4. SLEEVES INSTALLED IN CONCRETE TO RECEIVE FRAME AND SEALED WITH EPOXY

5 PATIO GATE

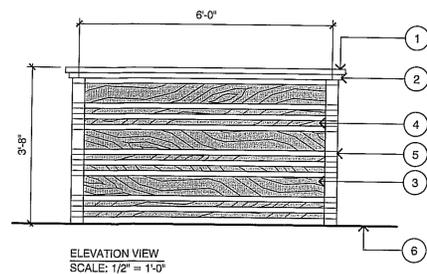


LEGEND

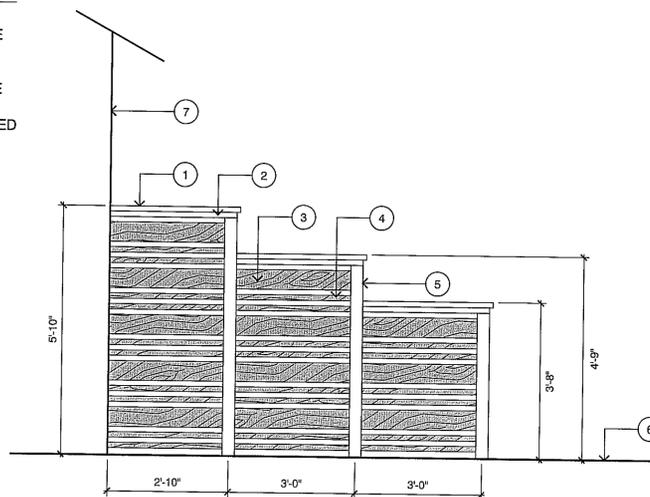
1. 2x8 UPPER CAP
2. 2x6 LOWER CAP
3. 5/4x6 WOOD RAIL
4. 5/4x2 WOOD RAIL
5. 2x6 POSTS TO SANDWICH 5/4 RAILS
6. FINISH GRADE
7. FACE OF BUILDING

NOTE:

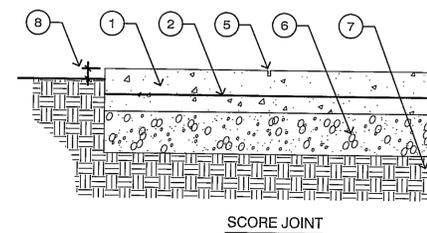
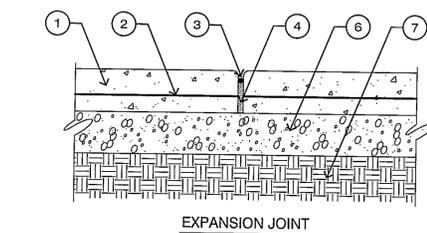
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4 TUBULAR STEEL FENCE



1 CONCRETE PAVING



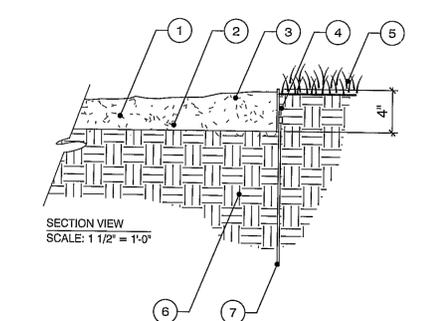
LEGEND

1. CONCRETE PAVING - REFER TO FINISH SCHEDULES, SHEET L2.1-2 FOR COLOR AND FINISH
2. STEEL REINFORCEMENT
3. TOOLED SEALANT OVER BACKER ROD - COLOR TO MATCH CONCRETE
4. EXPANSION JOINT FILLER
5. 1/2" WIDE x 3/4" DEEP TOOLED OR SAWCUT JOINT. RADIUS EDGES 1/4" IF TOOLED.
6. AGGREGATE SUB-BASE MATERIAL
7. COMPACTED SUBGRADE

NOTES:

- EXPANSION JOINTS IN WALKS TO OCCUR AT CHANGE IN DIRECTION AND WHERE NEW CONCRETE PAVING ABUTS EXISTING SIDEWALKS AND/OR CURBS. THE RECOMMENDED SPACING FOR EXPANSION JOINTS IN WALKS IS 16' O.C. FOR CONTINUOUS WALKS UNLESS OTHERWISE RECOMMENDED BY PROJECT SOILS ENGINEER
- APPLY 1/2" DEEP JOINT SEALANT (CAULKING) INTO GROOVE. SAND IN WITH #60 SILICA SAND. MATCH COLOR OF PAVING.

