

VICINITY MAP

NTS



NOW OR FORMERLY
LANDMARK COMMERCIAL INC
BOOK 1655 PAGE 0385
ZONED CB
RETAIL

NOW OR FORMERLY
BEASLEY JEAN B HRS ETAL
BOOK 9003 PAGE 1706
ZONED CB
RETAIL
CONVENIENCE/GAS

NOW OR FORMERLY
COOK JEFFREY D DANA A
BOOK 5556 PAGE 1207
ZONED CB
RETAIL
FLORIST

NOW OR FORMERLY
RIDDLE GENE C KYONG K
BOOK 1382 PAGE 1245
ZONED CB
BUSINESS

NOW OR FORMERLY
TAYLOR HERBERT A
BOOK 1231 PAGE 0893
ZONED CB
BUSINESS

NOW OR FORMERLY
NORTON YARN REALTY CORPORATION
BOOK 3707 PAGE 891
ZONED RB
DICK'S SPORTING GOODS
RETAIL

APPLICANT/PREPARER OF PLAN:
NORRIS & TUNSTALL CONSULTING
ENGINEERS, INC.
902 MARKET STREET
WILMINGTON, NC, 28401
PHONE (910) 343-9653
(910) 343-9604 FAX

LICENCE #C-3641
OWNER:
WILL DICKSON - DEVELOPMENT MANAGER
CHARTWELL PROPERTY GROUP
2600 FAIRVIEW ROAD, SUITE 210
RALEIGH, NC 27608
919-803-5489

SURVEYOR:
MICHAEL UNDERWOOD and ASSOCIATES, PA
102 CINEMA DRIVE, SUITE A
WILMINGTON, NC 28403
PHONE: 910-815-0650
FAX: 910-815-0393
E-MAIL: muo@uicrec.com Firm License #C-6015

SITE DATA
ADDRESS: 820 S. COLLEGE RD.
PARCEL ID#: R05515-002-002-000
MAP ID#: 313715.62.8990.000
PARCEL AREA: 4.88 AC
ZONING: RB
SOIL TYPE: Ss: SEAGATE FINE SAND
CAMA LAND USE: URBAN
NO CAMA AEC OR SETBACKS
NO CONCERNATION RESOURCES OR SETBACKS
HISTORICAL SITE: NONE
CEMETARY: NONE
FORESTED AREA: NONE
WETLANDS: NONE WITHIN SITE AREA
ENDANGERED SPECIES/HABITAT: NONE REPORTED
THIS PROPERTY IS LOCATED IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 3720313700J, EFFECTIVE DATE APRIL 3, 2006

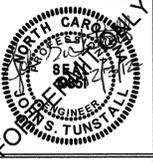
SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

INVENTORY SITE PLAN
HARRIS TEETER BUILDING EXPANSION AND RENOVATION, STORE #158
820 S. COLLEGE RD.
WILMINGTON, N. C. 28403

OWNER/DEVELOPER
MR. WILL DICKSON, MANAGER
LEGACY PROPERTIES
COLLEGE ROAD INVESTMENTS, LLC
2600 FAIRVIEW ROAD, SUITE 210
FALEIGH, NC 27808
704-962-0468

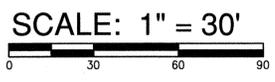
NORRIS & TUNSTALL
CONSULTING ENGINEERS, INC.
1127 FLORAL PARKWAY
SUITES 300 & 400
WILMINGTON, NC 28403
PHONE (910) 343-9653
FAX (910) 343-9804
office@nkteng.com
licence #C-3641

12050/12055
DES. JUST
CHK. JPN
DRWN. NKS
DATE 12/3/12

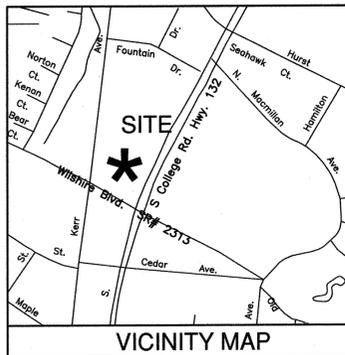


ONE STORY BLOCK BUILDING
57,530 SQ.FT. +/-
820 SOUTH COLLEGE ROAD
BULDING HEIGHT 25'
FFE=42.68

MARY S. BEASLEY PROPERTY
MAP BOOK 27 PAGE 120
3.88 ACRES +/-



I:\Projects\1212\12050_Harris_Teeter_Expansion_of_College_Rd_Wilshire_Parkway\12050.mxd 12/3/12 12:32:35 PM
 User: munderwood



NTS

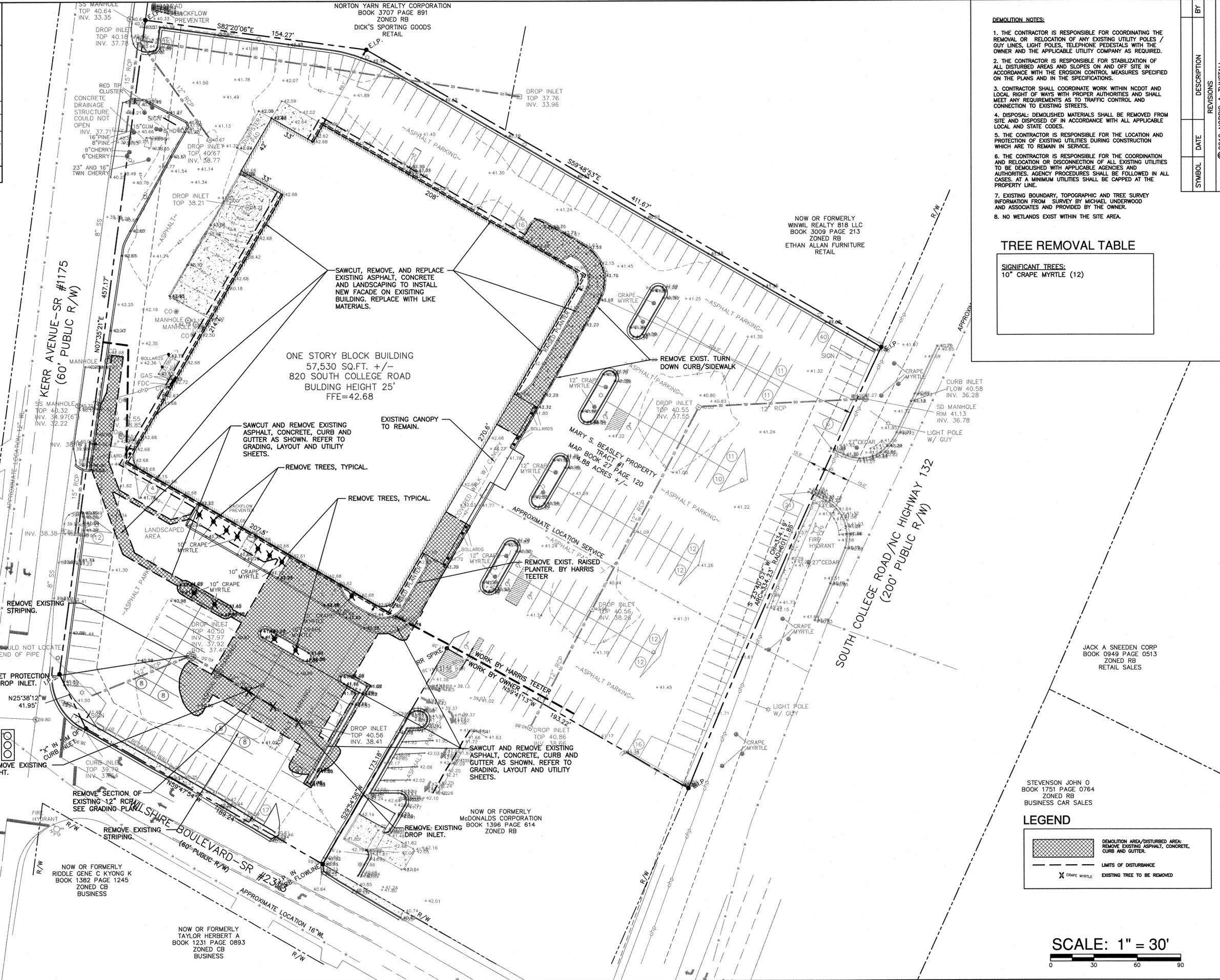
NOW OR FORMERLY LANDMARK COMMERCIAL INC BOOK 1655 PAGE 0385 ZONED CB RETAIL

OR FORMERLY JEAN B HRS ETAL BOOK 1706 PAGE 1706 ZONED CB RETAIL VENIENCE/GAS

NOW OR FORMERLY COOK JEFFREY D DANA A BOOK 5356 PAGE 1207 ZONED CB RETAIL FLORIST

SURVEY LEGEND

- E.I.P. EXISTING IRON PIPE
- I.P.S. IRON PIPE SET
- R/W RIGHT OF WAY
- MANHOLE
- LIGHT POLE
- DROP INLET
- POWER POLE
- CLEANOUT
- CHP OVERHEAD POWER
- TELEPHONE PEDESTAL
- WATER METER



- DEMOLITION NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REMOVAL OR RELOCATION OF ANY EXISTING UTILITY POLES / GUY LINES, LIGHT POLES, TELEPHONE PEDESTALS WITH THE OWNER AND THE APPLICABLE UTILITY COMPANY AS REQUIRED.
 2. THE CONTRACTOR IS RESPONSIBLE FOR STABILIZATION OF ALL DISTURBED AREAS AND SLOPES ON AND OFF SITE IN ACCORDANCE WITH THE EROSION CONTROL MEASURES SPECIFIED ON THE PLANS AND IN THE SPECIFICATIONS.
 3. CONTRACTOR SHALL COORDINATE WORK WITHIN NCDOT AND LOCAL RIGHT OF WAY WITH PROPER AUTHORITIES AND SHALL MEET ANY REQUIREMENTS AS TO TRAFFIC CONTROL AND CONNECTION TO EXISTING STREETS.
 4. DISPOSAL: DEMOLISHED MATERIALS SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES.
 5. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION WHICH ARE TO REMAIN IN SERVICE.
 6. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND RELOCATION OR DISCONNECTION OF ALL EXISTING UTILITIES TO BE DEMOLISHED WITH APPLICABLE AGENCIES AND AUTHORITIES. AGENCY PROCEDURES SHALL BE FOLLOWED IN ALL CASES. AT A MINIMUM UTILITIES SHALL BE CAPPED AT THE PROPERTY LINE.
 7. EXISTING BOUNDARY, TOPOGRAPHIC AND TREE SURVEY INFORMATION FROM SURVEY BY MICHAEL UNDERWOOD AND ASSOCIATES AND PROVIDED BY THE OWNER.
 8. NO WETLANDS EXIST WITHIN THE SITE AREA.

