

HOGGARD HIGH SCHOOL BASEBALL FACILITY BUILDING UPGRADE

WILMINGTON, NORTH CAROLINA ENGINEERING SUBMITTAL SET SEPTEMBER 2015

PROJECT ADDRESS:
4305 Shipyard Blvd.
Wilmington, NC 28403

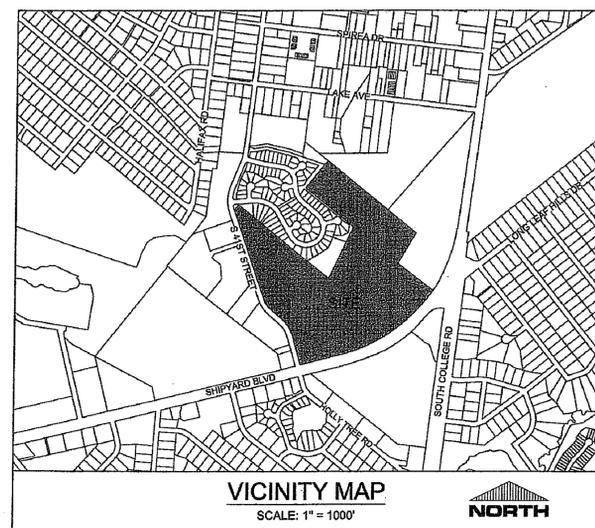
NC DENR PWSS WATER PERMIT #:	_____
WATER CAPACITY:	_____ GPD
DWQ SEWER PERMIT #:	_____
SEWER CAPACITY:	_____ GPD
SEWER SHED # AND PLANT:	_____
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 9/15/15 Permit # 2015028
Signed: *[Signature]*

Approved Construction Plan

Name	Date
Planning	9/11/15
Traffic	9/11/15
Fire	9/14/15



DEVELOPER:
FRIENDS OF HOGGARD BASEBALL
5417 WHALER WAY
WILMINGTON, NC 28409

CIVIL ENGINEERS, LAND PLANNERS & LANDSCAPE ARCHITECTS:
PARAMOUNT ENGINEERING, INC.
5911 OLEANDER DRIVE, SUITE 201
WILMINGTON, NORTH CAROLINA 28403
ATTN: DAN WEEKS, RLA (910) 791-6707

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SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0	GENERAL NOTES
C-2.0	SITE PLAN
C-3.0	GRADING AND DRAINAGE
EX-1	EXISTING CONDITIONS

PREPARED BY:
PARAMOUNT ENGINEERING, INC.
5911 Oleander Drive, Suite 201
Wilmington, North Carolina 28403
(910) 791-6707 (F) (910) 791-6700 (P)
NC License # C-2846
PROJECT # 15186.FE

NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTACT "CAROLINA ONE CALL" AT
1-800-632-4949

CONTACT THESE UTILITIES

CITY OF WILMINGTON - PLANNING, DEVELOPMENT, & TRANSPORTATION DEPARTMENT
ATTN: BRIAN CHAMBERS
PH: 910-342-2782
PIEDMONT NATURAL GAS
ATTN: CARL PAQUET
PH: 910-350-2242

EMERGENCY DIAL 911
POLICE - FIRE - RESCUE

NHC MAINTENANCE & OPERATIONS DEPARTMENT
PH: 910-254-4407

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)
ATTN: FRANK STYERS
PH: 910-332-6870

DUKE ENERGY PROGRESS
ATTN: KEVIN LEATHERWOOD
PH: 910-602-4394

BELL SOUTH
ATTN: STEVE DAYVAULT
PH: 910-332-8712

TIME WARNER CABLE
PH: 910-763-4638

<p>REVISIONS:</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION										<p>CLIENT INFORMATION:</p> <p>Friends of Hoggard Baseball 5417 Whaler Way Wilmington NC 28409</p>
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<p>PARAMOUNT ENGINEERING, INC.</p> <p>5911 Oleander Drive, Suite 201 Wilmington, North Carolina 28403 (910) 791-6707 (F) (910) 791-6700 (P) NC License #: C-2846</p>	<p>COVER SHEET</p> <p>HOGGARD BASEBALL FACILITY BUILDING UPGRADE CITY OF WILMINGTON NORTH CAROLINA</p>												
<p>PROJECT STATUS:</p> <p>CONCEPTUAL LAYOUT: _____</p> <p>PRELIMINARY LAYOUT: _____</p> <p>RELEASED FOR CONSTRUCTION: _____</p>	<p>DRAWING INFORMATION:</p> <p>DATE: 9/15/15</p> <p>DESIGNED BY: <i>[Signature]</i></p> <p>DRAWN BY: <i>[Signature]</i></p> <p>CHECKED BY: <i>[Signature]</i></p>												
<p>SEALED:</p> <p><i>[Signature]</i></p> <p>028852</p> <p>PLANNING DIVISION</p>	<p>RECEIVED</p> <p>SEP 18 2015</p> <p>PLANNING DIVISION</p>												
<p>C-0.0</p>	<p>PEI JOB#: 15186.FE</p>												

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

COORDINATION NOTES:

- 1. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH THE CITY OF WILMINGTON, NEW HANOVER COUNTY, CARE PUBLIC UTILITY AUTHORITY (CPWA), AND THE STATE OF NORTH CAROLINA.
3. THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE IN ADVANCE OF BEGINNING ANY PERMITS ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE SURVEY AND TO VERIFY THE EXISTING UTILITIES.
4. ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING BASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS BY OTHERS FOR ALL BUILDING DIMENSIONS AND DETAILS.

GENERAL NOTES:

- 1. SURVEY COMPLETED BY PARAMOUNTE ENGINEERING, INC. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER, OWNER'S REPRESENTATIVE AND/OR PARAMOUNTE ENGINEERING, INC. IMMEDIATELY.
2. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF EXCAVATION OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS PILES, CONCRETE, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC.
3. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
4. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMAL INTERFERENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND STRUCTURES FROM DAMAGE OR DISRUPTION BY SUSPENSION OF WORK, INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. WATCHMEN AND CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE DOT.
5. ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
6. ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
7. CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 1 (800) 622-6949 AN ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.

DEMOLITION NOTES:

- 1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
2. CONTRACTOR IS TO HALL THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO EXPOSE SITE WORK IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE CONSIDERED UNCLASSIFIED EXCAVATION.
3. DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DECKS, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; BRICKWORK, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARLY AND EXPLICITLY DIRECTED BY THE SOILS ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AS SHOWN ON THESE PLANS.
4. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER.
5. ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE ANY DEMOLITION, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED HEAVILY DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.
7. EXISTING CURB AND GUTTER LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
8. ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.
9. CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
10. PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
11. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.
12. EXISTING FIRE HYDRANTS ON OR NEAR THE SITE ARE TO REMAIN IN SERVICE.
13. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS OF THE MAINS BY DIGGING TEST PITS BY HAND.

TRAFFIC NOTES:

- 1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAYS ARE TO BE THERMOPLASTIC & MEET CITY AND/OR NCDOT STANDARDS.
2. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCO (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCO STANDARDS.
4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
5. ANY OPEN CUTTING OF A CITY STREET REQUIRES A UTILITY CUT PERMIT. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES, AN ENTIRE REBURRING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
6. CONTACT TRAFFIC ENGINEERING, AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE ROW.
7. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND/OR CURBING SHALL BE REPLACED.
8. TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.
9. A LANDSCAPING PLAN, INDICATING THE LOCATION OF REQUIRED STREET-YARD PLANTINGS SHALL BE PROVIDED FOR REVIEW OF SIGN DISTANCES AND ANY OTHER REQUIREMENTS OF TRAFFIC ENGINEERING.
10. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCO STANDARDS.

EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES:

- NOTE: THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH PHASE OF CONSTRUCTION. THE ORDER AND SEQUENCE MUST BE IMPLEMENTED AS EACH PART OF THE PROJECT IS DEVELOPED WHETHER AS A MOULD OR IN PHASES. ANY EROSION CONTROL DEVICES/MEASURES MUST REMAIN IN PLACE UNTIL THE ENTIRE BASIN DESIGNED TO HANDLE SEDIMENTATION AND EROSION IS STABILIZED AND ALL IMPROVEMENTS WITHIN THE BASIN ARE COMPLETE.
1. CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCES, ESTABLISH THE LIMITS OF DISTURBANCE, AND TEMPORARY SILT FENCE.
2. CLEAR AND REMOVE FROM SITE ALL TREES (ONLY ONES TO BE REMOVED), ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN THE DESIGNATED CLEARING LIMITS.
3. INSTALL REMAINING EROSION CONTROL MEASURES AS SHOWN ON THE PLANS WITHIN THE AREA DISTURBED. ALL EROSION CONTROL MEASURES MUST BE INSTALLED BEFORE COMMENCING CONSTRUCTION.
4. PLANT GRASS OVER ALL GRADED AREAS WITHIN 14 WORKING DAYS OF GRADE OR ANY GRADING ACTIVITY.
5. IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE CATCH BASIN, DRAIN INLET, ETC., THE CONTRACTOR SHALL INSTALL INLET PROTECTION TO STOP ANY SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INDIVIDUALLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION CONTROL MEASURES.
7. DURING GRADING AND AFTER GRADING HAS BEEN COMPLETED, THE CONTRACTOR SHALL CONTINUE TO MAINTAIN PAVEMENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL APPROVAL.
8. UPON RECEIVING FINAL APPROVAL, THE CONTRACTOR CAN REMOVE TEMPORARY EROSION CONTROL MEASURES.
9. THE CONTRACTOR SHALL CONTINUE TO WATER, FERTILIZE, MOW AND MAINTAIN SPRIGGED, SOODED, AND PLANTED AREAS UNTIL ALL CONSTRUCTION IS COMPLETE.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- 1. THE EROSION CONTROL PLAN SHALL INCLUDE PROVISIONS FOR GROUND COVER ON ALL EXPOSED PERIMETER DYES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 2:1 WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. GROUND COVER SHALL BE PROVIDED ON ALL OTHER DISTURBED AREAS WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
2. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK (NO SEPARATE PAYMENT).
3. THE CONTRACTOR SHALL NOTIFY PLAN APPROVAL AUTHORITY ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
6. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREA STAGING OR STORAGE AREAS, THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NEW HANOVER COUNTY FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT.
7. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY EITHER THE REVIEWING AGENCY OR THE ENGINEER. (NO SEPARATE PAYMENT).
8. ALL DISTURBED AREAS ARE TO BE COVERED TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
9. ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SOODED OR RESEED AS INDICATED AND ESTABLISHED.
10. DURING DENATURING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.

GENERAL EROSION AND SEDIMENT CONTROL NOTES (CONT.):

- 11. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RAINFALL PRODUCTIONS EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
12. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE STABILIZATION OR A SUFFICIENT GROUND COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY THE ENGINEER. (NO SEPARATE PAYMENT) ENGINEER'S FINAL APPROVAL IS REQUIRED.
13. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON PAVED AREA. (NO SEPARATE PAYMENT).
14. WHEN CROSSING CREEK OR DRAINAGE WAY, THE DIVISION OF WATER QUALITY SHALL BE CONTACTED PRIOR TO DISTURBING A CREEK. THE CONTRACTOR SHALL INSTALL RIP-RAP WITH FABRIC ALONG DISTURBED BANKS AND CHANNELS AND RESTORE SLOPES TO ORIGINAL CONDITIONS, BUT NOT STEEPER THAN 2:1 MAXIMUM. DISTURBED CREEK AREA SHALL BE STABILIZED IMMEDIATELY.

MAINTENANCE PLAN:

- 1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RAINFALL. PROVISIONS FOR MAINTENANCE SHALL BE IN PLACE AT ALL TIMES. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #41 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
3. SEDIMENT WILL BE REMOVED BEFORE THE SEDIMENT FENCE WHEN IT BECOMES 6 FEET DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. SILT FENCE STAKES WILL BE SPACED 4 FEET APART, UNLESS OTHERWISE INDICATED WITH A FOOT STAKE SPACING.
4. ALL GRADED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
5. INLET PROTECTION - INSPECT WIRE AND ROCK INLET PROTECTION AT LEAST ONCE A WEEK AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE SEDIMENT STORAGE AREA TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF THE DESIGN DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN THE DESIGNATED DISPOSAL AREA AND REPLACE THE CONTAMINATED PART OF THE GRAVEL PADING.

PERMANENT SEEDING SCHEDULE - MIXTURE SCP

Table with 3 columns: Seeding Mixture, SPECIES, RATE (LB/ACRE). Includes CENTIFEED GRASS at 10:20.

Soil Amendments

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 300 LB/ACRE 10-10-10 FERTILIZER.

Mulch

DO NOT MULCH.

Maintenance

FERTILIZE SPARINGLY-20 LB/ACRE NITROGEN IN SPRING WITH 10 PHOSPHORUS. CENTIFEED GRASS CANNOT TOLERATE HIGH PH OR EXCESS FERTILIZER.

TEMPORARY SEEDING-LATE WINTER/EARLY SPRING

Table with 3 columns: Seeding Mixture, SPECIES, RATE (LB/ACRE). Includes RYE (GRAN) at 120.

Soil Amendments

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 300 LB/ACRE 10-10-10 FERTILIZER.

Mulch

DO NOT MULCH.

Maintenance

FERTILIZE SPARINGLY-20 LB/ACRE NITROGEN IN SPRING WITH 10 PHOSPHORUS. CENTIFEED GRASS CANNOT TOLERATE HIGH PH OR EXCESS FERTILIZER.

Soil Amendments

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS OR APPLY 2000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

Mulch

APPLY 4000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

Maintenance

REPERITLIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REPERITLIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

NOTE:

1. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DETAILS, DIMENSIONS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.

TRAFFIC NOTES:

1. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.

TRAFFIC NOTES:

1. THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.

TRAFFIC NOTES:

1. THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPES PRIOR TO CONCRETE. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.

TRAFFIC NOTES:

1. IF SEPARATE WORKS FROM THE SPECIFICATIONS OR DRAWINGS ARE DETERMINED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENT SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER, THE CITY OF WILMINGTON, NEW HANOVER COUNTY, OR CPWA, RESPECTIVELY.

TRAFFIC NOTES:

1. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION SURVEY TO VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPES OR OTHER OBSTRUCTIONS OR FROM DELAY DUE TO REMOVAL OR REARRANGING OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT NORTH CAROLINA ONE CALL TOLL FREE 1-800-432-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-REGISTERED UTILITIES.

TRAFFIC NOTES:

1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.

TRAFFIC NOTES:

1. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.

TRAFFIC NOTES:

1. ALL LOT STIPING AND DIRECTIONAL ARROWS TO BE REFLECTIVE MARKINGS AND SHALL CONFORM TO NCDOT. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.

TRAFFIC NOTES:

1. LANDSCAPE PLANTINGS AT ENTRANCE EXITS WILL BE INSTALLED AND NOTED AS NOT TO INTERFERE WITH SIGN DISTANCE NEEDS OF DRIVERS IN THE PARKING AREA AND AT ENTRANCE/EXIT LOCATIONS AND THE NCDOT UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES. A SEPARATE SIGN IS REQUIRED FOR EACH SPACE. SIGNS TO INDICATE THE MAXIMUM PENALTY SYMBOL OF ACCESSIBILITY SHALL BE PAINTED BLUE OR ANOTHER COLOR THAT CAN BE DISTINGUISHED FROM PAVEMENT.

TRAFFIC NOTES:

1. PASSENGER LOADING ZONE NOTES: PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM.

TRAFFIC NOTES:

1. PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESS AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY SERVE.

TRAFFIC NOTES:

1. ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (919 ADA STANDARDS) AND THE NORTH CAROLINA BUILDING CODE AND APPLICABLE LOCAL LAWS & REGULATIONS.

NC ACCESSIBILITY NOTES:

- 1. SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (919 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE AND APPLICABLE LOCAL LAWS & REGULATIONS.
2. IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. PARAMOUNTE ENGINEERING HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE AMERICANS WITH DISABILITIES ACT (919 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE AND APPLICABLE LOCAL LAWS & REGULATIONS. CONTRACTORS ARE ADVISED THAT CONFLICTS WITH THESE NOTES AND DETAILS ACT (919 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE AND APPLICABLE LOCAL LAWS & REGULATIONS. IF THESE SLOPES, SPACES AND DIMENSIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK.
3. THE CONTRACTOR SHALL NOTIFY PARAMOUNTE ENGINEERING IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND THEIR PROJECT DRAWINGS, WHETHER BY PARAMOUNTE ENGINEERING OR OTHERS. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR WHICH THE ALLEGED CONFLICT HAS BEEN DISCOVERED UNTIL SUCH ALLEGED CONFLICT HAS BEEN RESOLVED. NO CLAIM SHALL BE MADE BY THE CONTRACTOR FOR DELAY OR DAMAGES AS A RESULT OF RESOLUTION OF SUCH CONFLICTS.
4. THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO ELICIT SLOPES AND DIMENSIONAL REQUIREMENTS ONLY. REFER TO SIDEWALK, CURBING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.