1 CONCRETE PAVING



LEGEND

1. MULCH PATH - REFER TO PLAN, SHEET L2.1, FOR WIDTH AND SPECIFICATION
2. FILTER FABRIC
3. 2-3" RIVER ROCK
4. BORDER GUARD STEEL LANDSCAPE EDGING
SIZE: 3/8"x4"x16"
COLOR: BLACK
AVAILABLE FROM: BORDER CONCEPTS (800.845.3343)
5. TURF / PLANTING AREA - REFER TO PLAN
6. COMPACTED SUBGRADE
7. 1/8"x15" STEEL STAKE

NOTE:

- REFER TO SOIL ENGINEER'S REPORT FOR RECOMMENDED SUB-BASE MATERIAL AND SUBGRADE COMPACTION REQUIREMENTS

6 PATIO FENCE

2 MULCH PATH



Revisions

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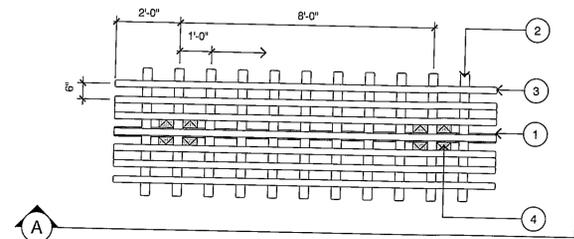
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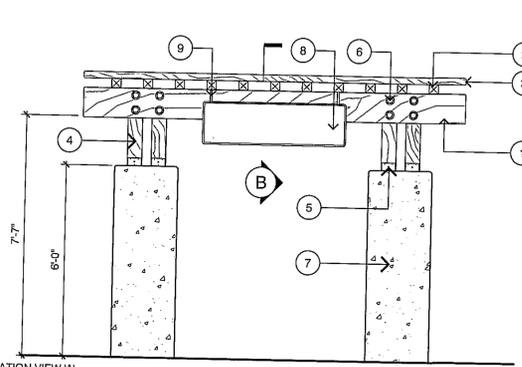
APPROVED LANDSCAPE PLAN
Daun m. dröthing
Signature
4/8/2014
Date

RECEIVED
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PLANNING DIVISION

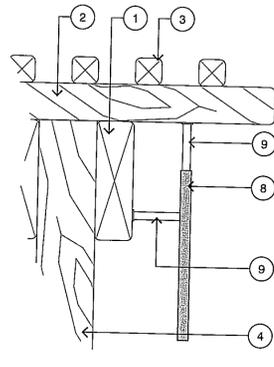
Sheet Number
L3.2
of 7 sheets



PLAN VIEW
SCALE: 3/8" = 1'-0"



ELEVATION VIEW 'A'
SCALE: 3/8" = 1'-0"



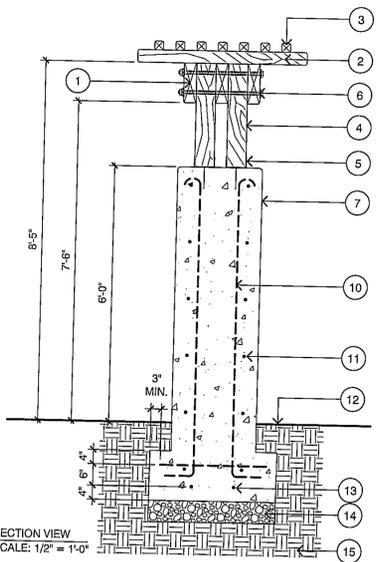
SECTION VIEW 'B'
SCALE: 1 1/2" = 1'-0"