TREE REMOVAL TABLE

SIGNIFICANT TREES:
10" CRAPE MYRTLE (12)

LEGEND

- DEMOLITION AREA/DISTURBED AREA: REMOVE EXISTING ASPHALT, CONCRETE, CURB AND GUTTER.
- LIMITS OF DISTURBANCE
- EXISTING TREE TO BE REMOVED

SCALE: 1" = 30'

DEMOLITION SITE PLAN
HARRIS TEETER BUILDING EXPANSION AND RENOVATION, STORE #158
820 S. COLLEGE RD.
WILMINGTON, N. C. 28403

OWNER/DEVELOPER
 MR. WILL DICKSON, MANAGER
 LEGACY PROPERTIES
 COLLEGE ROAD INVESTMENTS, LLC
 2600 FAIRVIEW ROAD, SUITE 210
 RALEIGH, NC 27608
 704-982-0466

NORRIS & TUNSTALL
CONSULTING ENGINEERS, INC.
 1127 FLORAL PARKWAY
 SUITES 300 & 400
 WILMINGTON, NC 28403
 PHONE (910) 343-9853
 FAX (910) 343-9804
 office@ntceng.com
 license #C-3641

12050/12055

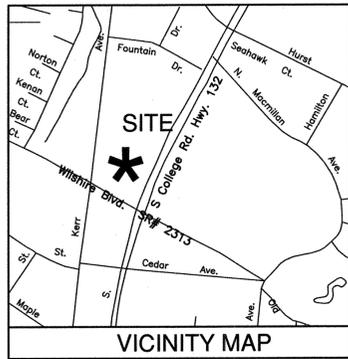
DES. JST
 CKD. JPN
 DRWN. NKS

DATE 12/10/12

C1

BY	DESCRIPTION	DATE	REVISIONS

© 2012 NORRIS & TUNSTALL



VICINITY MAP

NTS



NOW OR FORMERLY
LANDMARK COMMERCIAL INC
BOOK 1655 PAGE 0385
ZONED CB
RETAIL

OR FORMERLY
JEAN B HRS ETAL
BOOK 1655 PAGE 1708
ZONED CB
RETAIL
VENIENCE/GAS

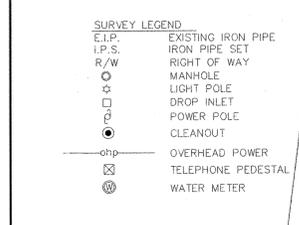
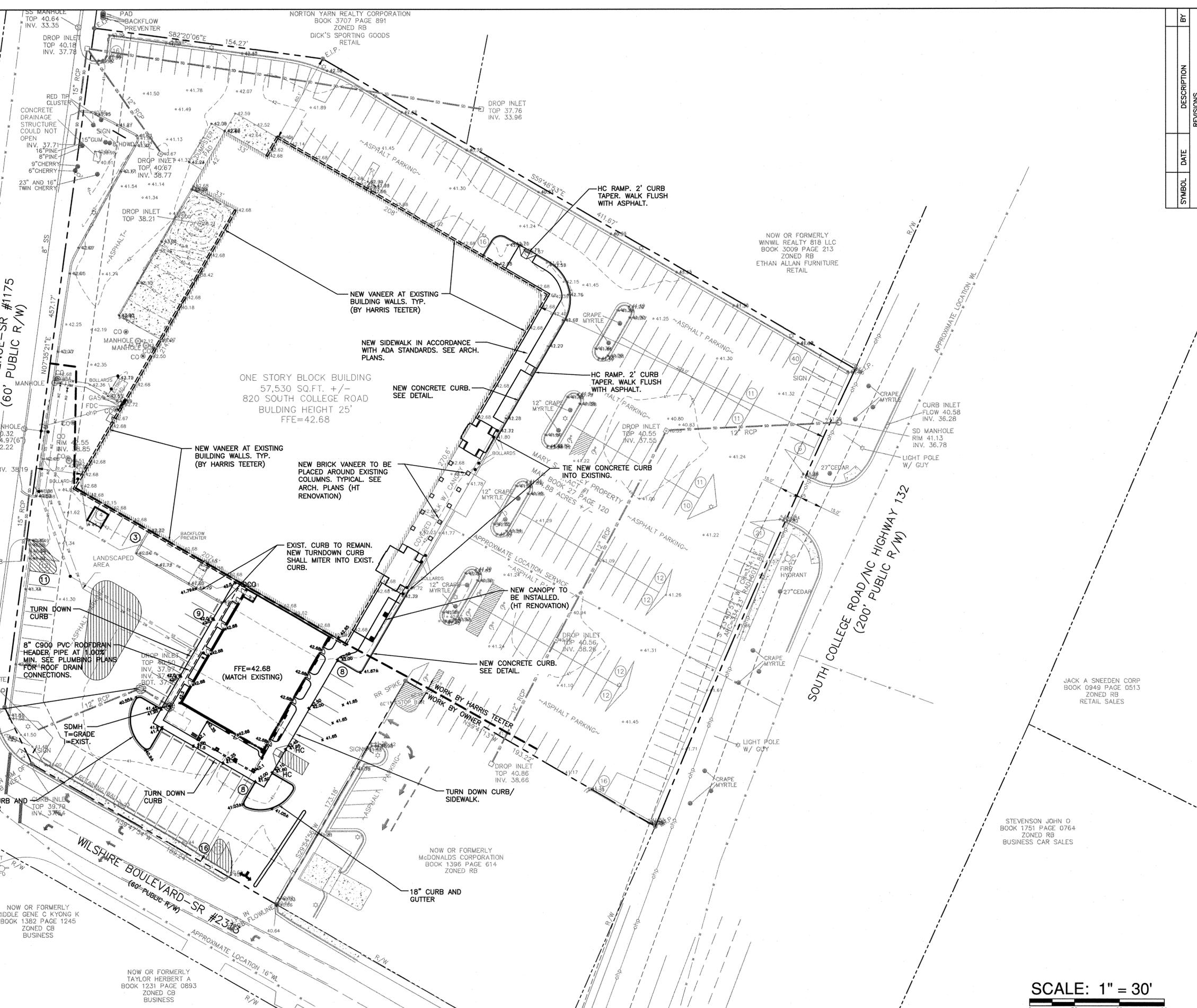
NOW OR FORMERLY
COOK JEFFREY D DANA A
BOOK 5556 PAGE 1207
ZONED CB
RETAIL
FLORIST

KERR AVENUE-SR #1175
(60' PUBLIC R/W)

SHIRE BOULEVARD-SR #2313
(60' PUBLIC R/W)

WILSHIRE BOULEVARD-SR #2313
(60' PUBLIC R/W)

SOUTH COLLEGE ROAD/NC HIGHWAY 132
(200' PUBLIC R/W)



NOW OR FORMERLY
RIDDLE GENE C KYONG K
BOOK 1382 PAGE 1245
ZONED CB
BUSINESS

NOW OR FORMERLY
TAYLOR HERBERT A
BOOK 1231 PAGE 0893
ZONED CB
BUSINESS

NOW OR FORMERLY
MCDONALDS CORPORATION
BOOK 1386 PAGE 614
ZONED RB

JACK A SNEEDEN CORP
BOOK 0949 PAGE 0513
ZONED RB
RETAIL SALES

STEVENSON JOHN O
BOOK 1751 PAGE 0764
ZONED RB
BUSINESS CAR SALES

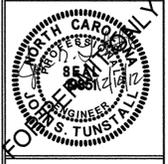
SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

© 2012 NORRIS & TUNSTALL
**GRADING, DRAINAGE AND EROSION CONTROL
HARRIS TEETER BUILDING EXPANSION AND
RENOVATION, STORE #158
820 S. COLLEGE RD.
WILMINGTON, N. C. 28403**

OWNER/DEVELOPER
MR. WILL DICKSON, MANAGER
LEGACY PROPERTIES
COLLEGE ROAD INVESTMENTS, LLC
2600 FAIRVIEW ROAD, SUITE 210
RALEIGH, NC 27608
704-982-0466

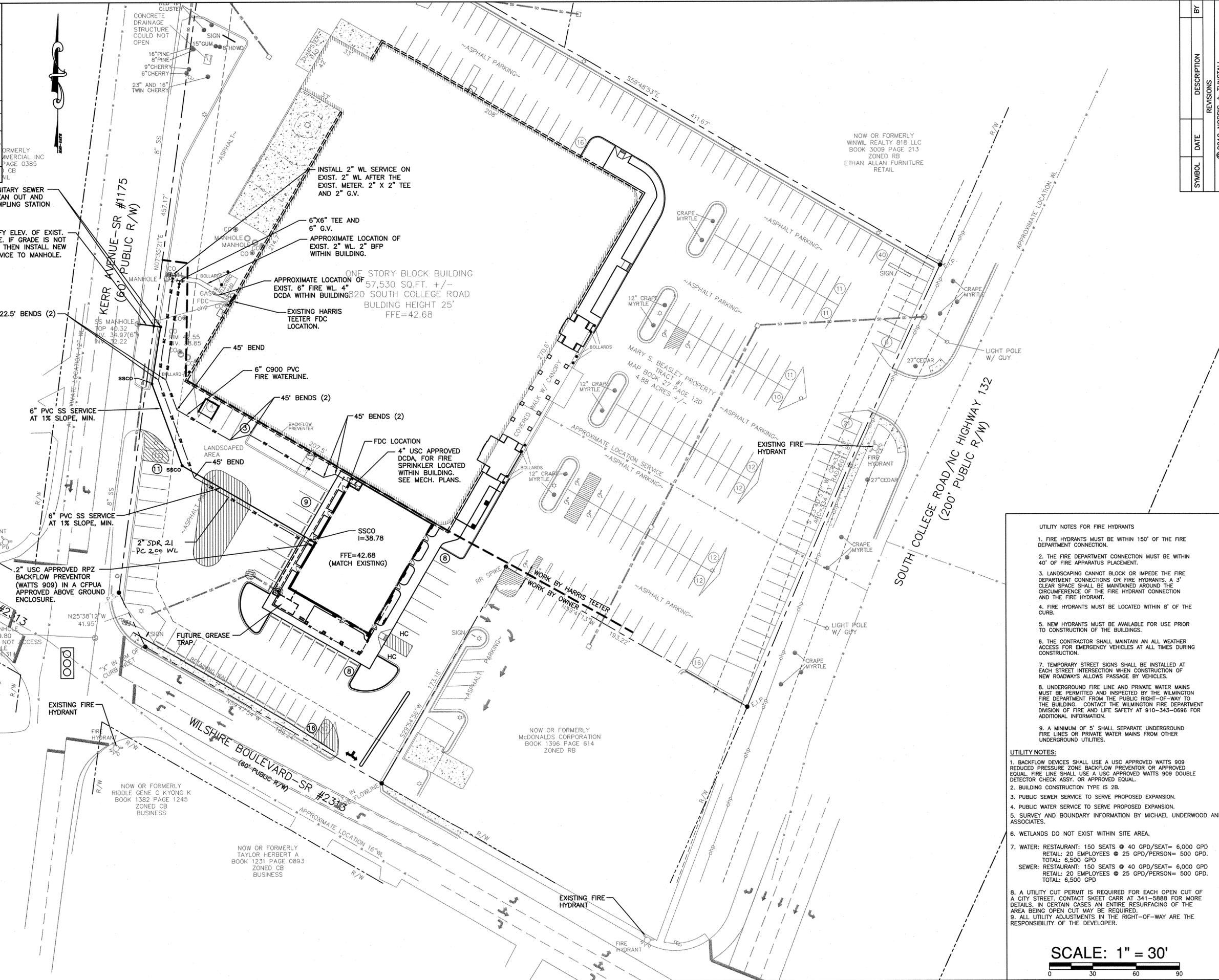
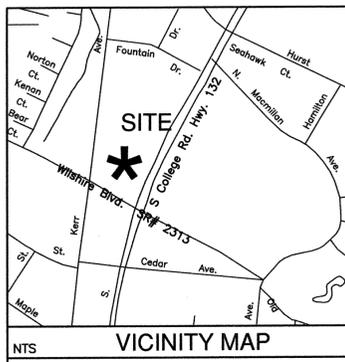
**NORRIS & TUNSTALL
CONSULTING ENGINEERS, INC.**
1127 FLORAL PARKWAY PHONE (910) 343-9853
SUITE 300 & 400 FAX (910) 343-9604
WILMINGTON, NC 28403 office@njtceng.com
license #C-3641

12050/12055
DES. JST
CHK. JPN
DRWL. NKS
DATE 12/10/12



SCALE: 1" = 30'

C2



VICINITY MAP

FORMERLY COMMERCIAL INC PAGE 0385 CB

SANITARY SEWER CLEAN OUT AND SAMPLING STATION

FIELD VERIFY ELEV. OF EXIST. SS SERVICE. IF GRADE IS NOT SUFFICIENT THEN INSTALL NEW 6" SS SERVICE TO MANHOLE.