ACCESSIBLE ROUTE NOTES:

- 1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES TO PUBLIC STREETS OR SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE.
2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
3. WALKING SURFACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
4. ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURBS.
5. TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4 INCH MAXIMUM) AND SLOPE CHANGES.
6. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
7. THE MINIMUM CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES SHALL BE FORTY-EIGHT (48) INCHES MINIMUM MEASURED BETWEEN HANDRAILS WHERE HANDRAILS ARE PROVIDED (NC BUILDING CODE 1104.1 & 1104.5).
8. WHERE AN ACCESSIBLE ROUTE MAKES A 90 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH, CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROACHING THE TURN, FORTY-EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO (42) INCHES MINIMUM LEAVING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN MAY BE FORTY-SIX (46) INCHES MINIMUM IF THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINIMUM. SEE NOTE 7 ABOVE FOR NO CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES.
9. AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALL PROVIDE PASSING SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM. PASSING SPACES SHALL BE EITHER SIXTY (60) INCH MINIMUM BY SIXTY (60) INCH MAXIMUM SPACE OR AN INTERSECTION OF TWO (2) WALKING SURFACES THAT PROVIDE A COMMON TURNING SPACE, PROVIDED THE SPACE AND AREA OF THE T-SHAPED SPACE EXTEND FORTY-EIGHT (48) INCHES MINIMUM BEYOND THE INTERSECTION.
10. DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (919 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE AND APPLICABLE LOCAL LAWS & REGULATIONS.
11. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT UNACCESSIBLE BUILDING ENTRANCES.
12. WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE. IN THE EVENT THAT DRAINAGE INLETS MUST BE LOCATED ON AN ACCESSIBLE ROUTE, THE GRAB BARS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (919 ADA STANDARDS), THE NC BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.

RAMP NOTES:

- 1. ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.
2. THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
3. THE CLEAR WIDTH OF AN EXTERIOR RAMP SHALL BE FORTY EIGHT INCHES (NC BUILDING CODE 1104.1). WHERE HANDRAILS ARE PROVIDED ON THE RAMP RUN, THE CLEAR WIDTH SHALL BE MEASURED BETWEEN THE HANDRAILS.
4. THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.

LANDINGS

LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION. THE LANDING CLEAR WIDTH SHALL BE AT LEAST SIXTY (60) INCHES MINIMUM APPROACHING THE TURN, FORTY-EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO (42) INCHES MINIMUM LEAVING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN MAY BE FORTY-SIX (46) INCHES MINIMUM IF THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINIMUM. SEE NOTE 7 ABOVE FOR NO CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES.

FLOOR SURFACES

FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.

EDGE PROTECTION

EDGE PROTECTION EQUIPMENT WITH AMERICANS WITH DISABILITIES ACT (919 ADA STANDARDS), THE NC BUILDING CODE AND APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS.

WHERE DOWNWIND

WHERE DOWNWIND ARE LOCATED ADJACENT TO A RAMP LANDING, HANDRAILING CLEARANCES REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (919 ADA STANDARDS), THE NC BUILDING CODE AND APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE MAINTAINED. WHERE DOORS THAT ARE SUBJECT TO LOCKING ARE ADJACENT TO A RAMP LANDING, LANDINGS SHALL BE SIZED TO PROVIDE A COMMON TURNING SPACE.

CURB RAMP NOTES:

1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
2. COLLATER SLOPES OF ADJACENT GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
3. THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (96) MINIMUM, EXCLUSIVE OF FLARED SIDES. IF PROVIDED, "NOTE NO BUILDING CODE REQUIRES EXTERIOR ACCESSIBLE ROUTES TO BE 48 INCHES MINIMUM (1104.1 & 1104.5)."

LANDINGS

LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION.

IF A CURB RAMP IS LOCATED

IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.

WHERE PROVIDED

WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.

CURB RAMPS

CURB RAMPS AND FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESSIBLE AREAS. CURBS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKING, EXCLUDING ANY FLARED SIDES.

IT IS RECOMMENDED

IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETAIL WARNING COMPLYING WITH 408.12 AT 17', EXTENDING THE FULL WIDTH OF THE RAMP. REFER TO DETAIL DRAWING AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES. THE NC BUILDING CODE DOES NOT CURRENTLY REQUIRE DETAIL WARNING AT CURB RAMPS, NOR DO THE 919 ADA STANDARDS - HOWEVER US DOT ADA REGULATIONS DO REQUIRE THESE.

FLOOR SURFACES

FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, 1/2 INCH WIDE BY 1/4 INCH DEEP, ONE (1) INCH CENTERS TRANSVERSE TO THE RAMP.

WHERE PROVIDED

WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.

WHERE PROVIDED

WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.

WHERE PROVIDED

WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.

CURB RAMP TYPE

CURB RAMP TYPE AND LOCATION ARE PER PLAN.

PASSING SPACES NOTES:

1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE.

ACCESSIBLE PARKING SPACES

ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESS AISLES SHALL BE 60 INCHES WIDE. ONE OF SIX ACCESSIBLE SPACES SHOULD PROVIDE A VAN ACCESSIBLE AISLE. THE AISLE SHOULD BE 90 INCHES WIDE (OR ACCESSIBLE SPACE IS 11 FEET OR ACCESSIBLE SPACE IS FIVE FEET) WHERE PARKING SPACES AND ACCESS AISLES ARE MARKED WITH PAVEMENT. ACCESSIBLE SPACES SHALL BE MADE FROM CENTERLINE OF THE MARKINGS. WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE, REQUIREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LANDING BEYOND THE PARKING SPACE OR ACCESS AISLE.

PARKING ACCESS AISLES

PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS: MARKED CROSSINGS SHALL BE PROVIDED WHERE THE ACCESSIBLE ROUTE MUST CROSS VEHICULAR TRAFFIC LANES. WHERE POSSIBLE, IT IS PREFERABLE THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES.

ACCESSIBLE PARKING SPACES

ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.

ACCESSIBLE PARKING SPACES

ACCESSIBLE PARKING SPACES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.

ACCESSIBLE PARKING SPACES

ACCESSIBLE PARKING SPACES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.

ACCESSIBLE PARKING SPACES

ACCESSIBLE PARKING SPACES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACE.

GENERAL UTILITY NOTES:

- 1. ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF WILMINGTON REQUIREMENTS AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
2. BIDDING FOR ALL STORM SEWER PIPE SHALL BE AS SPECIFIED ON THE DRAWINGS.
3. ALL STORM SEWER PIPES SHOWN AS TOP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM 07M, UNLESS INDICATED OTHERWISE ON PLANS.

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SITE DATA TABULATION

OWNER: NEW HANOVER COUNTY SCHOOL BOARD
 JOHN T HOGGARD HIGH SCHOOL
 4305 SHIPYARD BLVD.
 R06114-001-001-000 (project area is ± 0.47 ac out of 60.56 ac)
 R06114-001-001-000
 M.B. 5791, PG 0776
 OFFICE & INSTITUTIONAL-1 (O&I-1)
 URBAN
 45'
 27'
 EDUCATIONAL
 EDUCATIONAL

UTILITY INFORMATION

SANITARY SEWER
 EXISTING SANITARY SEWER SERVICE WILL BE RETROFITTED TO SERVE THE SHIFTED BUILDING LOCATION. NO ADDITIONAL FLOW ALLOCATION OR ADDITIONAL SERVICES WILL BE REQUIRED TO SERVE THE UPDATED CONCESSION/RESTROOM BUILDING. SANITARY SEWER ALLOCATION PROVIDED BY CFPWA. PROPOSED SANITARY SEWER SERVICE SHALL BE OWNED AND MAINTAINED BY NEW HANOVER COUNTY SCHOOLS. ALL MATERIAL AND INSTALLATION SHALL CONFORM WITH BUILDING CODE REQUIREMENTS.

WATER
 EXISTING WATER SERVICE WILL BE RETROFITTED TO SERVE THE SHIFTED BUILDING LOCATION. NO ADDITIONAL FLOW ALLOCATION OR ADDITIONAL SERVICES WILL BE REQUIRED TO SERVE THE UPDATED CONCESSION/RESTROOM BUILDING. WATER SERVICE ALLOCATION PROVIDED BY CFPWA. PROPOSED WATER SERVICE SHALL BE OWNED AND MAINTAINED BY NEW HANOVER COUNTY SCHOOLS. ALL MATERIAL AND INSTALLATION SHALL CONFORM WITH BUILDING CODE REQUIREMENTS.

USE INFORMATION

WATER:
 CURRENT USE: 1,280 GPD (ESTIMATED - ONLY WHILE IN USE)
 PROPOSED USE: SAME AS CURRENT

SEWER:
 CURRENT USE: 1,160 (ESTIMATED - ONLY WHILE IN USE)
 PROPOSED USE: SAME AS CURRENT

FLOOD NOTE
 THIS PARCEL LIES IN ZONE X (MINIMAL FLOOD RISK). THIS PARCEL HAS FIRM PANEL # 3136, WITH MAP # 3720313600J WITH AN EFFECTIVE DATE OF APRIL 3, 2006.