LEGEND

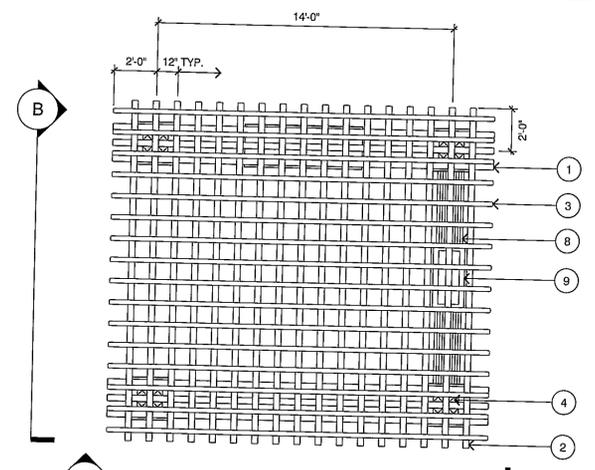
- | | |
|---|---|
| 1. 4x12 BEAM | 10. #5 VERTICAL REBAR IN CORNERS, BEND IN FOOTING |
| 2. 4x4 JOIST | 11. #5 HOOPS AT 16" ON CENTER |
| 3. 3x3 LATTICE | 12. FINISH GRADE |
| 4. 6x6 POST | 13. #5 HORIZONTAL REBAR, 1' ON CENTER IN FOOTING, BOTH WAYS |
| 5. SIMPSON BC60 POST BASE | 14. AGGREGATE SUB-BASE MATERIAL |
| 6. BOLT THROUGH BEAMS AND POSTS | 15. COMPACTED SUBGRADE |
| 7. CONCRETE COLUMN AND FOOTING | |
| 8. STAINLESS FRAME TO MATCH CLAYTON'S LANDING | |
| 9. WELDED SUPPORT RODS TO MATCH CLAYTON'S LANDING | |

NOTE:

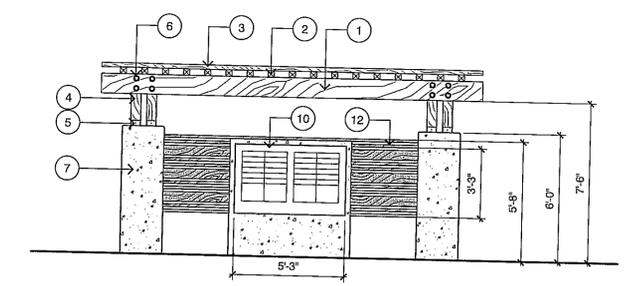
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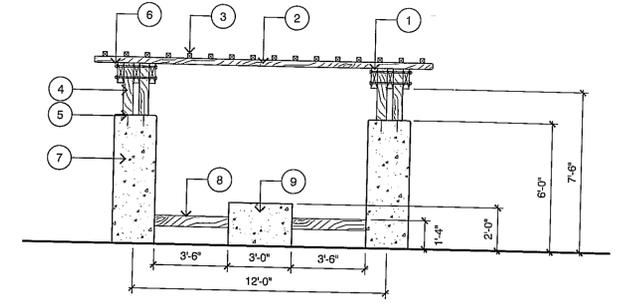
SECTION VIEW
SCALE: 1/2" = 1'-0"



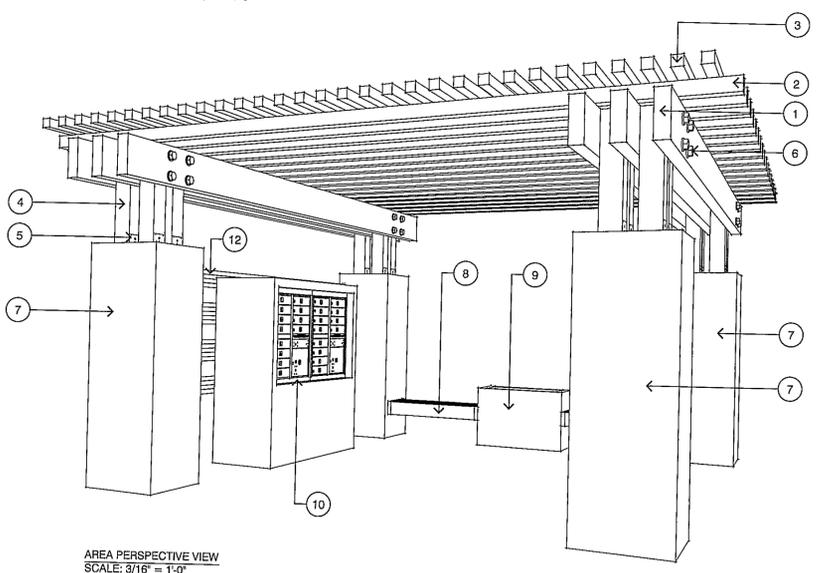
PLAN VIEW
SCALE: 1/4" = 1'-0"



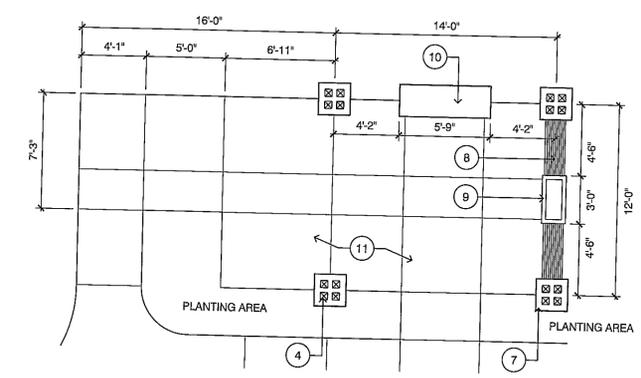
ELEVATION VIEW 'A'
SCALE: 1/4" = 1'-0"