NOW OR FORMERLY BEASLEY JEAN B HRS ETAL BOOK 9903 PAGE 1706 ZONED CB RETAIL CONVENIENCE/GAS

6" PVC SS SERVICE AT 1% SLOPE, MIN.

2" USC APPROVED RPZ BACKFLOW PREVENTOR (WATTS 909) IN A CFWA APPROVED ABOVE GROUND ENCLOSURE.

NOW OR FORMERLY COOK JEFFREY D DANA A BOOK 5356 PAGE 1207 ZONED CB RETAIL FLORIST

EXISTING FIRE HYDRANT

NOW OR FORMERLY RIDDLE GENE C KYONG K BOOK 1382 PAGE 1245 ZONED CB BUSINESS

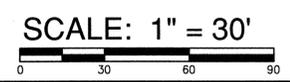
NOW OR FORMERLY TAYLOR HERBERT A BOOK 1231 PAGE 0893 ZONED CB BUSINESS

SURVEY LEGEND

- E.I.P. EXISTING IRON PIPE
- I.P.S. IRON PIPE SET
- R/W RIGHT OF WAY
- MANHOLE
- LIGHT POLE
- DROP INLET
- POWER POLE
- CLEANOUT
- OVERHEAD POWER
- TELEPHONE PEDESTAL
- WATER METER

NOW OR FORMERLY WINWIL REALTY 818 LLC BOOK 3009 PAGE 213 ZONED RB ETHAN ALLAN FURNITURE RETAIL

- UTILITY NOTES FOR FIRE HYDRANTS**
1. FIRE HYDRANTS MUST BE WITHIN 150' OF THE FIRE DEPARTMENT CONNECTION.
 2. THE FIRE DEPARTMENT CONNECTION MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
 3. LANDSCAPING CANNOT BLOCK OR IMPEDE THE FIRE DEPARTMENT CONNECTIONS OR FIRE HYDRANTS. A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE FIRE HYDRANT CONNECTION AND THE FIRE HYDRANT.
 4. FIRE HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
 5. NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS.
 6. THE CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
 7. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.
 8. UNDERGROUND FIRE LINE AND PRIVATE WATER MAINS MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
 9. A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- UTILITY NOTES:**
1. BACKFLOW DEVICES SHALL USE A USC APPROVED WATTS 909 REDUCED PRESSURE ZONE BACKFLOW PREVENTOR OR APPROVED EQUAL. FIRE LINE SHALL USE A USC APPROVED WATTS 909 DOUBLE DETECTOR CHECK ASSY. OR APPROVED EQUAL.
 2. BUILDING CONSTRUCTION TYPE IS 2B.
 3. PUBLIC SEWER SERVICE TO SERVE PROPOSED EXPANSION.
 4. PUBLIC WATER SERVICE TO SERVE PROPOSED EXPANSION.
 5. SURVEY AND BOUNDARY INFORMATION BY MICHAEL UNDERWOOD AND ASSOCIATES.
 6. WETLANDS DO NOT EXIST WITHIN SITE AREA.
 7. WATER: RESTAURANT: 150 SEATS @ 40 GPD/SEAT= 6,000 GPD
 RETAIL: 20 EMPLOYEES @ 25 GPD/PERSON= 500 GPD.
 TOTAL: 6,500 GPD
 SEWER: RESTAURANT: 150 SEATS @ 40 GPD/SEAT= 6,000 GPD
 RETAIL: 20 EMPLOYEES @ 25 GPD/PERSON= 500 GPD.
 TOTAL: 6,500 GPD
 8. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT SKEET CARR AT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 9. ALL UTILITY ADJUSTMENTS IN THE RIGHT-OF-WAY ARE THE RESPONSIBILITY OF THE DEVELOPER.



UTILITY SITE PLAN
HARRIS TEETER BUILDING EXPANSION AND RENOVATION, STORE #158
820 S. COLLEGE RD.
WILMINGTON, N. C. 28403

OWNER/DEVELOPER
 MR. WILL DICKSON, MANAGER
 LEGACY PROPERTIES
 COLLEGE ROAD INVESTMENTS, LLC
 2800 FAIRVIEW ROAD, SUITE 210
 RALEIGH, NC 27608
 704-982-0466

NORRIS & TUNSTALL
CONSULTING ENGINEERS, INC.
 1127 FLORAL PARKWAY
 SUITES 200 & 400
 WILMINGTON, NC 28403
 PHONE (910) 343-9853
 FAX (910) 343-9804
 office@njecg.com
 license #0-3641

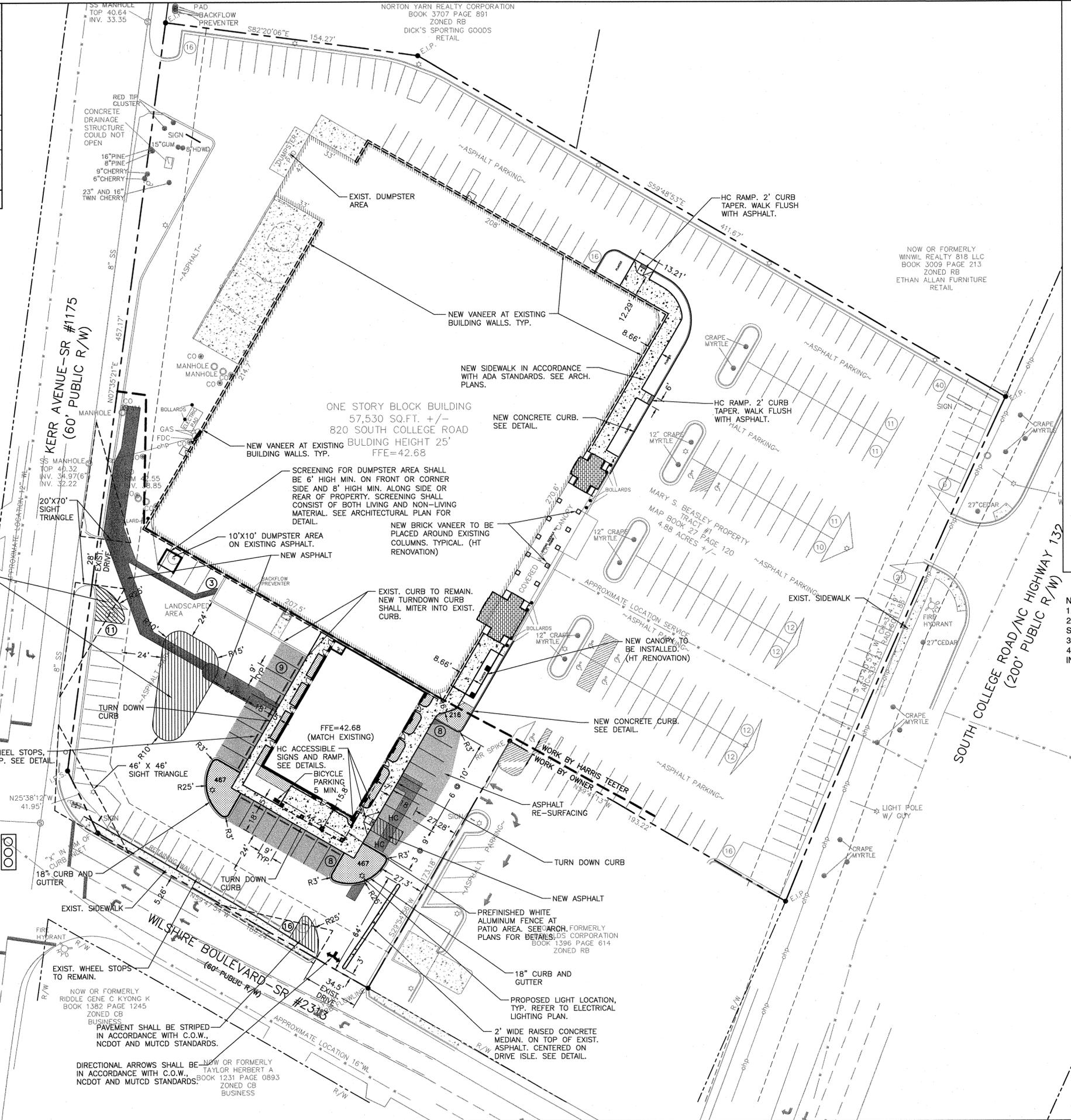
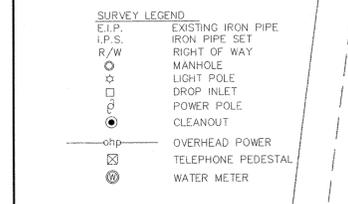
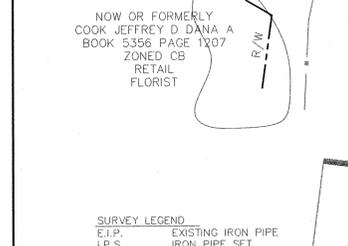
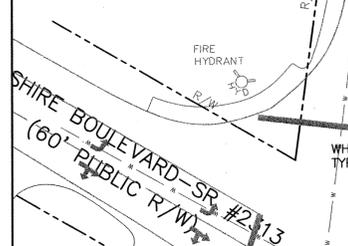
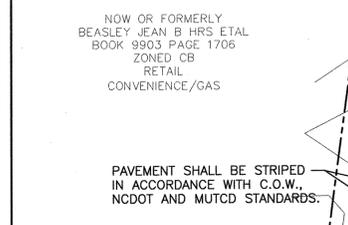
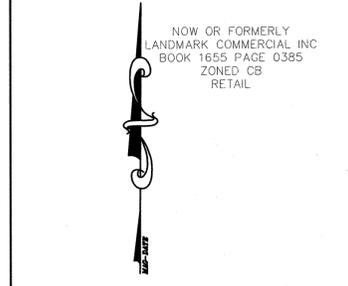
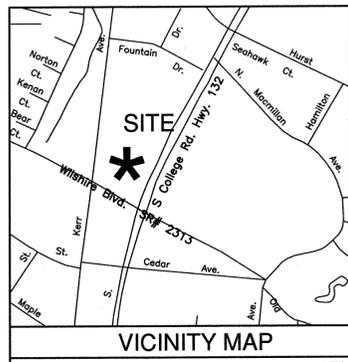
12050/12055