SURVEY DATUM

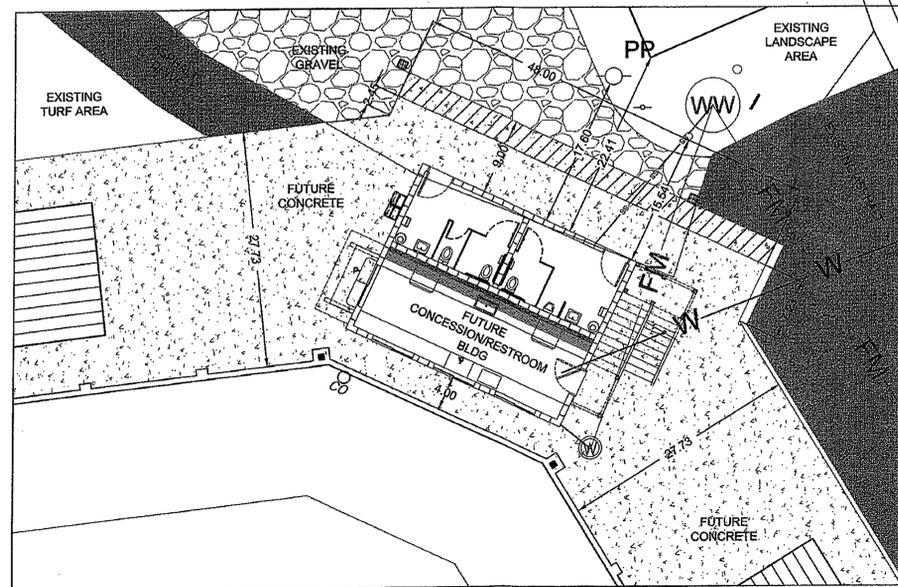
HORIZONTAL CONTROL: NAD 83-2011
 VERTICAL CONTROL: NAVD 88

NOTES

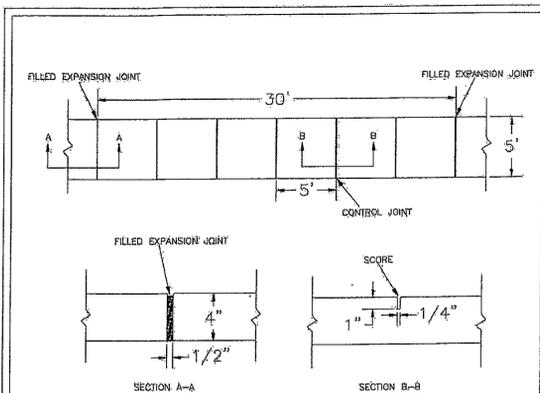
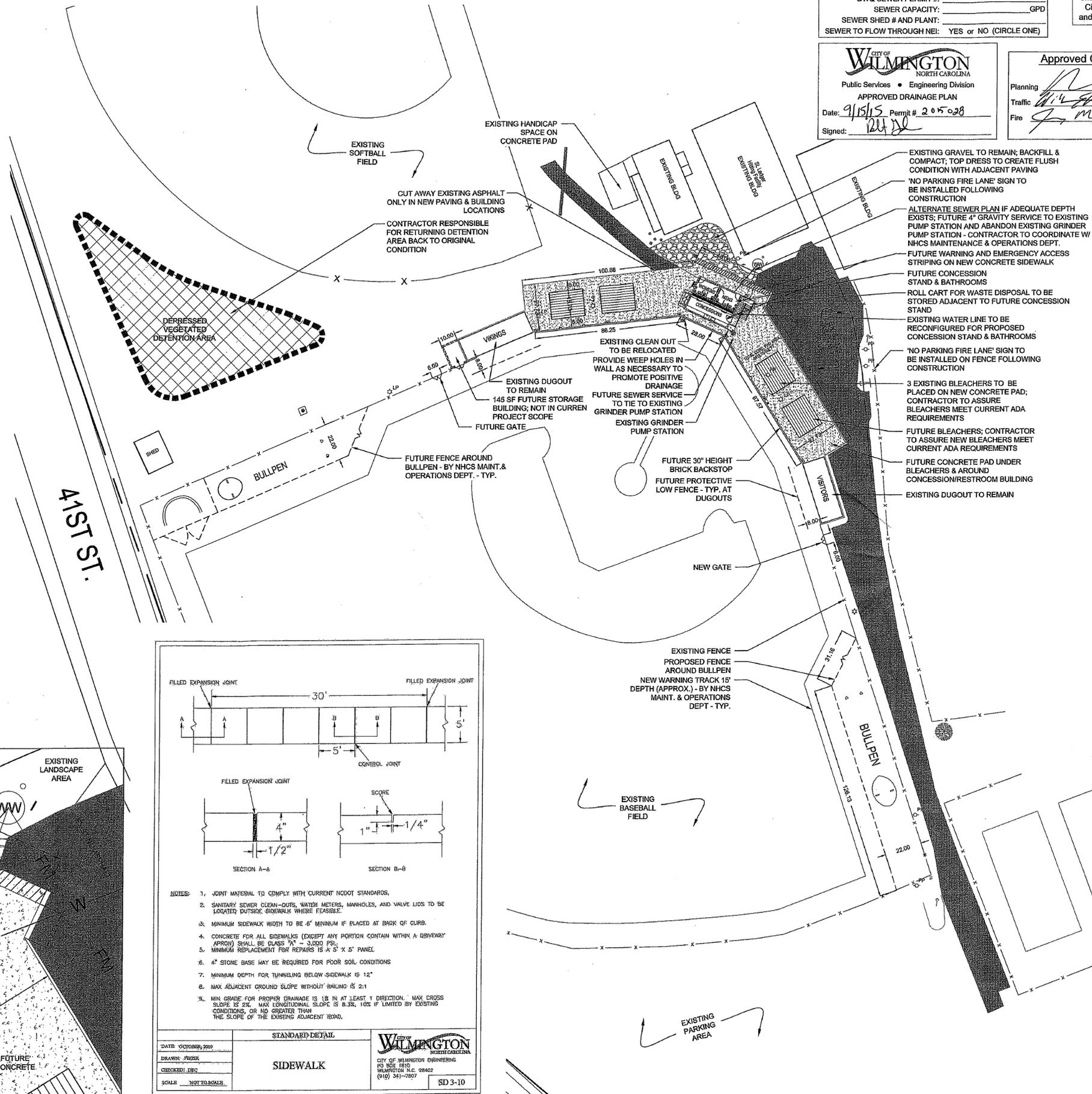
- THERE ARE NO EXISTING TREES TO BE REMOVED FROM THE SITE.
- A PORTION OF THE PROPERTY IS LOCATED IN THE CAMA LAND CLASSIFICATION WATERSHED RESOURCE PROTECTION (WRP) AREA AND IMPERVIOUS AREAS SHALL BE LIMITED TO 25% UNLESS THE PROJECT MEETS LDC ARTICLE 10 - EXCEPTIONALLY DESIGNED PROJECTS; HOWEVER, NO PORTION OF THE BASEBALL FACILITY UPGRADE PROJECT IS LOCATED IN THE WRP AREA.
- A PORTION OF THE PROPERTY IS ENCUMBERED BY WETLANDS; HOWEVER, NO PORTION OF THE BASEBALL FACILITY UPGRADE PROJECT IS LOCATED WITHIN THE WETLAND AREA.
- EXISTING HANDICAP SPACE SHOWN ON THIS PLAN WILL SATISFY ADA PARKING REQUIREMENT FOR PROJECT.
- ALL ITEMS MARKED "FUTURE" ARE PROPOSED WITHIN THIS PROJECT SCOPE.

LEGEND:

- PROPERTY LINE
- PROPOSED WATER LINE
- PROPOSED SEWER SERVICE
- LIMITS OF DISTURBANCE
- SILT FENCE



CONCRETE PAD, CONCESSION STAND & BATHROOM ENLARGEMENT
 SCALE: 1" = 10'



- NOTES:**
- JOINT MATERIAL TO COMPLY WITH CURRENT NC DOT STANDARDS.
 - SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
 - MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
 - CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS #4 - 3,000 PSI.
 - MINIMUM REPLACEMENT FOR REPAIRS IS 4' X 5' PANEL.
 - 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
 - MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
 - MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
 - MIN GRADE FOR PROPER DRAINAGE IS 1/8" IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 0.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

DATE: OCTOBER, 2010
 DRAWN: JFZ/SK
 CHECKED: JFC
 SOALS: NOT TO SCALE

STANDARD DETAIL
SIDEWALK

WILMINGTON
 CITY OF WILMINGTON ENGINEERING
 501 OLEANDER DRIVE, SUITE 201
 WILMINGTON, N.C. 28403
 (910) 341-7807

SD 3-10

NC DENR PWSS WATER PERMIT #:
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #:
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT:
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
APPROVED DRAINAGE PLAN
 Date: 9/15/15 Permit # 2015-028
 Signed: [Signature]

Approved Construction Plan

Name: _____ Date: 9/11/15
 Planning: [Signature]
 Traffic: [Signature]
 Fire: [Signature]

REVISIONS:	DATE	BY	DESCRIPTION

CLIENT INFORMATION:
Friends of Hoggard Baseball
 5417 Whaler Way
 Wilmington, NC 28409