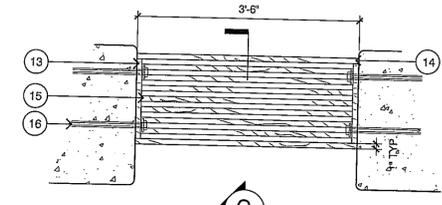
ELEVATION VIEW 'B'
SCALE: 1/4" = 1'-0"



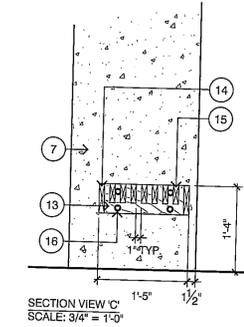
AREA PERSPECTIVE VIEW
SCALE: 3/16" = 1'-0"



PLAN VIEW - AREA LAYOUT
SCALE: 3/16" = 1'-0"



PLAN VIEW BENCH
SCALE: 3/4" = 1'-0"



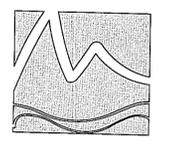
SECTION VIEW 'C'
SCALE: 3/4" = 1'-0"

LEGEND

- | | |
|---|---|
| 1. 4x12 BEAM | 12. WOOD SCREEN ON BACK OF STRUCTURE - REFER TO DETAIL 6, SHEET L3.2 FOR SIMILAR CONSTRUCTION |
| 2. 4x4 JOISTS | 13. 5/8x6 NAILER |
| 3. 3x3 LATTICE | 14. 5/8x6 FASCIA/BENCH SLAT |
| 4. 6x6 POST | 15. 5/8x4 BENCH SLAT |
| 5. SIMPSON BC60 POST BASE | 16. MASONRY BOLT |
| 6. BOLT THROUGH BEAMS & POSTS | NOTE: |
| 7. POURED IN PLACE CONCRETE COLUMNS | • ALL LUMBER SHALL BE PRESSURE TREATED KDAT |
| 8. WOOD BENCH - REFER TO DETAILS, THIS SHEET FOR SIMILAR CONSTRUCTION | • ALL LUMBER SHALL BE DARK STAINED- FINAL COLOR TO BE SELECTED |
| 9. POURED IN PLACE CONCRETE PLANTER | • ALL HARDWARE AND FASTENERS SHALL BE HOT DIPPED GALVANIZED |
| 10. (2) 12 COMPARTMENT CLUSTER MAILBOX UNITS COLOR: ANTIQUE BRONZE | |
| 11. ADJACENT PAVING | |

APPROVED LANDSCAPE PLAN
Signature: *David M. Brockley*
Date: 4/8/2014

RECEIVED
MAR 31 2014
PLANNING DIVISION



MIHALY
LAND DESIGN
PLANNING + LANDSCAPE ARCHITECTURE
330 Military Coloff Rd, Suite A3
Wilmington, NC 28403 910.392.4355



- Revisions**
- 07/22/13 - REVISED PLANTING AND PLANT QUANTITIES FOR NEW SIDEWALK AND ROAD ALIGNMENT; REVISED SITE DATA.
 - 7/24/13 - REVISED LANDSCAPE ISLANDS, AREAS SHOWN.
 - 1/10/14 - REVISED PATIO SPACES, PLANTING.
 - 1/27/14 - REVISED MAIL BOX SIZE.
 - 2/4/14 - REVISED PATIOS TO FIT WITHIN BUFFER.
 - 3.21.2014 - MADE ADDITIONAL REVISIONS PER CITY COMMENTS.

CLIENT
Center 206 LLC
6258 Ingleside Drive
Wilmington, NC 28409
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CONTACT: Brooke Richardson

PROJECT
Lake Park Village
4317, 4319, 4321 & 4329 Lake Avenue
& 4312 Spirea Drive, Wilmington, NC
Multi-Family Townhomes

Date: 12.20.2013
Phase: CONSTRUCTION
Job Number: 100-440
Designed by: MLD
Drawn by: JRC
Checked by: JWM
Sheet Title: CONSTRUCTION DETAILS