DES. JST
 Ckd. JPN
 DRWN. NKS

DATE 12/10/12

C3

© 2012 NORRIS & TUNSTALL



SITE DATA TABLE	
USE:	GROCERY STORE/RETAIL/RESTAURANT
SITE AREA:	4.88 ACRES (212,842 SF)
PARCEL ID#:	RO5515-002-000-000
MAP ID#:	313715.62.8990.000
ZONING:	URBAN
CAMA LAND USE:	RB REGIONAL BUSINESS
BUILDING SETBACKS (REQUIRED):	FRONT SETBACK: 25' INTERIOR SIDE SETBACK: 0' CORNER SIDE SETBACK: 25' REAR SETBACKS: 15'
BUILDING SETBACKS (EXISTING):	FRONT SETBACK: 228' INTERIOR SIDE SETBACK: 60.1' CORNER SIDE SETBACK: 173.18' REAR SETBACKS: 31.5'
BUILDING SETBACKS (PROPOSED):	FRONT SETBACK: 57' CORNER SIDE SETBACK: 83' REAR SETBACKS: 116'
MAX. LOT COVERAGE:	40% (EXIST. LOT COVERAGE: 27.0%)
MAX. BUILDING HEIGHT:	35' (PROPOSED LOT COVERAGE: 29.7%)
EXISTING BUILDING:	
EXISTING BUILDING SQUARE FOOTAGE:	57,530 SF
EXISTING BUILDING HEIGHT:	25'
EXIST. BUILDING CONSTRUCTION TYPE:	2B
EXIST. PARKING:	275 (8 ARE HC)
PROPOSED BUILDING EXPANSION:	5,736 SF
EXPANSION RETAIL SQUARE FOOTAGE:	1,661 SF
EXPANSION RESTAURANT SQUARE FOOTAGE:	4,075 SF
RESTAURANT SEATING INTERIOR/EXTERIOR:	150
EXPANSION BUILDING HEIGHT:	19.5'-26' FRONT, SIDE
EXPANSION BUILDING CONSTRUCTION TYPE:	18.5' REAR
PARKING REQUIREMENT:	
PARKING REQ'D: RETAIL:	200/SF MAX, 400/SF MIN.
EXISTING BUILDING:	288 MAX, 144 MIN.
NEW BUILDING:	8 MAX, 4 MIN.
PARKING REQ'D: RESTAURANT:	1 PER 2.6 SEATS MAX, 1 PER 4 SEATS MIN
NEW BUILDING:	60 MAX, 38 MIN.
TOTAL PARKING REQUIRED:	356 MAX, 186 MIN.
ACCESSIBLE PARKING REQUIRED:	8 MAX, 6 MIN.
TOTAL PARKING PROVIDED:	261
ACCESSIBLE PARKING PROVIDED:	10
BICYCLE PARKING:	5 REQUIRED PROVIDED 5
EXISTING IMPERVIOUS AREA:	
EXIST. BUILDING:	57,530 SF
EXIST. SIDEWALK/CONCRETE:	11,172 SF
EXIST. ASPHALT:	133,417 SF
EXIST. % IMPERVIOUS:	95%
EXISTING IMPERVIOUS REMOVED:	11,224 SF
IMPERVIOUS AREA ADDED:	
CANOPY (EXISTING BLDG.):	590 SF
BUILDING:	5,736 SF
PATIO AREA:	720 SF
SIDEWALK:	1,980 SF
ASPHALT, CURB AND GUTTER:	953 SF
TOTAL:	9,979 SF
PROPOSED % IMPERVIOUS:	94.3%
LANDSCAPE AREA REQUIRED (REFER TO LANDSCAPE PLAN):	
EXISTING BUILDING:	57,530 SF
BUILDING EXPANSION:	5,736 SF
% BUILDING EXPANSION:	9.97%
LANDSCAPING UPDATE TO EXISTING SITE NOT REQUIRED.	
INTERIOR LANDSCAPING PROVIDED FOR NEW DEVELOPMENT:	1,150 SF
FOUNDATION PLANTINGS: 12% FACE OF BUILDING X LENGTH	
FRONT: (85)(22.75)(12)=244 SF REQUIRED 330 PROVIDED	
REAR: (85)(15.5)(12)=206 SF REQUIRED 251 PROVIDED	
SIDE: (84)(22.75)(12)=175 SF REQUIRED 182 PROVIDED	
15 TREES PER DISTURBED ACRE REQUIRED	
DISTURBED AREA: 0.47 AC (20,795 SF)	
7 TREES REQUIRED	

- NOTES:
1. TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
 2. ALL PAVEMENT PARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS SHALL BE THERMOPLASTIC AND MEET CITY AND NCDOT STANDARDS.
 3. TRASH REMOVAL WILL BE BY HANDCART.
 4. ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.

LEGEND	
	PROPOSED NEW CONCRETE
	PROPOSED NEW ASPHALT
	PROPOSED ASPHALT RE-SURFACING
	PROPOSED NEW LANDSCAPING

SCALE: 1" = 30'

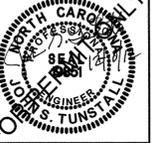
SYMBOL	DATE	REVISIONS	DESCRIPTION	BY
		© 2012 NORRIS & TUNSTALL		

LAYOUT SITE PLAN
HARRIS TEETER BUILDING EXPANSION AND RENOVATION STORE #158
 820 S. COLLEGE RD.
 WILMINGTON, N. C. 28403

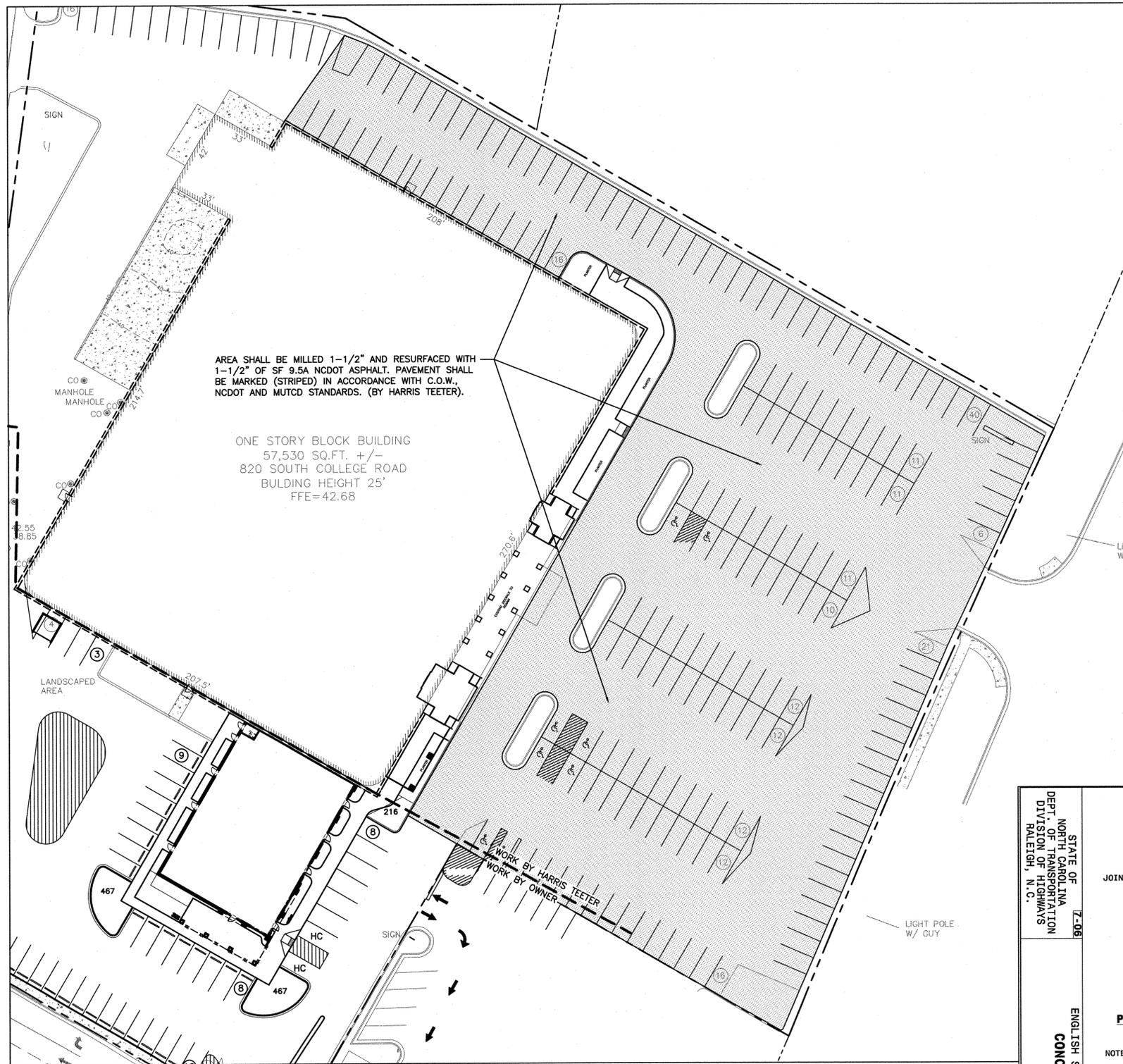
OWNER/DEVELOPER
 MR. WILL DICKSON, MANAGER
 LEGACY PROPERTIES
 COLLEGE ROAD INVESTMENTS, LLC
 2600 FAIRVIEW ROAD, SUITE 210
 RALEIGH, NC 27608
 704-982-0466

NORRIS & TUNSTALL
 CONSULTING ENGINEERS, INC.
 1127 FLORAL PARKWAY
 SUITE 300 & 400
 WILMINGTON, NC 28403
 PHONE (910) 343-8653
 FAX (910) 343-9604
 office@njcing.com
 license #9-3691

12050/12055
 DES. JST
 Ckd. JPN
 DRWN. NKS
 DATE 12/10/12



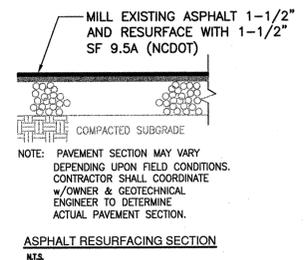
C4



AREA SHALL BE MILLED 1-1/2" AND RESURFACED WITH 1-1/2" OF SF 9.5A NCDOT ASPHALT. PAVEMENT SHALL BE MARKED (STRIPED) IN ACCORDANCE WITH C.O.W., NCDOT AND MUTCD STANDARDS. (BY HARRIS TEETER).