PARAMOUNT ENGINEERING
 5911 Oleander Drive, Suite 201
 Wilmington, North Carolina 28403
 (910) 791-6707 (C) (910) 791-6760 (F)
 NC License #: C-2846

SITE PLAN
 HOGGARD BASEBALL FACILITY BUILDING UPGRADE
 CITY OF WILMINGTON
 NORTH CAROLINA

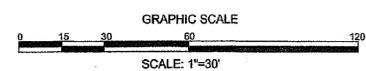
PROJECT STATUS:
 FINAL DESIGN:
 PRELIMINARY LAYOUT:
 RELEASED FOR CONST:

DRAWING INFORMATION:
 DATE: 9/15/15
 SCALE: 1" = 10'
 DRAWN: JFZ/SK
 CHECKED: JFC

SEAL
 [Professional Seal]
 SEAL
 02852

C-2.0
 PEI JOB #: 15166.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



SITE DATA TABULATION

OWNER: NEW HANOVER COUNTY SCHOOL BOARD
 JOHN T HOGGARD HIGH SCHOOL
 4305 SHIPYARD BLVD.
 R06114-001-000 (project area is ± 0.47

PROJECT ADDRESS: NEW HANOVER COUNTY PARCEL #:
 ac out of 60.56 ac)

TAX PARCEL IDENTIFICATION #:
 R06114-001-001-000

RECORDED LOT #:
 M.B. 5791, PG 0776

CURRENT ZONING:
 OFFICE & INSTITUTIONAL-1 (O&I-1)

CAMA LAND USE CLASSIFICATION:
 URBAN

MAXIMUM ALLOWABLE BUILDING HEIGHT:
 45'

PROPOSED BUILDING HEIGHT:
 27'

EXISTING LAND USE:
 EDUCATIONAL

PROPOSED LAND USE:
 EDUCATIONAL

Hoggard Baseball Field Expansion
Baffles (Temporary Sediment Trap)
 [Designed Per NCDENR Erosion Control Design Manual (6.65)]

Requirements:
 Inlet: 35% of Surface Area
 Chamber 1: 25% of Surface Area
 Chamber 2: 25% of Surface Area
 Outlet: 15% of Surface Area

TST #	Surface Area (SF)	Length (FT)	Width (FT)	Inlet Area (SF)	Chamber 1 Area (SF)	Chamber 2 Area (SF)	Outlet Area (SF)	Baffle #1 (Distance from End) (FT)	Baffle #2 (Distance from End) (FT)	Baffle #3 (Distance from End) (FT)
1	972	54	16	340	243	243	146	19	32	46
2										
3										

NCDENR PWSS WATER PERMIT #:
 WATER CAPACITY: _____ GPD

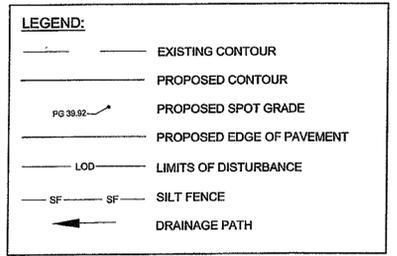
DWQ SEWER PERMIT #:
 SEWER CAPACITY: _____ GPD

SEWER SHED # AND PLANT:
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
APPROVED DRAINAGE PLAN
 Date: 9/15/15 Permit # 2015028
 Signed: [Signature]

Approved Construction Plan
 Name: [Signature] Date: 9/15/15
 Planning: [Signature] 9/11/15
 Traffic: [Signature] 9/11/15
 Fire: [Signature] 9/14/15



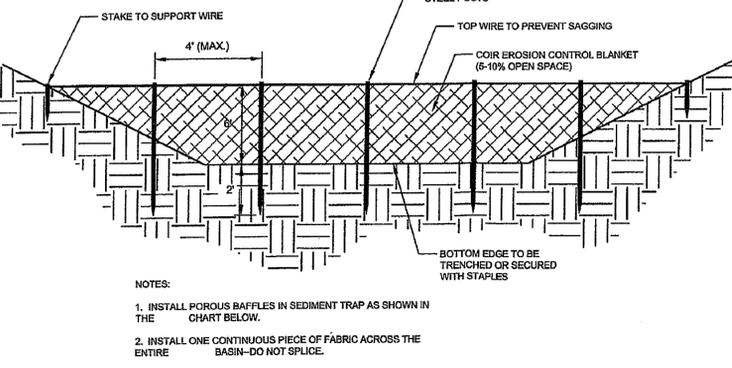
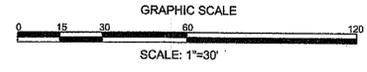
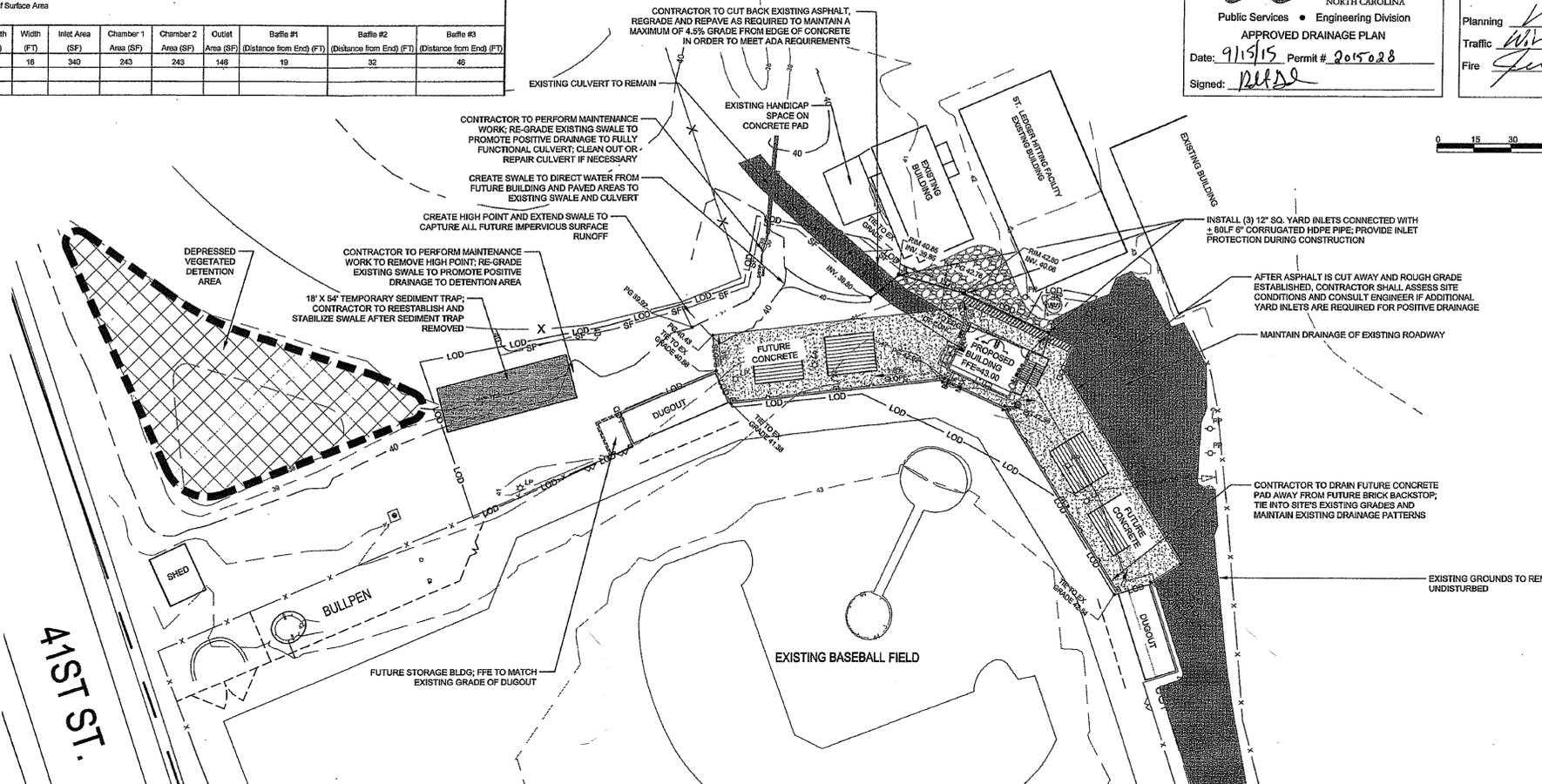
NOTATION:
 PG = PROPOSED GRADE