ONE STORY BLOCK BUILDING
57,530 SQ.FT. +/-
820 SOUTH COLLEGE ROAD
BUILDING HEIGHT 25'
FFE=42.68

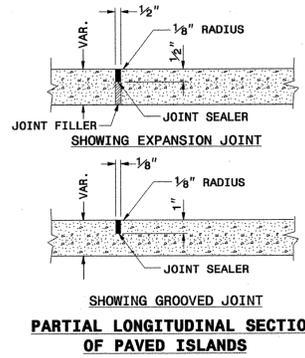
RESURFACING DETAIL PLAN
SCALE: 1"=30'



STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

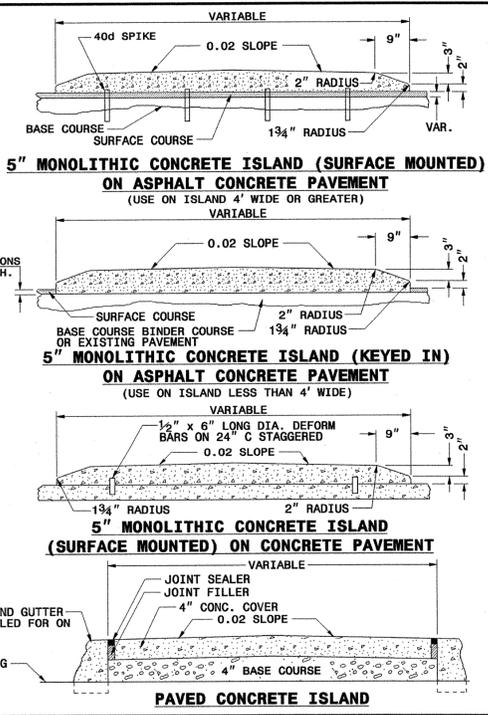
ENGLISH STANDARD DRAWING FOR
CONCRETE ISLANDS

SHEET 1 OF 1
852.01



NOTE:
WHEN MONOLITHIC CONCRETE ISLAND IS ON TOP OF SURFACE COURSE, DRIVE 40d SPIKES INTO SURFACE UNDER MONOLITHIC CONCRETE ISLAND. STAGGER SPIKES ON 2' CENTERS EACH WAY.
IN THE CONCRETE PAVEMENT (ISLAND) AND CONCRETE ISLAND (MONOLITHIC) PLACE 1/2" EXPANSION JOINTS AT 30' INTERVALS AND GROOVED JOINTS 1" DEEP AT 10' INTERVALS BETWEEN EXPANSION JOINTS.
LINE UP THE JOINTS IN THE CONCRETE PAVEMENT (ISLAND) WITH THE JOINTS IN THE CURB OR CURB AND GUTTER.
FILL AND SEAL THE TOP 1/2" OF THE EXPANSION JOINTS AND THE ENTIRE DEPTH OF GROOVED JOINTS WITH JOINT SEALER.
FOR JOINTS IN THE CURB AND/OR CURB AND GUTTER, SEE STANDARD NO. 846.01

SEE TYPICAL SECTIONS FOR PAVEMENT DEPTH. KEY IN ON THE LAST LAYER OF PAVEMENT SURFACE COURSE



ENGLISH STANDARD DRAWING FOR
CONCRETE ISLANDS

SHEET 1 OF 1
852.01

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

NOTES AND DETAILS
HARRIS TEETER BUILDING EXPANSION AND RENOVATION, STORE #158
820 S. COLLEGE RD.
WILMINGTON, N. C. 28403

OWNER/DEVELOPER
MR. WILL DICKSON, MANAGER
LEGACY PROPERTIES
COLLEGE ROAD INVESTMENTS, LLC
2800 FAIRVIEW ROAD, SUITE 210
RALEIGH, NC 27608
704-982-0468

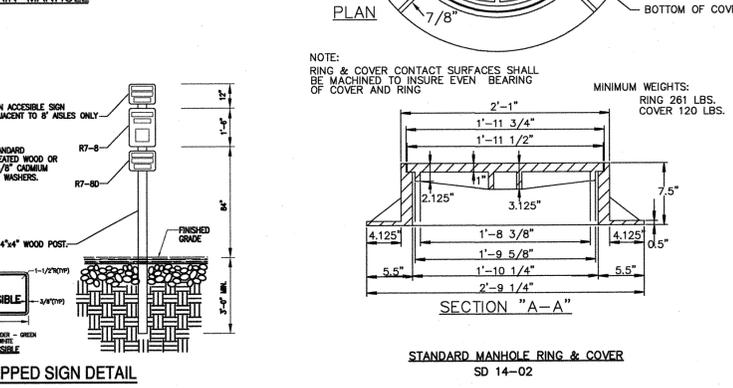
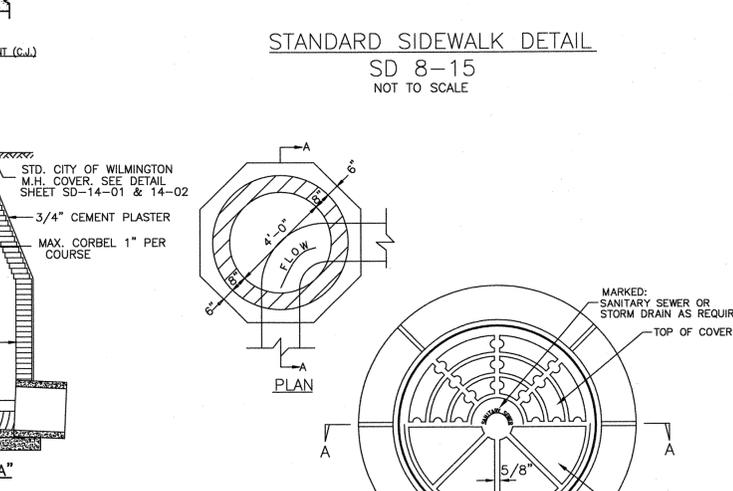
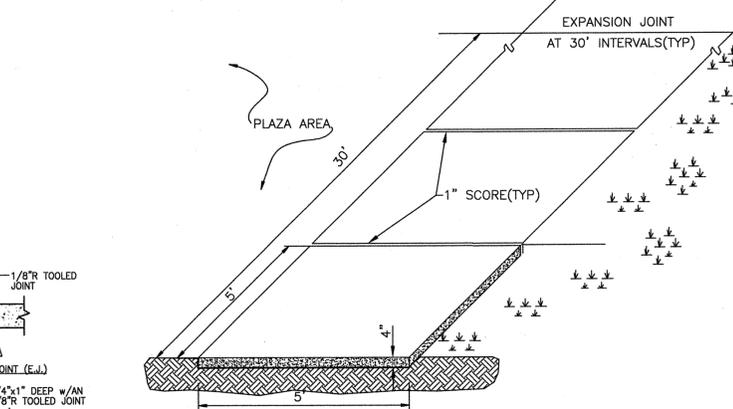
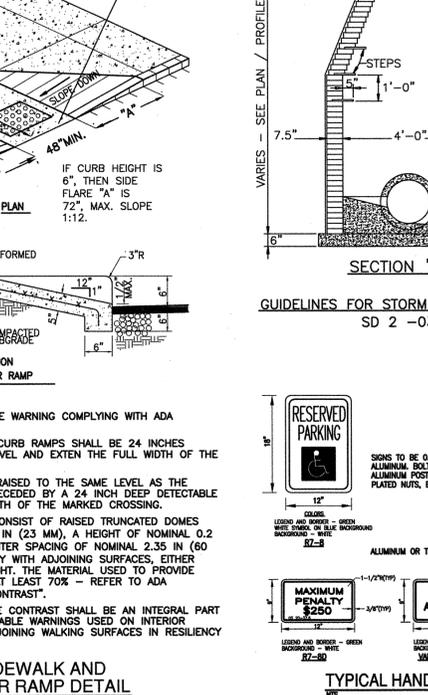
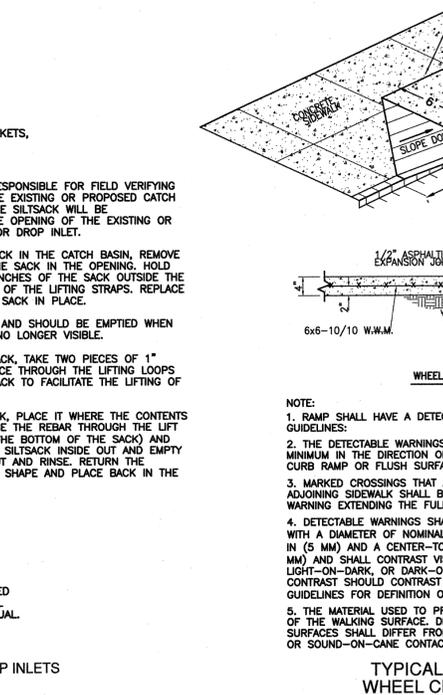
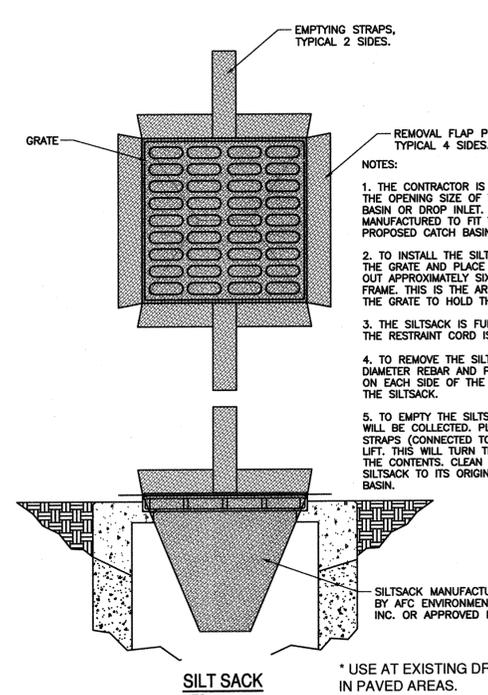
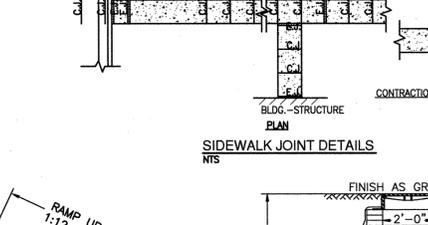
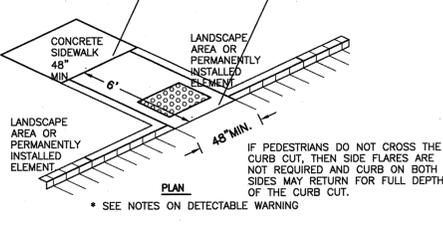
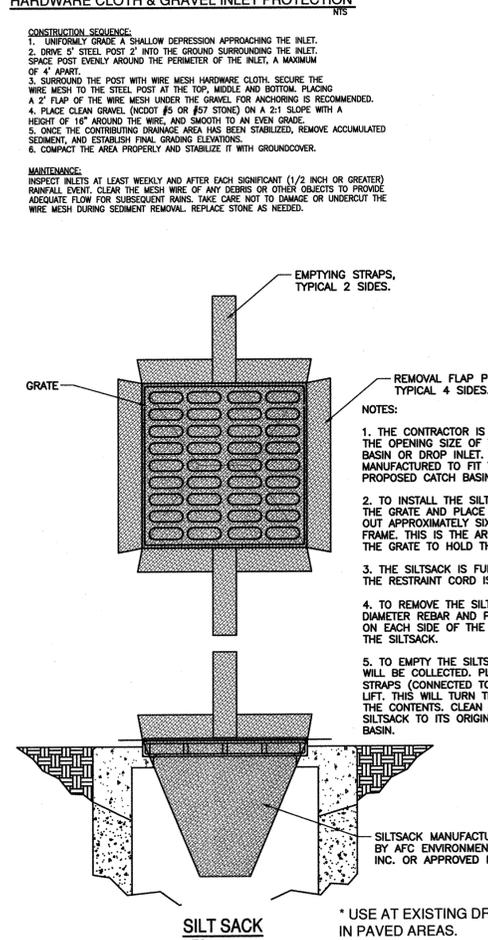
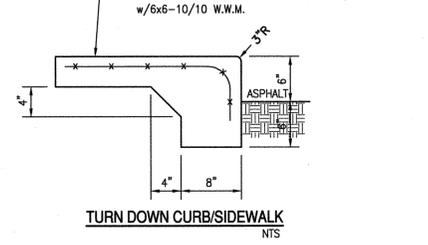
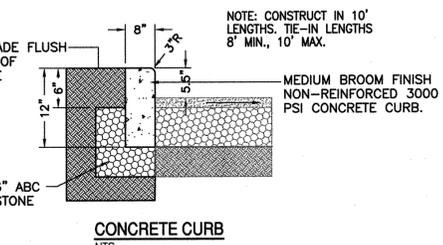
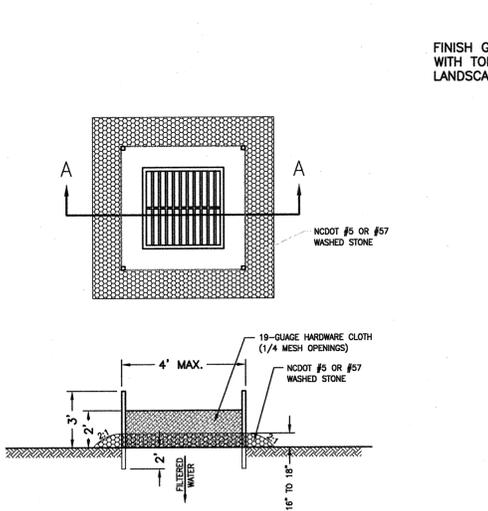
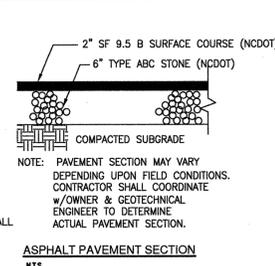
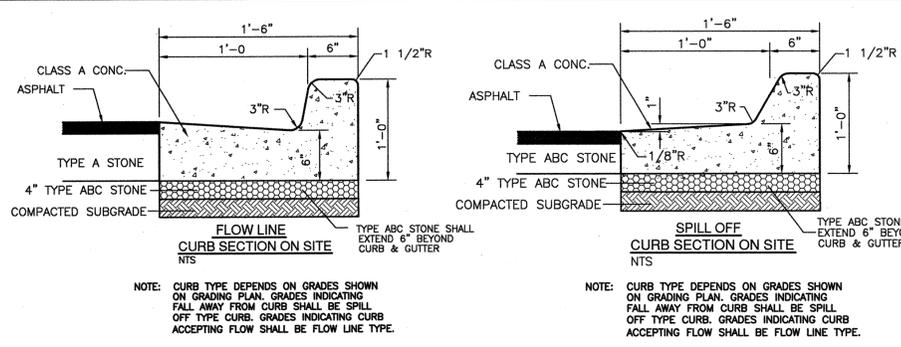
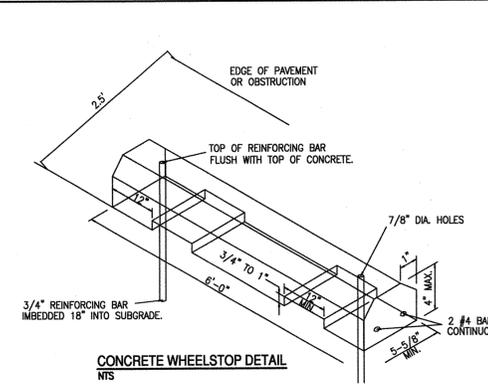
NORRIS & TUNSTALL
CONSULTING ENGINEERS, INC.
1127 FLORAL PARKWAY
SUITES 300 & 400
WILMINGTON, NC 28403
PHONE (910) 343-9653
FAX (910) 343-9604
office@nkteng.com
license #C-3641

12050/12055

DES. JUST
CHK. JFN
DRWN. NKS
DATE 12/10/12



C5



EROSION CONTROL NOTES AND MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF-INCH RAINFALL.
2. SEDIMENT WILL BE REMOVED FROM THE GRAVEL INLET PROTECTION, WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT.

TREE PROTECTION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING TREE PROTECTION FENCING AROUND THE EXISTING TREES BEING SAVED PRIOR TO BEGINNING ANY CONSTRUCTION WORK. THE CONTRACTOR SHALL SAWN CUT ANY PERIMETER TREE ROOTS THAT CONFLICT WITH GRADING OPERATIONS. EXISTING TREES WILL BE REMOVED FROM THE SITE AS REQUIRED FOR CONSTRUCTION OF PONDS, ROADWAYS, ROAD IMPROVEMENTS, AND UTILITY INSTALLATION. ALL THE EXISTING VEGETATION AND TREES WILL REMAIN OUTSIDE THE DISTURBED AREA/CONSTRUCTION LIMITS.
2. PROTECTIVE FENCING IS TO BE PROPERLY MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
3. LAND CLEARING AND CONSTRUCTION CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS AND METHODS.
4. ANY TREES AND / OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING AND GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
5. NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.

SITE WORK NOTES:

1. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH FIELD CONSTRUCTION CONDITIONS.
2. CONTRACTOR SHALL COORDINATE WORK WITH NCDOT AND LOCAL RIGHT OF WAYS WITH PROPER AUTHORITIES AND SHALL MEET ANY REQUIREMENTS AS TO TRAFFIC CONTROL AND CONNECTION TO EXISTING STREETS.
3. CLEARING AND GRUBBING: REMOVE ALL TREES AS REQUIRED UNLESS OTHERWISE NOTED TO REMAIN, STUMPS, ROOTS, SHRUBBERY, ASPHALT, CONCRETE, STRUCTURES, BURIED UTILITIES, STORAGE TANKS, ETC. WITHIN LIMITS OF CONSTRUCTION.
4. STRIPPING: BEFORE EXCAVATING OR FILLING, REMOVE ALL TOPSOIL, WOOD, LEAVES, AND ANY OTHER UNSUITABLE MATERIAL.
5. MUCKING: REMOVE ANY SOFT, ORGANIC SILT MATERIALS AND EXISTING BURIED CONSTRUCTION DEBRIS AS REQUIRED AND FILL TO SUBGRADE ELEVATIONS WITH A CLEAN SELECT-FILL COMPACTED AS SPECIFIED.
6. DISPOSAL: CLEARED, GRUBBED, STRIPPED OR EXCAVATED SPOIL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES.
7. BORROW MATERIAL: THE CONTRACTOR SHALL FURNISH BORROW MATERIAL REQUIRED FROM OFF SITE AND OBTAIN ALL REQUIRED PERMITS ASSOCIATED WITH BORROW OPERATIONS.
8. FILL AND COMPACTION: AFTER STRIPPING THOSE AREAS DESIGNATED TO RECEIVE FILL SHOULD BE PROOFROLLED. THE TOP 8" OF SUBGRADE SHALL BE COMPACTED TO AT LEAST 98% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. ANY AREA WHICH PUMPS OR RUTS EXCESSIVELY SHOULD BE UNDERCUT AND REPLACED WITH A CLEAN, SILTY OR CLAYEY SAND HAVING A UNIFIED SOIL CLASSIFICATION OF SP, SM, OR SC. FILL MATERIAL 5" OUTSIDE OF BUILDING AREAS SHALL THEN BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) WITH THE UPPER 12 INCHES OF SUBGRADE BEING COMPACTED TO 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. FILL MATERIALS WITHIN BUILDING AREAS TO A LINE OUTSIDE THE BUILDING AREAS SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. IN AREAS WHERE NO STRUCTURAL FILL IS TO BE PLACED THE UPPER 12 INCHES OF IN-PLACE SUBGRADE SHOULD BE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. IF THE MATERIAL IS TOO DRY TO COMPACT TO THE REQUIRED DENSITY EACH LAYER SHALL BE WETTED IN ACCORDANCE WITH COMPACTION REQUIREMENTS. IF THE MATERIAL IS TOO WET TO SECURE PROPER COMPACTION, IT SHALL BE HARROWED REPEATEDLY OR OTHERWISE AERATED WITH SUITABLE EQUIPMENT UNTIL OPTIMUM MOISTURE CONTENT IS OBTAINED. FILL SHALL BE PLACED IN SUCH A MANNER THAT THE SURFACE WILL DRAIN READILY AT ALL TIMES. SEE STRUCTURAL NOTES AND SOILS REPORT FOR ADDITIONAL REQUIREMENTS.
9. LAYOUT: THE CONTRACTOR SHALL PROVIDE ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION.
11. EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION FROM SURVEY BY MICHAEL UNDERWOOD AND ASSOC. AND PROVIDED BY OWNER.
12. THE CONTRACTOR SHALL VERIFY DIMENSIONS AT JOBSITE.
13. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF RELOCATION OR DISCONNECTION OF ALL EXISTING UTILITIES WITH APPLICABLE AGENCIES AND AUTHORITIES.
14. ALL PAVEMENT AND BASE MATERIALS AND WORKMANSHIP SHALL CONFORM TO NCDOT STANDARDS.
15. WATER AND SEWER SERVICES SHALL BE INSTALLED TO MEET LOCAL AND STATE PLUMBING CODES. METER AND TAPS SHALL MEET ALL LOCAL REQUIREMENTS.
16. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE.
17. SEE SOILS REPORT FOR ADDITIONAL REQUIREMENTS.
18. CONTRACTOR SHALL NOTE THAT EARTHWORK QUANTITIES ARE HIS RESPONSIBILITY. PLANS DO NOT REPRESENT A BALANCED EARTHWORK CONDITION.
19. USE WHITE LANE MARKING PAINT FOR ALL PAVEMENT MARKINGS. PAINT SHALL BE A CHLORINATED RUBBER ALKYL, FS TT-P-115, TYPE III, FACTORY MIXED, QUICK DRYING, NON-BLEEDING.
20. REFER TO THE PLUMBING DRAWINGS FOR LOCATION AND INVERTS OF NEW WASTE AND WATER LINES.

CITY OF WILMINGTON STANDARD NOTES

1. CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING AT 1-800-632-4949.
2. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
3. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
5. INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
6. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
7. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
8. IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SIGNAGE INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. POSTED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
9. CONTACT TRAFFIC ENGINEERING AT 341-7888 FOURTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
10. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR MORE DETAILS. FOR CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
11. ANY BROKEN OR MISSING SIDEWALK PANELS AND CURBING WILL BE REPLACED.
12. CONTACT KAREN DIXON AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
13. PROJECT SHALL COMPLY WITH CPFWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR APPROVAL. CALL 343-5910 FOR INFORMATION.
14. IF THE CONTRACTOR DESIRES CITY WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
15. ANY IRRIGATION SYSTEM SUPPLIED BY CPFWA WATER SHALL COMPLY WITH CPFWA CROSS CONNECTION CONTROL REGULATIONS. CALL 332-6558 FOR INFORMATION.
16. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CPFWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCC/CCR OR ASSE.
17. WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH SINGLE STRAND COPPER WIRE INSTALLED THE ENTIRE LENGTH AND SECURED TO ALL VALVES. THIS WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
18. THE NUMBER AND SPACING OF DRIVEWAYS FOR ALL INTERCONNECTED SITES WILL BE DETERMINED BY THE COMBINED FRONTAGE OF THE INTERCONNECTED PROPERTIES.
19. UNDERGROUND FIRE LINE MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT AND THE PUBLIC ROW TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0698 FOR ADDITIONAL INFORMATION.