BUILDING PAD NOTE:
 1. SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

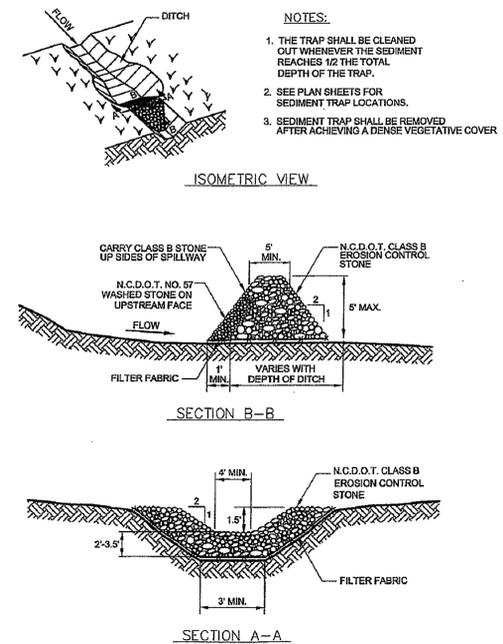
STORMWATER NOTE:
 PROPOSED IMPERVIOUS AREA
 TOTAL BUILDING (PROPOSED FOOTPRINT) 533 SF
 ON-SITE SIDEWALKS AND FUTURE STORAGE BUILDING (PROPOSED) 6367 SF
 TOTAL PROPOSED IMP. AREA 6900 SF (0.16 AC)

EXISTING IMPERVIOUS AREA (PRESS BOX, ASPHALT PAVING)
 TOTAL BUILDING (EXISTING FOOTPRINT) 499 SF
 ON-SITE ASPHALT PAVING (EXISTING TO BE REPLACED OR BUILT ON) 2375 SF
 ON-SITE SIDEWALKS & CONCRETE PADS (EXISTING) 714 SF
 TOTAL EXISTING IMP. AREA 3578 SF (0.08 AC)

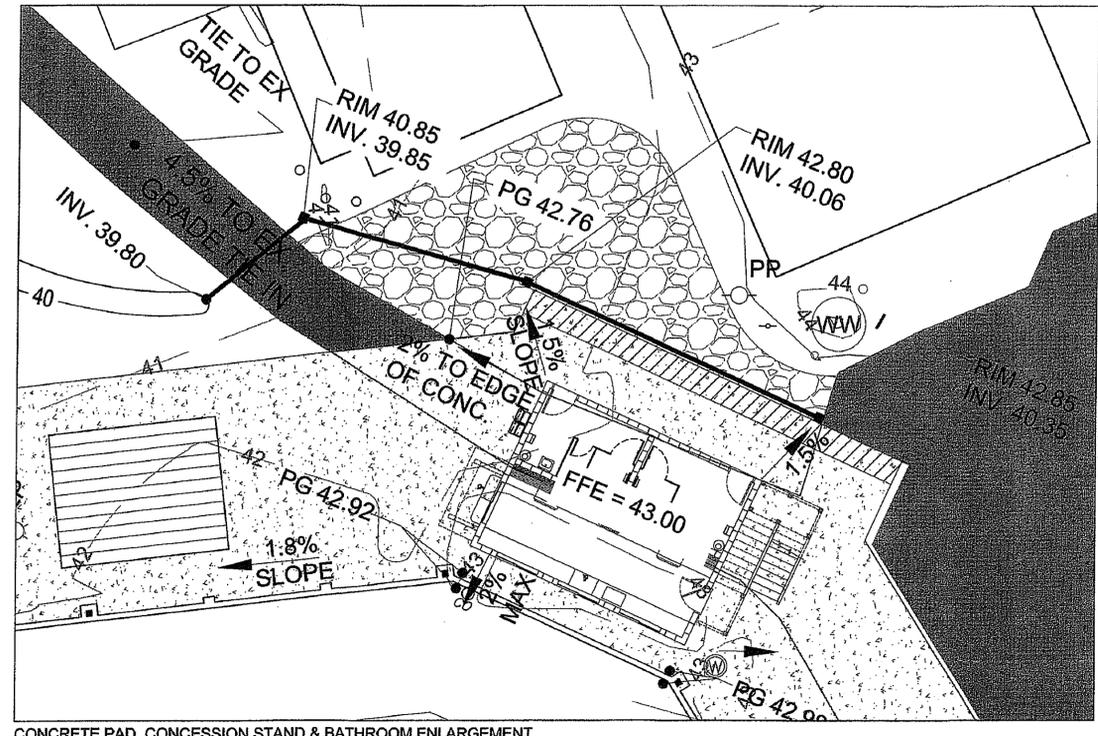
- GENERAL NOTES:**
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NEW HANOVER COUNTY STANDARDS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL PLACE INLET PROTECTION AROUND ALL STORM DRAIN AND YARD INLETS TO PROTECT THE SYSTEM FROM COLLECTING SEDIMENTATION DURING CONSTRUCTION. INLET PROTECTION SHALL REMAIN IN PLACE UNTIL THE PAVING IS IN PLACE.
 - CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE WITHIN ASPHALT OVERLAY AREAS TO MATCH PROPOSED GRADES.
 - ALL PROPOSED SPOT (PG) ELEVATIONS SHOWN ARE PROPOSED EDGE OF PAVEMENT OR TOP OF SLAB, UNLESS NOTED OTHERWISE.
 - ALL ROOF DRAINS SHALL BE DIRECTED TOWARDS DRAINAGE SWALE.
 - ALL SIDEWALK CROSS SLOPES HAVE BEEN GRADED TO MEET ADA REGULATIONS. CONTRACTOR SHALL CONFIRM GRADES BEFORE PLACING PAVEMENT OR SIDEWALKS AND REPORT ANY DISCREPANCIES TO OWNER AND/OR ENGINEER.
 - THE CONTRACTOR SHALL USE EITHER RCP (CL. III) OR HDPE PIPE FOR THE STORM DRAINAGE SYSTEM. IF THE CONTRACTOR CHOOSES TO USE HDPE PIPE, IT SHALL BE ADS N-12 HP STORM PIPE OR APPROVED EQUAL AND SHALL BE INSTALLED TO MANUFACTURER SPECIFICATIONS. IN ADDITION, THE CONTRACTOR SHALL BE SURE TO PROVIDE CONCRETE COLLARS AROUND EACH F.E.S. TO PREVENT FLOATATION IF HDPE PIPE IS CHOSEN.



BAFFLE DETAIL
 NOT TO SCALE



TEMPORARY SEDIMENT TRAP
 NOT TO SCALE



CONCRETE PAD, CONCESSION STAND & BATHROOM ENLARGEMENT
 SCALE: 1" = 10'

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:
 REVISED PER TPO COMMENTS DATED 7/24/15
 REVISED PER TPO COMMENTS DATED 8/11/15
 REVISED PER COMMENTS FROM CITY ENGINEERS

CLIENT INFORMATION:
 Friends of Hoggard Baseball
 5417 Whaler Way
 Wilmington NC 28409

PARAMOUNT ENGINEERING
 5911 Oleander Drive, Suite 201
 Wilmington, North Carolina 28403
 (910) 791-6707 (C) (910) 791-6760 (F)
 NC License #: C-2846

GRADING AND DRAINAGE PLAN
 HOGGARD BASEBALL FACILITY BUILDING UPGRADE
 CITY OF WILMINGTON
 NORTH CAROLINA

PROJECT STATUS:
 CONCEPTUAL LAYOUT: _____
 PRELIMINARY LAYOUT: _____
 PREPARED FOR CONSTRUCTION: _____

DRAWING INFORMATION:
 DATE: 9/15/15
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