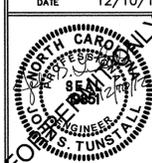
SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

NOTES AND DETAILS
HARRIS TEETER BUILDING EXPANSION AND RENOVATION, STORE #158
 820 S. COLLEGE RD.
 WILMINGTON, N. C. 28403

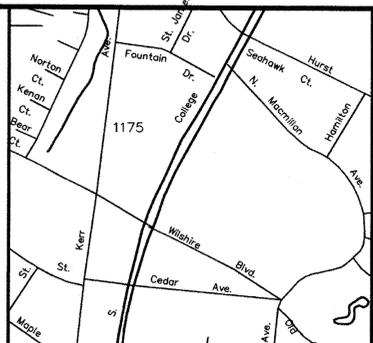
OWNER/DEVELOPER
 MR. WILL DICKSON, MANAGER
 LEGACY PROPERTIES
 COLLEGE ROAD INVESTMENTS, LLC
 2600 FAIRVIEW ROAD, SUITE 210
 RALEIGH, NC 27608
 704-982-0466

NORRIS & TUNSTALL
CONSULTING ENGINEERS, INC.
 1127 FLORAL PARKWAY
 SUITES 300 & 400
 WILMINGTON, NC 28403
 PHONE (910) 343-9653
 FAX (910) 343-9604
 office@nkteng.com
 license #0-10841

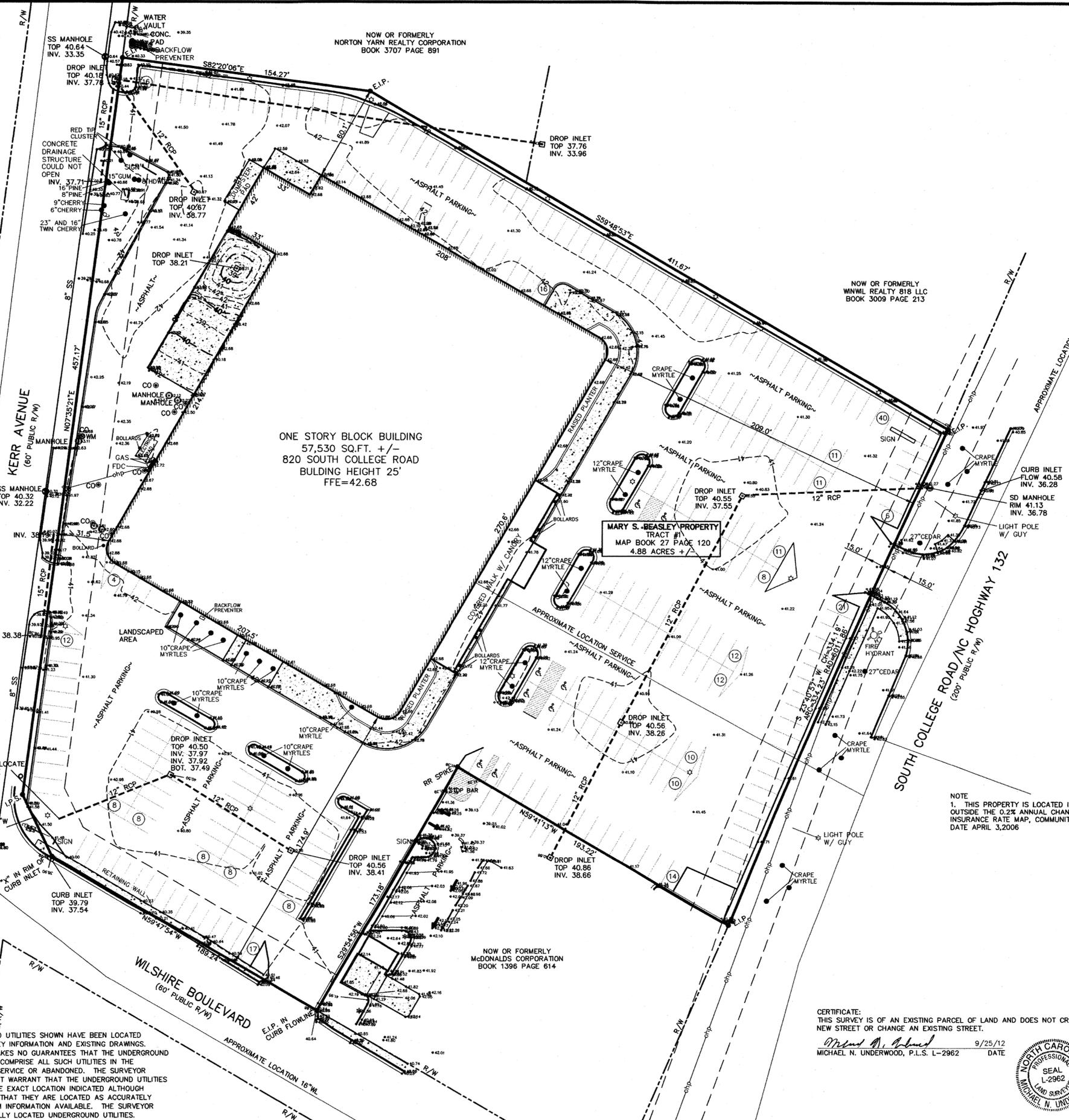
12050/12055
 DES. JST
 CDD. JPN
 DRWN. NKS
 DATE 12/10/12



C6



VICINITY MAP
NO SCALE



ONE STORY BLOCK BUILDING
57,530 SQ.FT. +/-
820 SOUTH COLLEGE ROAD
BUILDING HEIGHT 25'
FFE=42.68

MARY S. BEASLEY PROPERTY
TRACT #1
MAP BOOK 27 PAGE 120
4.88 ACRES +/-

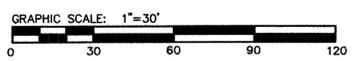
NOW OR FORMERLY
WINNIE REALTY 818 LLC
BOOK 3009 PAGE 213

NOW OR FORMERLY
MCDONALDS CORPORATION
BOOK 1396 PAGE 614

NOTE
1. THIS PROPERTY IS LOCATED IN ZONE "X" AREAS DETERMINED TO BE
OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FLOOD
INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 3720313700J, EFFECTIVE
DATE APRIL 3,2006

- LEGEND
- E.I.P. EXISTING IRON PIPE
 - I.P.S. IRON PIPE SET
 - R/W RIGHT OF WAY
 - MANHOLE
 - LIGHT POLE
 - DROP INLET
 - POWER POLE
 - CLEANOUT
 - ohp OVERHEAD POWER
 - TELEPHONE PEDESTAL
 - WATER METER
 - FIRE HYDRANT

SURVEY REFERENCE
MAP BOOK 27 PAGE 120
BOOK 1397 PAGE 0935
BOOK 1397 PAGE 0935



ALTA/ACSM

MARY S. BEASLEY PROPERTY
TRACT #1 - 4.88 ACRES +/-
MAP BOOK 27 PAGE 120
820 SOUTH COLLEGE ROAD
CITY OF WILMINGTON NEW HANOVER COUNTY
NORTH CAROLINA

Client: Will Dickson - Development Manager
Chartwell Property Group
2600 Fairview Road, Suite 210
Raleigh, NC 27608

UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED
FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS.
THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND
UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE
AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR
FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES
SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH
HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY
AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR
HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES.

MICHAEL UNDERWOOD AND ASSOCIATES, P.A.
102 CINEMA DRIVE, SUITE A
WILMINGTON, NC 28403
PHONE: 910-815-0650
FAX: 910-815-0393
E-MAIL: mui@bizcc.com Firm License #C-6015

SURVEYED: LB APPROVED: MNU
DRAWN BY: TBM DATE: SEPT, 12
CHECKED BY: SCALE: 1"=30'

CERTIFICATE:
THIS SURVEY IS OF AN EXISTING PARCEL OF LAND AND DOES NOT CREATE A
NEW STREET OR CHANGE AN EXISTING STREET.

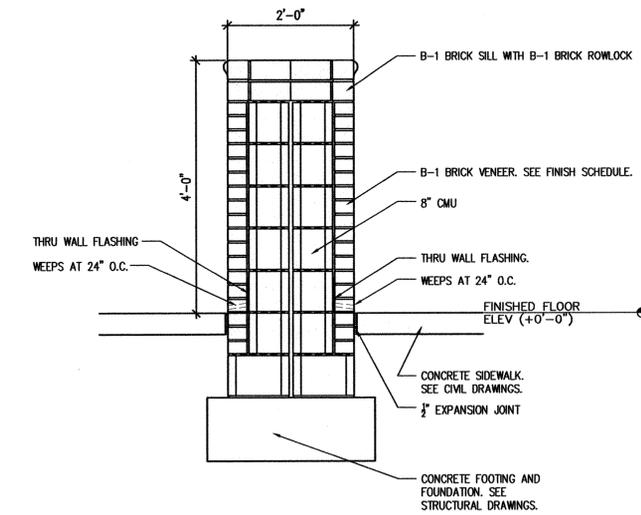
Michael N. Underwood 9/25/12
MICHAEL N. UNDERWOOD, P.L.S. L-2962 DATE



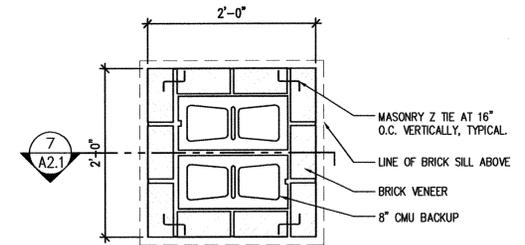
NORTH CAROLINA
NEW HANOVER COUNTY

I, MICHAEL N. UNDERWOOD, CERTIFY THAT THIS PLAT WAS
DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY
MADE UNDER MY SUPERVISION DESCRIPTION AS SHOWN ON
THE FACE OF THIS PLAT RATIO OF PRECISION AS CALCULATED
BY COMPUTER IS 1/10,000 + THAT THE BOUNDARIES NOT
SURVEYED ARE SHOWN BY BROKEN LINES PLOTTED FROM
INFORMATION REFERENCED THAT THIS PLAT WAS PREPARED
IN ACCORDANCE WITH "THE STANDARDS OF PRACTICE FOR
LAND SURVEYING IN NORTH CAROLINA" WITNESS MY ORIGINAL
SIGNATURE, LICENSE NUMBER AND SEAL THIS 25TH
DAY OF SEPT. A.D., 2012

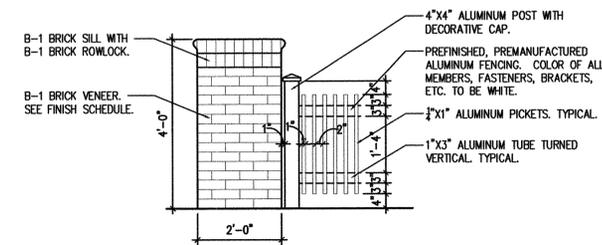
Michael N. Underwood
MICHAEL N. UNDERWOOD, P.L.S.
LICENSE NUMBER L-2962
SEAL OR STAMP ©2012 MICHAEL UNDERWOOD and ASSOCIATES, P.A.



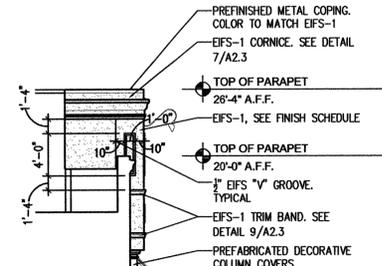
7 PATIO FENCE SECTION
 SCALE: 3/4" = 1'-0"



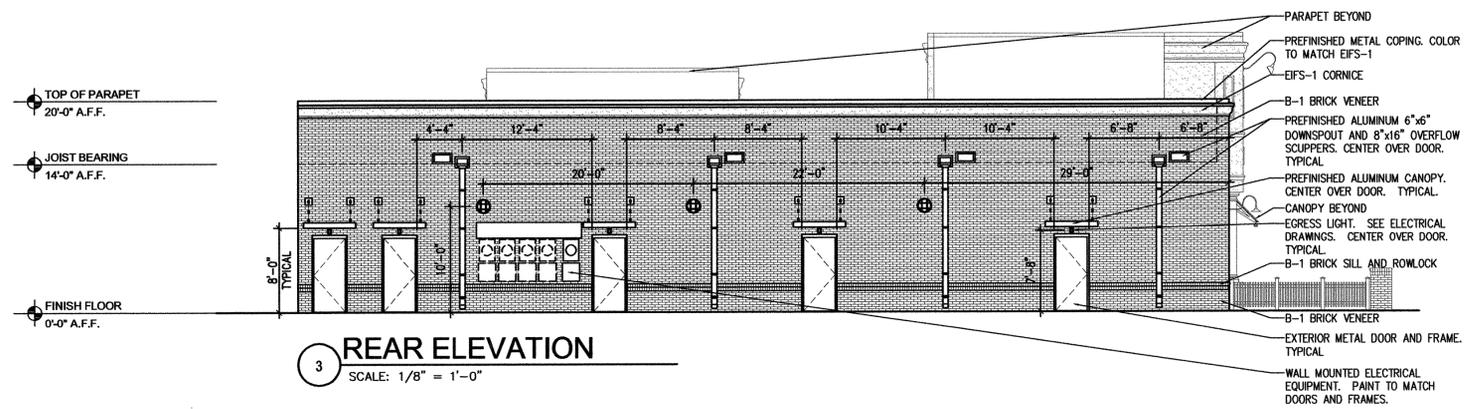
6 PATIO FENCE PLAN DETAIL
 SCALE: 1" = 1'-0"



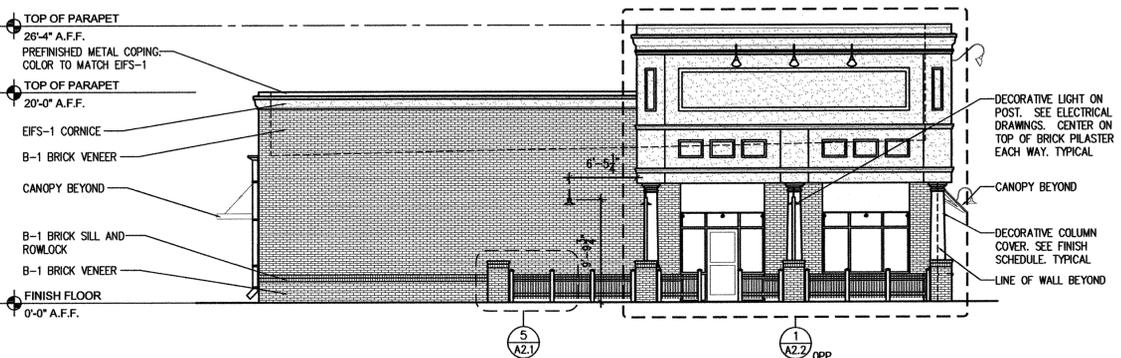
5 PATIO FENCE ELEVATION
 SCALE: 1/2" = 1'-0"



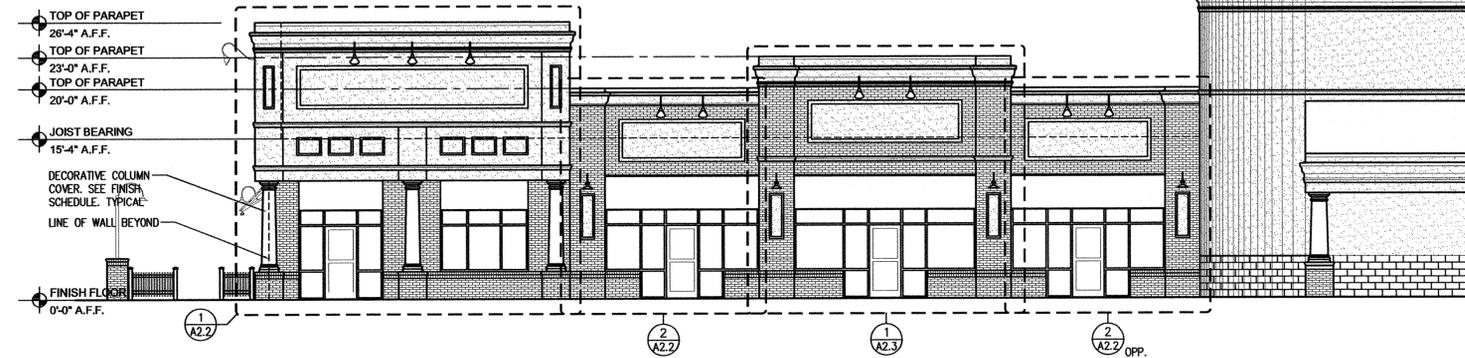
4 PARAPET ELEVATION OVER ROOF
 SCALE: 1/8" = 1'-0"



3 REAR ELEVATION
 SCALE: 1/8" = 1'-0"



2 LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

NOTE:
 G.C. TO PROVIDE AND INSTALL KNOX BOX ON EXTERIOR OF BUILDING. COORDINATE LOCATION IN FIELD WITH FIRE MARSHALL.

SOUTH COLLEGE MARKETPLACE RETAIL SHOPS BUILDING
 South College Road
 Wilmington, North Carolina

Developed By:
 Chartwell Property Group

PROJECT MANAGER: **Rejean Bhow**
 JOB NO.: **12-RetailShops-02**
 DR. BY: **JRH**

REVISIONS	Date
No.	Date

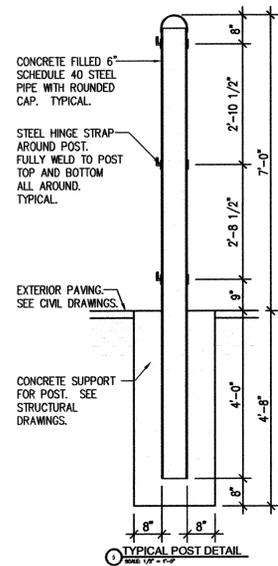
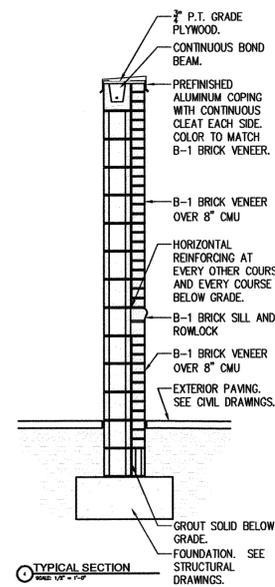
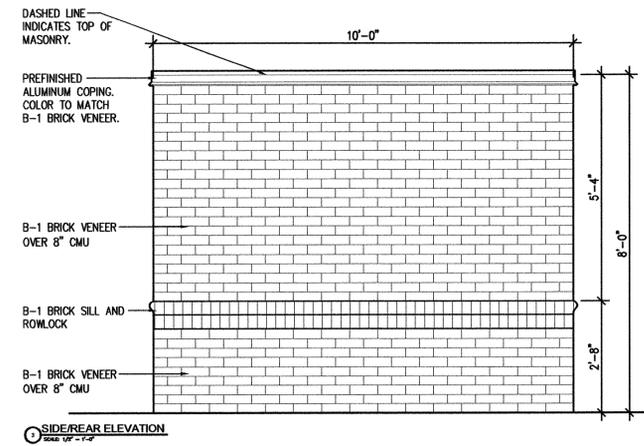
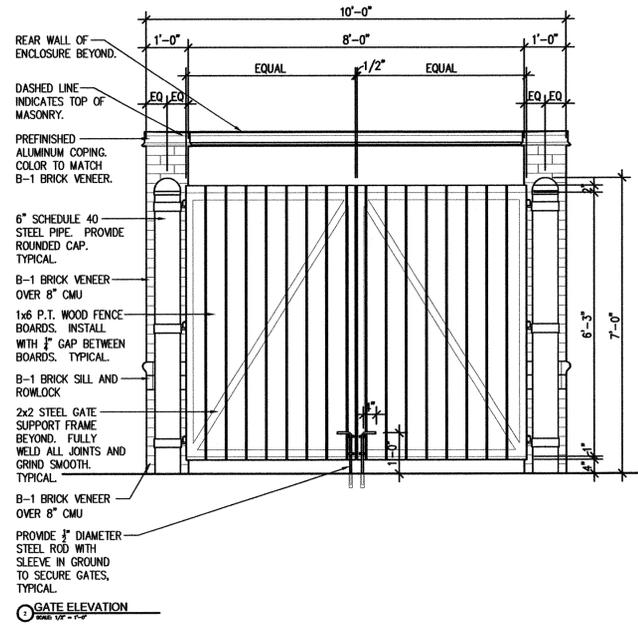
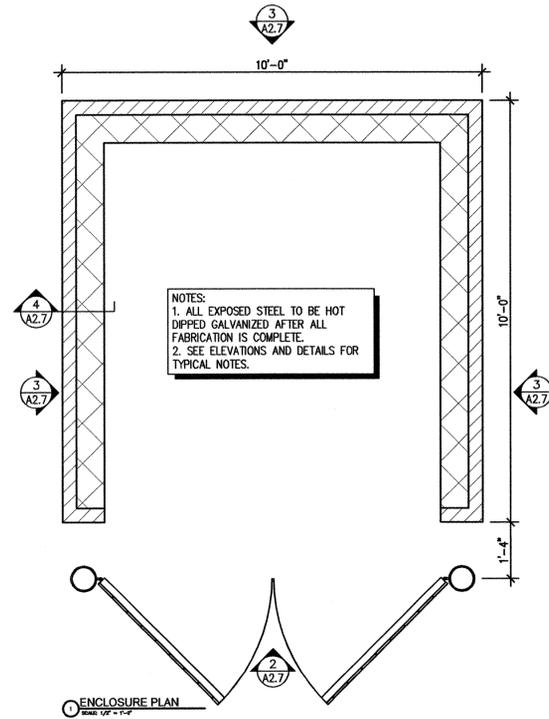
SHEET NAME:

EXTERIOR ELEVATIONS

SHEET NO.

ISSUE DATE: **02.21.12**

A2.1



SOUTH COLLEGE MARKETPLACE RETAIL SHOPS BUILDING

South College Road
 Wilmington, North Carolina
 Developed By:
 Chartwell Property Group

PROJECT MANAGER:
Rojay Bhow

JOB NO.:
12-DicksonShops-02

DR. BY:
BH

REVISIONS

No.	Date
No.	Date

DUMPSTER ENCLOSURE DETAILS