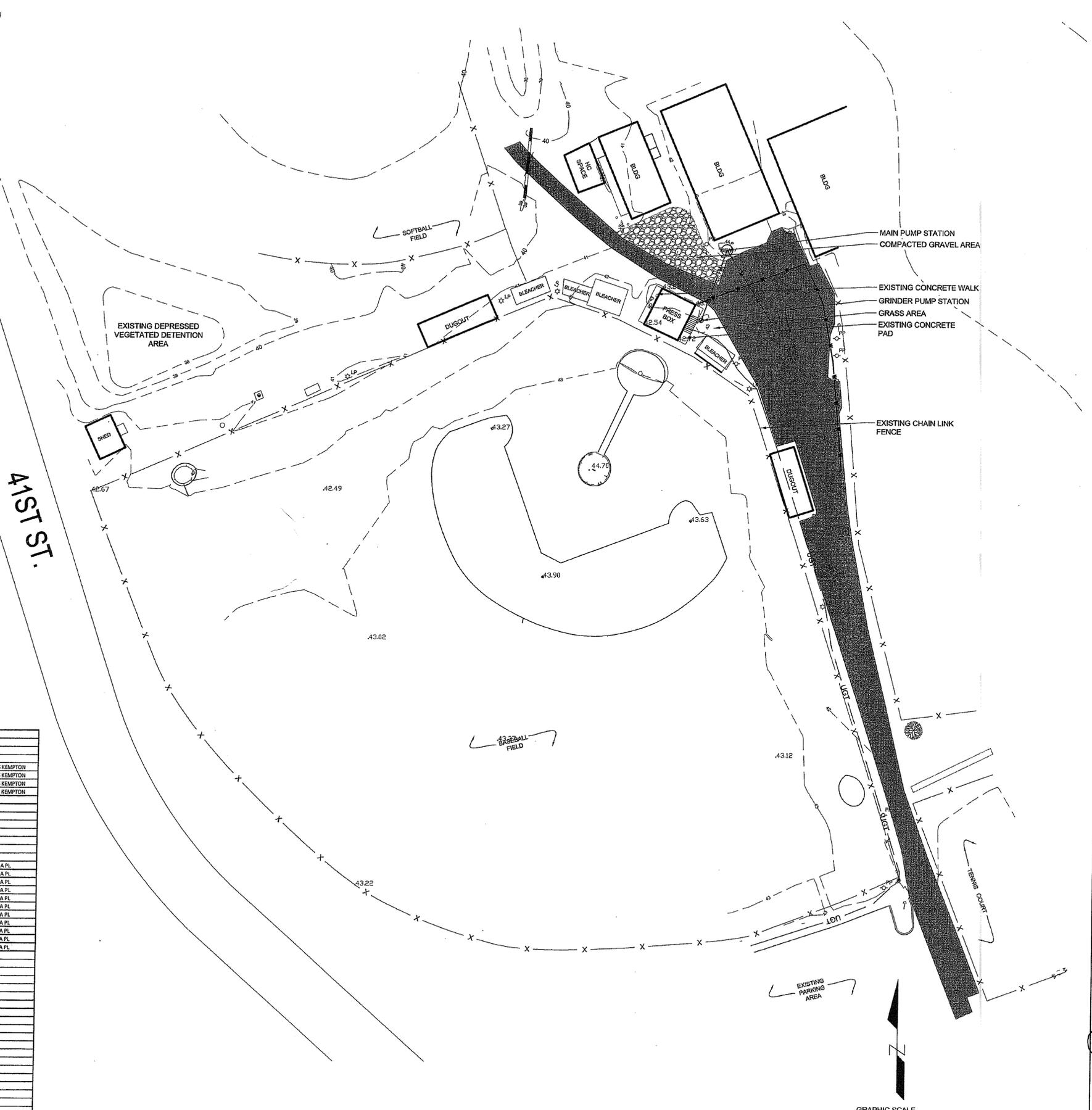
SEAL: [Signature]
 028852
 ENGINEER

C-3.0
 PIE JOB#: 15186.PE

LEGEND:

- IPF IRON PIPE FOUND
- IRF IRON ROD FOUND
- IRD IRON ROD SET
- PKF PK NAIL FOUND
- PKS PK NAIL SET
- CCM CONCRETE MONUMENT FOUND
- SIGN
- C&G CONCRETE CURB & GUTTER
- EP EDGE OF PAVEMENT
- LPP LIGHT POLE
- UPP UTILITY POLE
- GA GUY ANCHOR
- TRF TRANSFORMER
- TRS TELEPHONE RISER
- WM WATER METER
- WLV WATER VALVE
- FHY FIRE HYDRANT
- IRV IRRIGATION VALVE
- CO CLEAN-OUT
- SSM SANITARY SEWER MANHOLE
- SDM STORM DRAINAGE MANHOLE
- WEL WELL
- CIL CURB INLET
- CB CATCH BASIN
- GM GAS METER
- MB MAILBOX
- TR TRESS
- OU OVERHEAD UTILITIES
- BL BURIED TELEPHONE LINE
- WL WATER LINE
- SSW SANITARY SEWER LINE
- SDL STORM DRAINAGE LINE
- UGL UNDERGROUND GAS LINE
- CLF CHAINLINK FENCE
- EO EXISTING CONTOUR
- RW RIGHT OF WAY/BOUNDARY

41ST ST.



Hoggard Baseball Adjacent Property Owners

KEY	PIN	Land Use	ZONING	DB/PG	OWNER	MAIL ADDRESS	PROPERTY ADDRESS	SUBDIVISION
1	R06114-001-002-000	820- PHYSICIAN	OMU	DB 1888, PG 0885	SMV LLC	2348 HARBORWAY DR, WILM, NC, 28405	4241 SHIPYARD BLV	STONE BUILDERS DIV LOT 1
2	R06114-001-010-000	750- BUSINESS	OMU	DB 3054, PG 0045	SMV II LLC	4141 SHIPYARD BLV, WILM, NC, 28403	4141 SHIPYARD BLV	STONE BUILDERS DIV LOT 1
3	R06114-001-003-000	850- OTHER SERVICES	OMU	DB 5245, PG 1325	JARE HOLDINGS LLC	2334 S 41ST ST, WILM, NC, 28403	2550 41ST ST	STONE BUILDERS DIV
4	R06114-001-006-001	750- BUSINESS	OMU	DB 5245, PG 0274	JARE HOLDINGS LLC	2334 S 41ST ST, WILM, NC, 28403	2334 41ST ST	BRIGHTMORE LIBERTY CMMS KEMPTON
5	R06114-001-009-000	825- NURSING CONVALESCENT	OMU	DB 2705, PG 0511	BRIGHTMORE PROPERTIES LLC	2334 41ST ST, WILM, NC, 28403	2334 41ST ST	BRIGHTMORE LIBERTY CMMS KEMPTON
6	R06110-005-001-000	825- NURSING CONVALESCENT	OMU	DB 5534, PG 0077	Z & R PROPERTIES III LLC	2335 41ST ST, WILM, NC, 28403	2335 41ST ST	BRIGHTMORE LIBERTY CMMS KEMPTON
7	R06110-005-002-000	825- NURSING CONVALESCENT	OMU	DB 5523, PG 0124	KEMPTON PROPERTIES LLC	2334 41ST ST, WILM, NC, 28403	2334 41ST ST	BRIGHTMORE LIBERTY CMMS KEMPTON
8	R06110-001-022-000	958- UNUSED LAND	R-15	DB 5847, PG 0037	LIBERTY HEALTHCARE PROPERTIES LLC	2334 S 41ST ST, WILM, NC, 28403	2020 41ST ST	NO SUB DIV
9	R06110-002-027-000	OAC	R-5	DB 1438, PG 0946	VICTORIA PLACE/WILM HOMOHWIR	PO BOX 3184, WILM, NC, 28406	2051 41ST ST	VICTORIA PLACE
10	R06110-003-020-000	10-1 FAM RES	R-5	DB 1582, PG 1288	ELIZABETH M DUNSON	2110 WENTWORTH CT, WILM, NC, 28403	2110 WENTWORTH CT	VICTORIA PLACE SEC 3
11	R06110-004-025-000	10-1 FAM RES	R-5	DB 1747, PG 2020	JANE M KERRY	4187 ABBINGTON TER, WILM, NC, 28403	4187 ABBINGTON TER	VICTORIA PLACE SEC 3
12	R06110-004-004-000	10-1 FAM RES	R-5	DB 5222, PG 0275	GARY AND POLLY DEEN	9005 TWIN LAKES DR, KERRYSVILLE, NC, 27284	4185 ABBINGTON TER	VICTORIA PLACE SEC 3
13	R06110-004-003-000	10-1 FAM RES	R-5	DB 5225, PG 2727	EDWARD AND MARTHA WHITTAKER	4183 ABBINGTON TER, WILM, NC, 28403	4183 ABBINGTON TER	VICTORIA PLACE SEC 3
14	R06110-004-002-000	10-1 FAM RES	R-5	DB 5770, PG 0517	JEFFREY AND BILLIE PARTL	2810 WESTON CT, WILM, NC, 28409	4181 ABBINGTON TER	VICTORIA PLACE SEC 3
15	R06110-004-001-000	10-1 FAM RES	R-5	DB 1447, PG 1036	HENRY AND DENING CHU	7306 OYSTER DR, WILM, NC, 28411	4179 ABBINGTON TER	VICTORIA PLACE SEC 3
16	R06110-004-020-000	10-1 FAM RES	R-5	DB 5807, PG 2385	MICHAEL KELLY	4177 ABBINGTON TER, WILM, NC, 28403	4177 ABBINGTON TER	ABBINGTONDALE AT VICTORIA PL
17	R06110-004-019-000	10-1 FAM RES	R-5	DB 4286, PG 0387	BRUCE AND CYNTHIA SNELL	1393 ATLANTIC DR, WILM, NC, 28411	4175 ABBINGTON TER	ABBINGTONDALE AT VICTORIA PL
18	R06110-004-018-000	10-1 FAM RES	R-5	DB 3640, PG 0725	SANDRA TUCKER	800 WESTROSE RD, PILOT MOUNTAIN, NC, 27041	4173 ABBINGTON TER	ABBINGTONDALE AT VICTORIA PL
19	R06110-004-017-000	10-1 FAM RES	R-5	DB 5454, PG 2408	HOO SENG LIM AND LEE KWON CHAN	4171 ABBINGTON TER, WILM, NC, 28403	4171 ABBINGTON TER	ABBINGTONDALE AT VICTORIA PL
20	R06110-004-016-000	10-1 FAM RES	R-5	DB 1850, PG 0909	JOANNE WOODALL	227 GAZEO CT, WILM, NC, 28409	4159 ABBINGTON TER	ABBINGTONDALE AT VICTORIA PL
21	R06110-004-015-000	10-1 FAM RES	R-5	DB 3448, PG 0165	JUAN AND ANAYS ZALA	4157 ABBINGTON TER, WILM, NC, 28403	4157 ABBINGTON TER	ABBINGTONDALE AT VICTORIA PL
22	R06110-004-014-000	10-1 FAM RES	R-5	DB 5150, PG 1375	HAO CHEN AND JIN XIU LIN	4155 ABBINGTON TER, WILM, NC, 28403	4155 ABBINGTON TER	ABBINGTONDALE AT VICTORIA PL
23	R06110-004-013-000	10-1 FAM RES	R-5	DB 2534, PG 0136	WILLIAM AND LESUE MELLOH	4153 ABBINGTON TER, WILM, NC, 28403	4153 ABBINGTON TER	ABBINGTONDALE AT VICTORIA PL
24	R06110-004-012-000	10-1 FAM RES	R-5	DB 4933, PG 0239	SUNSHINE BAY LLC	1113 TURNBERRY LN, WILM, NC, 28405	4151 ABBINGTON TER	ABBINGTONDALE AT VICTORIA PL
25	R06110-004-011-000	10-1 FAM RES	R-5	DB 4830, PG 0628	THOMAS PHELAN	4150 ABBINGTON TER, WILM, NC, 28403	4150 ABBINGTON TER	ABBINGTONDALE AT VICTORIA PL
26	R06110-004-010-000	10-1 FAM RES	R-5	DB 5574, PG 0184	SUSAN HILL	4157 ABBINGTON TER, WILM, NC, 28403	4157 ABBINGTON TER	ABBINGTONDALE AT VICTORIA PL
27	R06110-002-027-000	OAC	R-5	DB 1438, PG 0946	VICTORIA PLACE/WILM HOMOHWIR	PO BOX 3184, WILM, NC, 28406	2051 41ST ST	VICTORIA PLACE
28	R06110-003-030-000	10-1 FAM RES	R-5	DB 1458, PG 0603	JAMES AND MARRION COX	202 WEST PALM BEACH, FL, 33409	1913 PICADILLY CT	VICTORIA PLACE SEC 4
29	R06110-003-029-000	10-1 FAM RES	R-5	DB 4259, PG 0805	REBECCA POWERS	1391 PICADILLY CT, WILM, NC, 28403	1911 PICADILLY CT	VICTORIA PLACE SEC 4
30	R06110-003-028-000	10-1 FAM RES	R-5	DB 2172, PG 0313	BETTIMA REASONS	1909 PICADILLY CT, WILM, NC, 28403	1909 PICADILLY CT	VICTORIA PLACE SEC 4
31	R06110-003-027-000	10-1 FAM RES	R-5	DB 5629, PG 2249	GWENDOLYN ENNIS	1912 PICADILLY CT, WILM, NC, 28403	1912 PICADILLY CT	VICTORIA PLACE SEC 4
32	R06110-003-026-000	10-1 FAM RES	R-5	DB 5413, PG 2376	PATRICIA FOX	4143 ABBINGTON TER, WILM, NC, 28403	4143 ABBINGTON TER	VICTORIA PLACE SEC 2
33	R06110-003-025-000	10-1 FAM RES	R-5	DB 5085, PG 2313	JAMES E SOLATER	5022 WOODLAND WAY, ANNANDALE, VA, 22003	4141 ABBINGTON TER	VICTORIA PLACE SEC 2
34	R06110-003-024-000	10-1 FAM RES	R-5	DB 5740, PG 2827	RACHELL ZINDARS	4139 ABBINGTON TER, WILM, NC, 28403	4139 ABBINGTON TER	VICTORIA PLACE SEC 2
35	R06110-003-023-000	10-1 FAM RES	R-5	DB 2740, PG 0801	PENILOPE SCHWITT	4137 ABBINGTON TER, WILM, NC, 28403	4137 ABBINGTON TER	VICTORIA PLACE SEC 2
36	R06110-003-022-000	10-1 FAM RES	R-5	DB 5411, PG 0554	JULIENNE B JOHNSON	4135 ABBINGTON TER, WILM, NC, 28403	4135 ABBINGTON TER	VICTORIA PLACE SEC 2
37	R06110-003-021-000	10-1 FAM RES	R-5	DB 1391, PG 1617	NANCY L HERRING	4133 ABBINGTON TER, WILM, NC, 28403	4133 ABBINGTON TER	VICTORIA PLACE SEC 2
38	R06110-003-020-000	10-1 FAM RES	R-5	DB 1726, PG 0803	SARA J RHODES	4131 ABBINGTON TER, WILM, NC, 28403	4131 ABBINGTON TER	VICTORIA PLACE SEC 2
39	R06110-003-019-000	10-1 FAM RES	R-5	DB 5496, PG 1257	CECELIA AND N THOMAS PEERS	4129 ABBINGTON TER, WILM, NC, 28403	4129 ABBINGTON TER	VICTORIA PLACE SEC 2
40	R06110-003-018-000	10-1 FAM RES	R-5	DB 5003, PG 2389	SALLY EAGON	4127 ABBINGTON TER, WILM, NC, 28403	4127 ABBINGTON TER	VICTORIA PLACE SEC 2
41	R06110-003-017-000	10-1 FAM RES	R-5	DB 2780, PG 0607	WILLIAM PAT THOM	4125 ABBINGTON TER, WILM, NC, 28403	4125 ABBINGTON TER	VICTORIA PLACE
42	R06110-003-016-000	10-1 FAM RES	R-5	DB 5702, PG 2317	NAOMIE A PEPPER	4123 ABBINGTON TER, WILM, NC, 28403	4123 ABBINGTON TER	VICTORIA PLACE
43	R06110-003-015-000	10-1 FAM RES	R-5	DB 5051, PG 0245	JOHNAS WALKER AND MISTY HALL	1908 GALAHAD CT, WILM, NC, 28403	1905 GALAHAD CT	VICTORIA PLACE
44	R06110-003-014-000	10-1 FAM RES	R-5	DB 5727, PG 0245	DAVID J SCHWEIZER	1908 GALAHAD CT, WILM, NC, 28403	1903 GALAHAD CT	VICTORIA PLACE
45	R06110-003-013-000	10-1 FAM RES	R-5	DB 5472, PG 0523	ZHENG ZHENG	3749 WILLOWICK PARK DR, WILM, NC, 28409	1901 GALAHAD CT	VICTORIA PLACE
46	R06110-001-014-001	862- CONDOMINIUM COMMON AREA	OMU	DB 1655, PG 0852	TARA COURT UNIT OWNERS ASSN	PO BOX 4361, WILM, NC, 28406	1375 41ST ST	NO SUB DIV
47	R06110-001-013-000	32-3+ FAMILY RESIDENTIAL	MF-L	DB 5580, PG 1620	LAKE RIDGE LP	2825 SW 27TH AVE, SUITE 200, MIAMI, FL, 33129	4130 LAKE AVE	LAKE RIDGE COMMONS RECOMB OF TRI & 2
48	R06110-001-012-000	821- EDUCATIONAL	OMU	DB 5331, PG 2306	NEW HAN CITY BD OF EDUCATION	6410 CAROLINA BEACHES, WILM, NC, 28412	2412 LAKE AVE	NO SUB DIV
49	R06110-001-011-000	805- NURSING CONVALESCENT	R-15	DB 5380, PG 1661	NEW HAN CITY BD OF EDUCATION	230 GOVERNMENT CENTER DR, WILM, NC, 28403	2225 COLLEGE RD	NO SUB DIV
50	R06110-004-021-000	OAC	R-5	DB 1707, PG 0227	DALE ABBINGTON/HOA VICTORIA	1960 S 17TH ST, SUITE 303, WILM, NC, 28401	2251 41ST ST	ABBINGTONDALE AT VICTORIA PL

REVISIONS:

7/20/16	REVISED PER THE COMMENTS DATED 7/20/16
8/14/16	REVISED PER THE COMMENTS DATED 8/14/16
9/16/16	REVISED PER THE COMMENTS DATED 9/16/16

CLIENT INFORMATION:

Friends of Hoggard Baseball
5417 Whaler Way
WILMINGTON, NC 28409

PARAMOUNT ENGINEERING
5911 Oleander Drive, Suite 201
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

EXISTING CONDITIONS

HOGGARD BASEBALL FACILITY BUILDING UPGRADE
CITY OF WILMINGTON
NORTH CAROLINA

PROJECT STATUS:
CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
RELEASED FOR CONSTRUCTION

DRAWING INFORMATION:
DATE: 08/15/16
SCALE: AS SHOWN
DESIGNED BY: J. B. BERRY
CHECKED BY: J. B. BERRY

SEAL: [Signature]
SCALE: 1"=30'

EX-1

PEI JOB#: 15186.PE